



AGENDA

Garden Grove City
Council

Tuesday, May 10, 2022

6:30 PM

Community Meeting
Center 11300 Stanford
Avenue Garden Grove
California 92840

Steve Jones

Mayor

Diedre Thu-Ha Nguyen

Mayor Pro Tem - District 3

George S. Brietigam

Council Member - District 1

John R. O'Neill

Council Member - District 2

Patrick Phat Bui

Council Member - District 4

Stephanie Klopfenstein

Council Member - District 5

Kim B. Nguyen

Council Member - District 6

COVID-19 Information: Members of the public can address the City Council during the public comment portion of the meeting in person or via e-mail. If you plan to attend the meeting in person, masks or face coverings are required to be worn if you are not vaccinated. If you feel ill or are showing symptoms of COVID-19, please consider submitting comments by e-mail. Instructions are available on the City's website at <https://ggcity.org/city-council/meetings-participation>

Meeting Assistance: Any person requiring auxiliary aids and services, due to a disability, to address the City Council, should contact the City Clerk's Office 72 hours prior to the meeting to arrange for accommodations. Phone: (714) 741-5040.

Agenda Item Descriptions: Are intended to give a brief, general description of the item. The City Council may take legislative action deemed appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

Documents/Writings: Any revised or additional documents/writings related to an item on the agenda distributed to all or a majority of the Council Members within 72 hours of a meeting, are made available for public inspection at the same time (1) in the City Clerk's Office at 11222 Acacia Parkway, Garden Grove, CA 92840, during normal business hours; (2) on the City's website as an attachment to the City Council meeting agenda; and (3) at the Council Chamber at the time of the meeting.

Public Comments: Members of the public who attend the meeting in-person and would like to address the City Council are requested to complete a pink speaker card indicating their name and address, and identifying the subject matter they wish to address. This card should be given to the City Clerk before the meeting begins. General comments are made during "Oral Communications" and should be limited to matters under consideration and/or what the City Council has jurisdiction over. Persons wishing to address the City Council regarding a Public Hearing matter will be called to the podium at the time the matter is being considered.

Manner of Addressing the City Council: After being called by the Mayor, you may approach the podium, it is requested that you state your name for the record, and proceed to address the City Council. All remarks and questions should be addressed to the City Council as a whole and not to individual Council Members or staff members. Any person making impertinent, slanderous, or profane

remarks or who becomes boisterous while addressing the City Council shall be called to order by the Mayor. If such conduct continues, the Mayor may order the person barred from addressing the City Council any further during that meeting.

Time Limitation: When any group of persons wishes to address the City Council on the same subject matter, the Mayor may request a spokesperson be chosen to represent the group, so as to avoid unnecessary repetition. At the City Council's discretion, a limit on the total amount of time for public comments during Oral Communications and/or a further limit on the time allotted to each speaker during Oral Communications may be set.

PLEASE SILENCE YOUR CELL PHONES DURING THE MEETING.

AGENDA

ROLL CALL: COUNCIL MEMBER BRIETIGAM, COUNCIL MEMBER O'NEILL, COUNCIL MEMBER BUI, COUNCIL MEMBER KLOPFENSTEIN, COUNCIL MEMBER K. NGUYEN, MAYOR PRO TEM D. NGUYEN, MAYOR JONES

INVOCATION

PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

1. PRESENTATIONS

- 1.a. Community Spotlight - 100th Anniversary of the Garden Grove Host Lions Club.
- 1.b. Programming and services information provided by the Thomas House Family Shelter as presented by Executive Director Shakoya Green.

2. ORAL COMMUNICATIONS (to be held simultaneously with other legislative bodies)

RECESS

CONDUCT OTHER LEGISLATIVE BODIES' BUSINESS

RECONVENE

3. CONSENT ITEMS

(Consent Items will be acted on simultaneously with one motion unless separate discussion and/or action is requested by a Council Member.)

- 3.a. Adoption of a Proclamation declaring May as Drowning Prevention Awareness Month. *(Action Item)*
- 3.b. Adoption of a Proclamation recognizing the Beta Sigma Phi Sorority dedicated to helping women. *(Action Item)*
- 3.c. Approval of Amendment No. 5 to the Agreement with Community

Veterinary Hospital. (Cost: \$65,000) (Action Item)

- 3.d. Approval of an Amendment to the Agreement with the County of Orange for Families and Communities Together (FaCT) Grant Program Funding for the Magnolia Park Family Resource Center. (Grant match cost: \$124,030) (*Action Item*)
- 3.e. Approval of a Lease Agreement with KJ Investments Group, LLC for property located at 11277 Garden Grove Boulevard, Garden Grove. (Cost: \$19,062.50 monthly) (*Action Item*)
- 3.f. Receive and file warrants. (*Action Item*)
- 3.g. Approval to waive full reading of ordinances listed. (*Action Item*)

4. PUBLIC HEARINGS

(Motion to approve will include adoption of each Resolution unless otherwise stated.)

- 4.a. Introduction and first reading of an ordinance approving Amendment No. A-034-2022
Entitled: An Ordinance of the City Council of the City of Garden Grove approving Amendment No. A-034-2022, a text amendment to Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the City of Garden Grove Municipal Code to establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone, and to establish related special operating conditions and development standards. (*Action Item*)

5. ITEMS FOR CONSIDERATION

- 5.a. Award a contract to R2Build dba R2B Engineering for Project No. CP12682668 - Pressure Monitoring Improvements Project. (Cost: \$419,180) (*Action Item*)

6. MATTERS FROM THE MAYOR, CITY COUNCIL MEMBERS, AND CITY MANAGER

- 6.a. Focused zoning amendments update on proposed text amendment for the creation of objective development standards for single-family residential, multi-family residential, mixed use residential, mixed use, supportive housing, single-room occupancy (SRO) housing, and motel/hotel conversions as requested by City Manager Stiles.
- 6.b. Information update on the Civic Center Community Engagement Project as requested by City Manager Stiles.
- 6.c. Introduction and first reading of an ordinance to add Chapters 8.92 and 8.94 to Title 8 of the Garden Grove Municipal Code as requested by Mayor Pro Tem Diedre Thu-Ha Nguyen
Entitled:
AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF

GARDEN GROVE, CALIFORNIA, ADDING CHAPTERS 8.92 and 8.94 TO TITLE 8 OF THE GARDEN GROVE MUNICIPAL CODE ESTABLISHING REGULATIONS PROHIBITING THE UNLAWFUL POSSESSION OF CATALYTIC CONVERTERS IN THE CITY, AND REPAIRS AND SALES OF BICYCLES AND BICYCLE PARTS ON PUBLIC PROPERTY. (*Action Item*)

- 6.d. Consideration of a five percent business license tax rebate program to incentivize alternative work schedules for Garden Grove businesses as requested by Council Member Brietigam. (*Action Item*)

7. ADJOURNMENT

The next Regular City Council Meeting is Tuesday, May 24, 2022, at 5:30 p.m. in the Community Meeting Center, 11300 Stanford Avenue, Garden Grove, California 92840.

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To: Scott C. Stiles From: Division Chief Ron Roberts

Dept.: City Manager Dept.: Orange County Fire Authority

Subject: Adoption of a Proclamation declaring May as Drowning Prevention Awareness Month. (*Action Item*) Date: 5/10/2022

Attached is a Proclamation declaring May as Drowning Prevention Awareness Month recommended for adoption in support of an educational outreach program by the Orange County Fire Authority. More information can be found at <https://ocfa.org/SafetyPrograms/DrowningPrevention.aspx>

ATTACHMENTS:

Description	Upload Date	Type	File Name
Proclamation	5/2/2022	Proclamation	5-10-22_02C-1_Drowning_Prevention_Proc_2022_-_ATT.pdf

PROCLAMATION

MAY AS DROWNING PREVENTION AWARENESS MONTH

WHEREAS, drowning is the leading cause of death and disability in California for children under five years of age; and

WHEREAS, for every child who dies from drowning, another eight receive emergency care for non-fatal submersion injuries; and

WHEREAS, fatal and non-fatal drowning is a silent event, occurring in as little as two inches of water, including inflatable swimming pools, spas, bath tubs, the ocean, and any other body of water; and

WHEREAS, the themes of this year's water safety campaign "Always Watch the Water" and "Never Swim Alone" gives in-depth information that will be provided by staff on what Orange County residents can do to prevent drowning; and

WHEREAS, the initiatives set forth in the "ABCs of Water Safety" program will increase public awareness regarding proper procedures to prevent this needless tragedy; and

WHEREAS, the Orange County Fire Authority, will be taking this opportunity to increase public awareness about drowning prevention through a diverse community outreach campaign; and

NOW, THEREFORE BE IT RESOLVED, that the Garden Grove City Council does hereby proclaim its participation in the "Always Watch the Water" and "Never Swim Alone" 2022 Orange County Fire Authority campaigns that kick-off in May and continue through August by encouraging all families, parents, residents, schools, recreational facilities, businesses, and homeowner associations to become partners in preparedness by increasing their knowledge of proper safety measures in drowning prevention.

May 10, 2022

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To: Scott C. Stiles From: Ana Pulido

Dept.: City Manager Dept.: City Manager's Office

Subject: Adoption of a Proclamation recognizing the Beta Sigma Phi Sorority dedicated to helping women. (*Action Item*) Date: 5/10/2022

Attached is a proclamation recognizing the Beta Sigma Phi Sorority dedicated to helping women recommended for adoption.

ATTACHMENTS:

Description	Upload Date	Type	File Name
Proclamation	5/4/2022	Proclamation	5-10-22_proclamation-beta-sigma-phi.pdf

PROCLAMATION

Beta Sigma Phi 2022 California State Convention

WHEREAS, The prestigious international women's group, Beta Sigma Phi, is a long-standing and honorable organization, dating back to 1931 when founder Walter W. Ross took on a mission to empower women; and

WHEREAS, Founder Walter W. Ross' influence and dedication toward bettering the lives of women traversed to struggling housewives and mothers, providing strength and guidance to overcome the adversities of the Great Depression; and

WHEREAS, The history of Beta Sigma Phi is deeply rooted in the pursuit of societal, cultural and educational knowledge, as well as the desire to support others through philanthropic responsibilities; and

WHEREAS, Over the last 90 years, the international chapters of Beta Sigma Phi, with over 150,000 members, have helped individuals and families across the globe, improving the family vitality; achieving quality female bonding and friendships; as well as strengthening women's image and sense of place; and

WHEREAS, The Orange County chapters of Beta Sigma Phi have determined Garden Grove-based Laura's House, a domestic violence advocacy center, as well as Families Forward, Orangewood Children's Home, and South County Outreach, as their local service projects, providing crucial support and donations to better the lives of those in need; and

WHEREAS, The City of Garden Grove is a proud supporter of organizations that give back to the community through selfless acts of volunteerism and support, directly contributing to the quality of life of Garden Grove and Orange County residents; and

WHEREAS, From May 13 through May 15, 2022, more than 300 individuals will gather at the Hyatt Regency Orange County, in the Grove District-Anaheim Resort, for Beta Sigma Phi's 2022 California State Convention.

NOW, THEREFORE, WE, the Garden Grove City Council, do hereby proclaim the arrival of the Beta Sigma Phi 2022 California State Convention in Garden Grove, and praise the organization for 91 years of enrichment to the quality of life for women, families, and individuals around the world.

May 10, 2022

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To: Scott C. Stiles From: William E. Murray

Dept.: City Manager Dept.: Public Works

Subject: Approval of Amendment No. 5 to the Agreement with Community Veterinary Hospital. (Cost: \$65,000) (Action Item) Date: 5/10/2022

OBJECTIVE

For the City Council to approve allocating additional funding and to extend the term to an existing agreement with Community Veterinary Hospital for emergency care of animals and the routine care of the Police Department's two police dogs.

BACKGROUND

When the City began planning for the Animal Care Services program in 2016, agreements were formed with two local veterinary hospitals for animals needing emergency care. Community Veterinary Hospital is for daytime care and O.C. Emergency Pet Clinic is strictly for after-hour care. The agreement for Community Veterinary Hospital has been issued yearly. The allocation of funding and time is to accommodate the changing of the contract termination date from March 2022 to June 30, 2022. This will sync this contract with the end of the fiscal year at which time Public Works will seek a new contract with both veterinary hospitals for service.

DISCUSSION

The current agreement runs from March 2021 to March 2022, in the amount of \$24,999. Due to the numerous animals that have required advanced care, such as x-rays or surgery to diagnose, stabilize or repair their injuries, the funds have been depleted. An additional allocation of \$25,000 to the purchase order was requested to cover the remaining term to March of 2022, for a total of \$50,000, which was authorized by the City Manager. The additional funds now requested exceed the City Manager's authority and must be approved by City Council.

FINANCIAL IMPACT

The contract price will be increased by \$15,000 to a new firm-fixed-price of \$65,000 through June 30, 2022, to cover unforeseen costs and normal service due to the time extension. The funding is available within the Public Works and Police Department budget.

RECOMMENDATION

It is recommended that the City Council:

- Approve Amendment No. 5 of the Agreement with Community Veterinary Hospital for a new firm fixed amount of \$65,000 and to extend the term through June 30, 2022; and
- Authorize the City Manager to sign Amendment No. 5 on behalf of the City, and to make minor changes as appropriate.

ATTACHMENTS:

Description	Upload Date	Type	File Name
Amendment No. 5	5/3/2022	Agreement	Community_Veterinary_Hospital__Inc._- _Amendment_No._5.pdf

CITY OF GARDEN GROVE

AMENDMENT NO. 5

To: Provide Emergency Animal Care Services on an as-needed basis and Routine Care for Garden Grove Police Department K-9 dogs.

This Amendment No. 5 to Provide Emergency Animal Care Services on an as-needed basis and Routine Care for Garden Grove Police Department K-9 dogs is made and entered into this ____ day of _____ 2022, by and between the **CITY OF GARDEN GROVE**, hereinafter referred to as "CITY", and **Community Veterinary Hospital, Inc.**, hereinafter referred to as "CONTRACTOR".

WHEREAS, Contractor and CITY entered into Contract No. **B156326** effective **November 28, 2017**.

WHEREAS, Contractor and CITY desire to amend the Existing Contract as provided herein.

Now, therefore, it is mutually agreed, by and between the parties as follows:

Section 3: Compensation - shall be revised as follows:

The contract Price is hereby increased by \$15,000.00 to a new Firm Fixed Price of \$65,000.00 through June 30, 2022 to cover unforeseen costs.

Except as expressly amended hereby, the Existing Contract remains in full force and effect as originally executed.

IN WITNESS WHEREOF, the parties have caused this Amendment No. 5 to the Existing Contract to be executed by their respective officers duly authorized on the date first written above.

Date: _____

"CITY"
CITY OF GARDEN GROVE

By: _____
City Manager

ATTESTED:

City Clerk

Date: _____

"CONTRACTOR"
Community Veterinary Hospital, Inc.

By: William A Grant II

Name: William A Grant II, DVM

Title: CHIEF OF STAFF / OWNER

Date: MAY 02, 2022

If CONTRACTOR is a corporation, a Corporate Resolution and/or Corporate Seal is required. If a partnership, Statement of Partnership must be submitted to CITY.

APPROVED AS TO FORM:

omas Venderf
Garden Grove City Attorney

5-3-2022
Date

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To:	Scott C. Stiles	From:	John Montanez
Dept.:	City Manager	Dept.:	Community Services
Subject:	Approval of an Amendment to the Agreement with the County of Orange for Families and Communities Together (FaCT) Grant Program Funding for the Magnolia Park Family Resource Center. (Grant match cost: \$124,030) (<i>Action Item</i>)		
		Date:	5/10/2022

OBJECTIVE

To request that the City Council approve an Amendment to the Agreement with the County of Orange Social Services Agency to receive Families and Communities Together (FaCT) grant funding for the Magnolia Park Family Resource Center (MPFRC).

BACKGROUND

Since 1999, the City has been the lead agency for the Garden Grove Community Collaborative, which provides the community with family preservation services at the MPFRC. The majority of the funding for the Center comes through a grant from the County of Orange, Families and Communities Together (FaCT) Program. The original grant received in 1999 was extended in 2003, then in 2005, then in 2010, then in 2015, and once again in 2020 as part of a competitive grant process. County funded services provided by the Family Resource Center include counseling, case management, information and referral, family support services, parent education, domestic violence prevention and treatment services, and childcare services.

On March 4, 2020, City Council approved an Agreement with County of Orange to receive FaCT grant funding for the MPFRC that covered a three-year period from July 1, 2020, through June 30, 2023. The grant funding available for each one-year period is \$300,000, for a total amount of \$900,000 for the three-year period, with the option to extend two (2) additional one-year periods, without competitive bid process, at the sole discretion of the County. The City would continue to serve as the lead fiscal agency for this grant, and provide family support services, case

management, strengthening family workshops, parent education, clinical supervision, information and referral, community outreach services, and teen programming. Other family services will be provided through the Garden Grove Community Collaborative that involves partner agencies from the community. The funded partners include Interval House for domestic violence prevention and treatment services; Human Options for differential response supportive services, and counseling services; and Team of Advocates for Special Kids (TASK) for parent workshops and IEP clinics and services.

DISCUSSION

Attached is an Amendment to the Agreement with the County of Orange Social Services Agency to increase grant funding by \$70,800 for fiscal year 2022-23, for a total grant amount of \$370,800 for additional services provided by the MPFRC and Garden Grove Community Collaborative.

FINANCIAL IMPACT

As lead agency, the City will be overseeing the program and fiscal operations of the grant. For fiscal year 2022-23 the amount will be amended to \$370,800 for services through management of the Garden Grove Community Collaborative. The City's General Fund will match \$124,030, which is part of the adopted Fiscal Year 2022-23 budget.

RECOMMENDATION

It is recommended that the City Council:

- Approve the attached Amendment to the Agreement with the County of Orange Social Services Agency to receive Families and Communities Together (FaCT) grant funding for the Magnolia Park Family Resource Center (MPFRC); and
- Authorize the City Manager to sign the Amendment, including making any modifications during the contract period for the operation and implementation of the contract services.

By: Janet Pelayo, Manager

ATTACHMENTS:

Description	Upload Date	Type	File Name
Amendment to Agreement with County for FaCT Grant Program	4/29/2022	Agreement	Magnolia_Park_FRC_First_Amendment_to_Agreement_FY22-23.pdf

AMENDMENT ONE TO AGREEMENT
BETWEEN
COUNTY OF ORANGE
AND
CITY OF GARDEN GROVE
AND
HUMAN OPTIONS, INC.
AND
INTERVAL HOUSE
AND
TASK
FOR THE PROVISION OF FAMILY RESOURCE CENTER SERVICES

THIS AMENDMENT ONE, made and entered into upon execution of all necessary signatures, is to that certain AGREEMENT Number FCK0220 between the parties hereto, hereinafter referred to as the “Agreement” and is by and between the COUNTY OF ORANGE, hereinafter referred to as “COUNTY,” and City of Garden Grove, a California municipal agency; Human Options, Inc., a California non-profit corporation; Interval House, a California non-profit corporation; and TASK, a California non-profit corporation, hereinafter collectively referred to as “MAGNOLIA PARK FAMILY RESOURCE CENTER” or “CONTRACTOR.” City of Garden Grove, Human Options, Inc., Interval House, and TASK, may each also be referred to as “Contractor Partner Agencies.” This Amendment shall be administered by the County of Orange Social Services Agency, hereinafter referred to as “ADMINISTRATOR.”

W I T N E S S E T H

WHEREAS, on July 1, 2020, COUNTY and CONTRACTOR entered into an Agreement for the provision of Family Resource Center Services, for the term of July 1, 2020, through June 30, 2023;

WHEREAS, on August 1, 2020, COUNTY and CONTRACTOR modified the Agreement to add Network Security and Privacy Liability Insurance;

WHEREAS, COUNTY desires to increase funding for the provision of additional Family Resource Center Services to clients; amend Subparagraph 21.1 of the Agreement; and amend Subparagraphs 4.15, 5.8, 6.4, 8.6, 14.1, 14.4, and Paragraph 15 of Exhibit A of the Agreement;

WHEREAS, CONTRACTOR agrees to continue to provide such services under the terms and conditions set forth in this Agreement; and

ACCORDINGLY, THE PARTIES AGREED AS FOLLOWS:

1. Subparagraph 21.1 of the Agreement is hereby amended to read as follows:

21.1 Maximum Contractual Obligation

The maximum obligation of COUNTY under this Agreement shall not exceed the amount of \$970,800 or actual allowable costs, whichever is less. The estimated annual amount for each twelve (12) month period is as follows:

21.1.1 Year One: \$300,000 for July 1, 2020, through June 30, 2021;

21.1.2 Year Two: \$300,000 for July 1, 2021, through June 30, 2022; and

21.1.3 Year Three: \$370,800 for July 1, 2022, through June 30, 2023.

2. Subparagraph 4.15 of Exhibit A of the Agreement is hereby amended to read as follows:

4.15 Services shall be provided in-person or virtually, based on PARTICIPANT's needs, at the FRC, in-home, and/or in satellite sites such as schools and other community locations as mutually agreed upon by CONTRACTOR and ADMINISTRATOR. Confidential space is required for all Clinical Supervision, Family Support Services, Counseling, and Case Management Team services.

3. Subparagraph 5.8 of Exhibit A of the Agreement is hereby amended to read as follows:

5.8 Emergency Assistance (City & IH)

5.8.1 The objective of Emergency Assistance (EA) services is to help stabilize families in crisis due to inability to meet their basic needs.

5.8.2 City shall provide EA services for a minimum of fifty (50) FAMILIES

annually and IH shall provide EA services for a minimum of ten (10) FAMILIES annually.

5.8.3 EA services shall include an assessment of emergency needs and promote family self-sufficiency. The assessment shall be completed by qualified FRC staff and include recommendation(s) to meet the emergency needs of the PARTICIPANTS and a plan on how to circumvent the circumstances that lead to the crisis. Recommendations for use of EA funds shall be in accordance with Subparagraph 6.4 of Exhibit A.

5.8.4 City and IH shall provide EA services primarily at the FRC and other community locations, as needed. Services shall be offered during FRC hours of operation or at dates and times convenient for the PARTICIPANT. City and IH shall provide EA services continually throughout the term of this Agreement.

4. Subparagraph 6.4 of Exhibit A of the Agreement is hereby amended to read as follows:

6.4 CONTRACTOR shall use EA funds to meet the basic needs of PARTICIPANTS in support of services as described herein. Allowable costs include emergency food, emergency clothing, diapers, medicine, hygiene items, household items, transportation payment assistance to access services, safety items, housing payment assistance and utility payment assistance, or other allowable costs, as approved in advance by ADMINISTRATOR. All purchases from EA funds in excess of two hundred dollars (\$200) per FAMILY must be requested in advance and in writing for approval by ADMINISTRATOR. Housing payment assistance and utility payment assistance in excess of five hundred dollars (\$500) per FAMILY shall be provided no more than one (1) time per fiscal year for each FAMILY, or as approved in advance and in writing by ADMINISTRATOR. CONTRACTOR shall research available community resource options prior to utilizing EA funds.

5. Subparagraph 8.6 of Exhibit A of the Agreement is hereby amended to read as follows:

8.6 In addition to the FaCT Registration form and/or FaCT Large Group Tracking form, the following assessment tool(s) required for each core service include:

Core Service	Required Assessment Tool(s)
CMT	CMT Tracking & Outcomes Log
Emergency Assistance	Emergency Assistance Assessment
Information & Referral Services	Information & Referral Tracking Log
Family Support Services	Family Development Matrix
Counseling Services	Protective Factors Counseling Survey
Parenting Education	Protective Factors Parenting Survey
Personal Empowerment Program	PEP Pre/Post Test

6. Subparagraph 14.1 of Exhibit A of the Agreement is hereby amended to read as follows:

14.1 For the three (3) COUNTY fiscal years (July 1 through June 30) included during the term of this Agreement, the maximum budget for services provided pursuant to Exhibit A of this Agreement shall not exceed \$970,800.

7. Subparagraph 14.4 of Exhibit A of the Agreement is hereby amended to read as follows:

14.4 The budget for services provided pursuant to Exhibit A of this Agreement is set forth as follows:

<u>FRC Services</u>	YEAR ONE	YEAR TWO	YEAR THREE
Direct Service Costs ⁽¹⁾	\$ 299,288	\$ 299,288	\$ 368,990
Indirect Costs ⁽²⁾	\$ 712	\$ 712	\$ 1,810
TOTAL MAXIMUM OBLIGATION:	\$ 300,000	\$ 300,000	\$ 370,800

⁽¹⁾ Direct Service Costs are costs that are incurred and specifically allocable to the provision of services identified in this Agreement. Employee Benefits include contributions to 401k or retirement plans; health insurance; dental insurance; life insurance; long-term disability insurance; payroll taxes such as FICA, Federal Unemployment Tax, State Unemployment Tax, and Workers' Compensation Tax, based on the currently prevailing rates; and expense for accrued vacation time payout, for a separated employee, limited to the actual vacation time accrued during the fiscal year in which the expense is claimed, minus the actual vacation time used by the employee during said fiscal year.

⁽²⁾ Indirect Costs are costs that are incurred for an organization's common objectives and

that cannot be readily identified with a particular final cost objective.

8. Paragraph 15 of Exhibit A of the Agreement is hereby amended to read as follows:

15. STAFF

CONTRACTOR shall provide the following described staff positions continuously throughout the term of the Agreement:

<u>Position</u>	FTE ⁽¹⁾	Maximum Hourly Rate ⁽²⁾
CMT Clinical Supervisor	0.075	\$70.00
Community Engagement Coordinator	0.50	\$22.85
Counselor	0.80	\$33.08
Family Support Advocate	1.50	\$22.85
FRC Coordinator	1.00	\$20.00
Information and Referral Specialist	1.00	\$16.70

- (1) For hourly employees, Full-Time Equivalent (FTE) is defined as the amount of time (stated as a percentage) the position will be providing services under the terms of this Agreement. This percentage is based upon a 40-hour work week. For salaried employees, FTE is defined as the amount of time (stated as a percentage) the position will be paid for under the terms of this Agreement, regardless of the number of hours actually worked.
- (2) Maximum hourly rate which will be permitted during the term of this Agreement; employees may be paid at less than maximum hourly rate.

15.1 Recruitment Practices

15.1.1 CONTRACTOR shall use a formal recruitment plan, which complies with federal and State employment and labor regulations. CONTRACTOR shall hire staff with the education, language skills, and experience necessary to appropriately perform all functions as described in this Agreement.

15.1.2 CONTRACTOR shall notify ADMINISTRATOR, in writing, no later than seventy-two (72) hours of any staffing vacancies or filling of vacant positions that occur during the term of this Agreement. For resignations,

CONTRACTOR's notification shall include employee's name, position title, date of resignation, a description of planned recruitment activities, and the CONTRACTOR's contingency plan to cover services during the vacancy. For new hires, CONTRACTOR's notification shall include candidate's resume or application, position title, and date of hire.

15.1.3 The number of direct service bilingual staff proposed should include how staffing will meet the needs of the community to be served.

15.1.4 CONTRACTOR may be required to submit employer's bilingual certification criteria and/or test results to ADMINISTRATOR.

15.2 CMT Clinical Supervisor (City)

15.2.1 Duties: A licensed clinician shall facilitate case management team group process, ensure thorough assessment and linkages for families to resources, and ensure team and/or staff members follow up on all mandated reporting requirements. Responsibilities include, but are not limited to: verify and track attendance of required CMT members; ensure PARTICIPANT confidentiality/release forms are signed by PARTICIPANT and CMT members; review the laws of confidentiality and child and elder/dependent adult abuse reporting on an annual basis, and ensure compliance for each case presented; ensure all CMT cases conferenced are multiple needs cases (i.e., not just information and referral); facilitate weekly review of CMT cases, including a thorough assessment of needs, treatment plan, follow up plan, and termination; provide and coordinate ongoing cross-training to CMT on clinical training needs; ensure families are invited to the CMT meetings; maintain weekly case logs and registration forms for each case conferenced at CMT; complete standardized CMT assessment tools, ensuring COUNTY required CMT data is accurately entered into FaCT database; and actively

engage new collaborative partners and/or other COUNTY agency representatives to conference cases that would benefit families.

15.2.2 Qualifications: A Licensed Clinical Social Worker, Marriage and Family Therapist, or Licensed Clinical Psychologist. A minimum of one (1) year of group/meeting facilitation experience and proficiency in English is required.

15.3 Community Engagement Coordinator (City)

The Community Engagement Coordinator shall not be a current member of the CEAC.

15.3.1 Duties: To assist in advocacy for the expansion of the FRC CEAC and Youth Action Council programs and activities focusing on issues that affects the health, well-being, and public safety of residents in the FRC community. Oversee community organizing, volunteer recruitment and training, problem solving, and developing and implementing an outreach plan. In addition, support the efforts of local programs to explore donation and service opportunities for the FRC; develop and promote FRC volunteer project activities; develop and maintain regular contact with community organizations; coordinate and communicate with FRC Coordinator, attend all required meetings and trainings, administer FaCT-approved measurement tools, and enter the results into the FaCT database.

15.3.2 Qualifications:

Option One (1): An Associate's degree or sixty (60) college units in human services or related field from an accredited college/university; one (1) year of experience, including leadership/supervisory experience, providing direct services to the target population; capable of relating well to individuals from diverse backgrounds, cultures, varied income, and education levels; and computer competency. Proficiency in English is

required. Based on community need, bilingual proficiency may be required; or

Option Two (2): Three (3) years of experience, including one (1) year of leadership/supervisory experience, providing direct services to the target population; capable of relating well to individuals from diverse backgrounds, cultures, varied income, and education levels; and computer competency. Proficiency in English is required. Based on community need, bilingual proficiency may be required.

15.4 Counselor (City and HO)

15.4.1 Duties: The counselor shall: provide therapy, including assessment, treatment planning, termination, and documentation; communicate applicable case related information to SSA staff, as requested; and complete FaCT designated measurement tools and enter all required data into the FaCT database.

15.4.2 Qualifications: Licensed clinician registered with the State of California Department of Consumer Affairs, Board of Behavioral Sciences (BBS); or graduate behavioral science degree intern. All associates and interns must be receiving direct clinical supervision in accordance with BBS requirements. It is the responsibility of the licensed clinical supervisor to ensure that the extent, kind, and quality of clinical services performed is consistent with the training and experience of the associate and/or intern. Proficiency in English is required. Based on community need, bilingual proficiency may be required.

15.5 Family Support Advocate (City)

15.5.1 Duties: Responsible for serving all Family Support Services referrals. Services shall include, but not limited to: assessing family strengths and needs; linkages to resources; case planning; in-home services;

communicating applicable case related information to SSA staff, as requested; compiling and maintaining records; preparing reports; presenting cases at CMT meetings; completing FaCT designated measurement tools and entering all required data into the FaCT database; and attending all required FaCT meetings and trainings.

15.5.2 Qualifications:

Option One (1): Bachelor's degree in human services or related field from an accredited university. Proficiency in English is required. Based on community need, bilingual proficiency may be required; or

Option Two (2): A minimum of three (3) years of experience providing direct services to the target population. Proficiency in English is required. Based on community need, bilingual proficiency may be required.

15.6 FRC Coordinator (City)

15.6.1 Duties: FRC Coordinator's work schedule shall be consistent with FRC operating hours and their workspace shall be located at the FRC. Perform a variety of administrative functions, including: coordinate service providers; supervise FRC staff; oversee the day-to-day operation of the FRC; compile statistical and financial data for various reports; facilitate community involvement in the CEAC; coordinate governance and policy procedure development; coordinate training opportunities for staff; prepare and monitor program budget; perform outreach to community businesses and schools; market FRC services within the community; initiate outreach to new partners and service providers; address public inquiries regarding services, procedures, operations and regulations; facilitate FRC partners and staff meetings and ensure completion of meeting minutes; complete all required documentation; attend required FaCT meetings and trainings; and perform related duties as assigned.

15.6.2 Qualifications:

Option One (1): Bachelor's degree (Master's degree preferred) in social work, sociology, psychology, or related field from an accredited university and two (2) years of experience providing direct services to the target population; capable of relating well to individuals from diverse backgrounds, cultures, varied income, and education levels; leadership and/or supervisory experience; ability to work successfully in a collaborative environment; attention to detail; and computer competency. Proficiency in English is required. Based on community need, bilingual proficiency may be required; or

Option Two (2): A minimum of five (5) years of experience providing direct services to the target population; capable of relating well to individuals from diverse backgrounds, cultures, varied income, and education levels; leadership and/or supervisory experience; ability to work successfully in a collaborative environment; attention to detail; and computer competency. Proficiency in English is required. Based on community need, bilingual proficiency may be required.

15.7 Information and Referral Specialist (City)

15.7.1 Duties: Responsible for responding to walk-in, call-in, and referred PARTICIPANTS seeking community resources. Assess PARTICIPANTS's immediate needs and make referrals to appropriate resources. Administer FaCT-approved tracking tool and enter results into the FaCT database.

15.7.2 Qualifications: High school diploma or equivalent, one (1) year of customer service experience working directly with the public, and computer competency (i.e., knowledge and ability to use computers and related technology). Proficiency in English is required. Based on

community need, bilingual proficiency may be required.

9. The parties agree that separate copies of this Amendment may be signed by each of the parties, and this Amendment will have the same force and effect as if the original had been signed by all parties.
10. All other terms and conditions of the Agreement, including those terms and conditions as modified on August 1, 2020, shall remain the same and in full force and in effect.

IN WITNESS WHEREOF, the Parties hereto have executed this Amendment One to Agreement the date set forth opposite their signatures. If Contractor is a corporation, Contractor shall provide two signatures as follows: 1) the first signature must be either the Chairman of the Board, the President, or any Vice President; 2) the second signature must be that of the Secretary, an Assistant Secretary, the Chief Financial Officer, or any Assistant Treasurer. In the alternative, a single corporate signature is acceptable when accompanied by a corporate resolution or by-laws demonstrating the legal authority of the signature to bind the company.

Contractor: CITY OF GARDEN GROVE

Print Name

Title

Signature

Date

Contractor: HUMAN OPTIONS, INC.

Print Name

Title

Signature

Date

Contractor: INTERVAL HOUSE

Print Name

Title

Signature

Date

Contractor: TASK

Print Name

Title

Signature

Date

County of Orange, a political subdivision of the State of California

Purchasing Agent/Designee Authorized Signature:

_____	_____ <u>Deputy Purchasing Agent</u>
Print Name	Title
_____	_____
Signature	Date

APPROVED AS TO FORM
COUNTY COUNSEL
COUNTY OF ORANGE, CALIFORNIA

_____	_____ <u>Deputy County Counsel</u>
Print Name	Title
_____	_____
Signature	Date

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To:	Scott C. Stiles	From:	Lisa L. Kim
Dept.:	City Manager	Dept.:	Community and Economic Development
Subject:	Approval of a Lease Agreement with KJ Investments Group, LLC for property located at 11277 Garden Grove Boulevard, Garden Grove. (Cost: \$19,062.50 monthly) (<i>Action Item</i>)		
		Date:	5/10/2022

OBJECTIVE

For the City Council to consider approval of a Lease Agreement with KJ Investments Group, LLC to lease certain office space for the Garden Grove Police Department at 11277 Garden Grove Boulevard.

BACKGROUND

For many years, the Garden Grove Police Department has managed to utilize its existing facilities to accommodate the department's needs. The completion of the 2020 Infrastructure Space Needs Assessment Report by Dewberry further described how the Garden Grove Police Department has outgrown its facilities due to population growth and additional officers hired to serve the community. With a current department size of 182 sworn officers, 66 full time civilian personnel, and 21 part-time staff, there is limited space available for officers' daily operations. Furthermore, as a part of the Measure O Public Safety Plan, the addition of 11 additional sworn police officers and 5 civilian support personnel will further reduce the functional work space at the Police Department.

DISCUSSION

In an effort to address immediate needs of functional work space for the Garden Grove Police Department, negotiations with the representatives for KJ Investment Group initiated for an interim lease agreement for space at the office building (second floor totaling 15,250 square feet) located at 11277 Garden Grove Boulevard. The proposed offices would accommodate work space for the Police Department Special Resources Team and Community Liaison Unit. The proposed lease term provides for a one-year term with five (5) one-year extensions at a monthly rate of

\$1.25 per square foot or \$19,062.50 on a monthly basis.

Strategic planning efforts, including a series of action items related to the Civic Center Community Engagement effort are slated to begin in June 2022. The community outreach tasks will explore opportunities in the civic center area for improved public amenities and also evaluate the need to replace and modernize the public safety facilities to better meet the needs of the community. <https://ggcity.org/civic-center> In addition, a comprehensive feasibility analysis of alternate sites to further assess the modernization of the public safety facilities will also be undertaken in summer and fall 2022.

To address the immediate needs of additional offices and functional work space, staff recommends approval of the Lease Agreement with KJ Investments Group for additional offices to support the Garden Grove Police Department operations.

FINANCIAL IMPACT

Funds are included in the capital improvement plan of the Fiscal Year 2021-23 biennial budget, titled Public Facilities/Infrastructure Improvement.

RECOMMENDATION

It is recommended that the City Council:

- Approve the Lease Agreement with KJ Investment Group, LLC in the amount of \$19,062.50 per month, for property located at 11277 Garden Grove Boulevard, Garden Grove; and,
- Authorize the City Manager to execute the Lease Agreement on behalf of the City, and make minor modifications thereto as needed.

ATTACHMENTS:

Description	Upload Date	Type	File Name
Lease Agreement with KJ Investments Group	5/3/2022	Agreement	GG_LEASE_11277_Garden_Grove_Blvd_(Final_050322).pdf

**LEASE AGREEMENT BETWEEN
KJ INVESTMENT GROUP, LLC
AND
CITY OF GARDEN GROVE**

This Lease Agreement ("Lease") is made and entered into by and between **KJ INVESTMENT GROUP, LLC** ("Landlord") and **CITY OF GARDEN GROVE**, a California municipal corporation ("Tenant") as of **July 1, 2022**. Landlord and Tenant are referenced in the aggregate as the "Parties" and sometimes, when a provision applies to each of them individually, as a "Party."

Recitals

- A. Landlord currently owns certain real property located at 11277 Garden Grove Blvd., in the City of Garden Grove, California, Assessor's Parcel No. 090-171-35 ("Premises"). Tenant wishes to lease the second floor of the Premises, which is comprised of approximately 15,250 sq. ft. of leasable office space, suite numbers 200 to 220.
- B. Tenant wishes to use the leased Premises for office uses for its police department.
- C. Landlord has agreed to let the Premises to Tenant subject to the terms and conditions of this Lease.
- D. Tenant shall further have the option to purchase the Premises subject to the terms and conditions hereof.

NOW THEREFORE, the Parties hereto agree as follows:

Agreement

1. Lease of Premises.

(a) Landlord hereby leases to Tenant, and Tenant hereby leases from Landlord, the entire second floor of the Premises according to the terms of this Lease.

(b) The Effective Date of this Lease is October 1, 2022. It is understood by the Parties that Landlord shall have completed the one-time repair/maintenance items listed in Exhibit "A" attached hereto and made a part hereof, prior to the Effective Date.

2. Rent.

(a) Monthly Base Rent. Tenant agrees to pay Landlord, without notice or demand, offset or deduction, monthly rent in the sum of Nineteen Thousand Sixty-Two Dollars and Fifty Cents (\$19,062.50) per month commencing on the Effective Date, in advance, on or before the 5th day of each month.

(b) Proration. Rent for any period which is less than one month shall be a prorated portion of the monthly installment based upon a 30 day month. Rent shall be paid to Landlord

without deduction or offset, in lawful money of the United States of America and at such place as Landlord may from time to time designate in writing.

(c) Late Charges. Tenant acknowledges that late payment of rent or other sums due will cause Landlord to incur costs, the exact amount of which will be difficult to ascertain. Accordingly, if any installment of rent or any other sum due from the Tenant is not received by Landlord within five (5) days of the date on which it is due, Tenant shall pay to Landlord as additional rent the lesser of the maximum amount allowed by law or five percent (5%) of such overdue amount. In addition, Tenant shall pay Landlord any attorneys' fees or notice/process service fees incurred by Landlord by reason of Tenant's failure to pay rent or other charges when due hereunder. In addition, all unpaid amounts shall accrue interest from the date due the lesser of the maximum rate allowed by law or 7% per annum until paid.

(d) No Accord and Satisfaction. No payment by Tenant or receipt by Landlord of a lesser amount than any payment of Rent due shall be deemed to be other than on account of the amount due, and no endorsement or statement on any check or any letter accompanying any check or payment of Rent shall be deemed an accord and satisfaction, and Landlord may accept such check or payment without prejudice to Landlord's right to recover the balance of such payment of Rent or to pursue any other remedies available to Landlord. No receipt of money by Landlord from Tenant after the termination of this Lease or Tenant's right of possession of the Premises shall reinstate, continue or extend the Term.

3. Term and Termination.

(a) Term and Renewal. This Lease shall be for a one (1) year term, commencing as of the Effective Date. The Parties may extend the term of this Lease for up five (5) terms of 12 months each, for a total of six (6) years. Tenant shall provide Landlord at least 90 days' notice (but no more than 180 days) of its intent to seek an extension of the Lease for each extension period. The Parties agree to meet, confer, and memorialize the agreement to extend the lease for each additional extension period prior to the expiration of the then current term.

(b) Termination and Holding Over. Either Party may terminate this Lease for any reason upon 90 days written notice to the other, termination of which shall be effective immediately upon the end of the 90 days' period. Upon termination of this Lease, possession of the Premises, including all structures, building, and/or improvements thereon, shall be surrendered to Landlord immediately. In the event Tenant holds over beyond the term herein provided with the express or implied consent of the Landlord, such holding over shall be from month to month only, subject to the conditions of this Lease. Such holding over shall not be construed as a renewal of this Lease and shall be at the monthly compensation provided in this Lease. Such holdover period shall be subject to termination upon 30 days' notice.

(c) Trade Fixtures and Personal Property. Upon the termination of the Lease, Tenant shall remove all of its trade fixtures, furniture, equipment, and signs on the Premises to the extent they are not permanently affixed, and immediately repair any damage resulting from such removal so as to leave the Premises in the condition required in this section. Tenant may finance its movable fixtures and equipment installed in the Premises, and such financing will not be considered an Assignment, provided it does not confer an interest in the Premises.

(d) Ownership of Improvements; Condition on Tenant's Surrender. On the date of termination of this Lease, Tenant shall peaceably surrender and quit the Premises and all improvements broom clean, in good order, condition and repair, reasonable wear and tear excepted only. At its expense, Tenant shall remove all of its trade fixtures and personal property and repair any damage to the Premises occasioned by removal of these items.

4. Security Deposit. Upon execution of this Lease, Tenant will pay Landlord a Security Deposit in the sum of \$19,062.50. The Security Deposit shall not bear interest and will be held by Landlord as security for Tenant's faithful performance of all of Tenant obligations under this Lease. If Landlord applies all or part of the Security Deposit to the payment of Rent or to any loss or damage to Landlord due to Tenant's default, then within 5 days after Notice, Tenant will deposit sufficient cash with Landlord to restore the Security Deposit to the amount originally deposited. If Tenant performs all of its obligations under this Lease, the Security Deposit or any remaining balance will be returned to Tenant within 15 days of the expiration or earlier termination of this Lease.

5. Possession and Opening Date.

(a) Tenant's Right of Possession. Landlord shall not be obligated to deliver possession of the Premises to Tenant until Landlord has received from Tenant certificates of insurance or evidence of self-insurance as required in this Lease. Commencing on the Effective Date, Tenant shall pay the first installments of Monthly Base Rent, the estimated share of Additional Rent and Taxes subject to section 2(b), and any other sum of money or charges due hereunder.

(b) Delivery of Possession. Landlord shall be deemed to have delivered possession of the Premises to Tenant upon the Effective Date.

(c) Governmental Approvals. Tenant shall be responsible for achieving all approvals and permits from governmental agencies having jurisdiction over the Premises necessary to conduct Tenant's operations on the Premises.

6. Use of Premises.

(a) General Use. Tenant shall use and occupy the Premises, solely for its customary use as office uses.

(b) Limitations. Notwithstanding the foregoing permitted uses in subsection (a), Tenant shall not cause or permit the Premises to be used in any way that: (i) constitutes a violation of any law, ordinance, or governmental regulation or order regulating the manner of use by Tenant of the Premises (including, without limitation, any law, ordinance, regulation or order relating to Hazardous Materials), (ii) constitutes a nuisance or waste, or (iii) increases the cost of any insurance relating to the Premises paid by Landlord. Tenant shall obtain, at its sole cost and expense, all governmental permits, licenses and authorizations of whatever nature required by any governmental agencies having jurisdiction over Tenant's use of the Premises. Further, Tenant, at its sole cost, will comply with all applicable governmental laws and regulations in connection with its operations within the City of Garden Grove.

(c) Safety. Tenant shall immediately correct any unsafe condition of the Premises, as well as any unsafe practices occurring thereon. Tenant shall cooperate fully with Landlord in the investigation of any injury or death occurring on the Premises, including a prompt report thereof to Landlord's property manager or designee.

(d) Nuisances and Annoyances. Tenant shall not use or permit the use of the Premises in any manner which creates a nuisance or measurable annoyance to persons outside the Premises except as may be required by law or necessary or advisable for safety purposes.

7. Taxes.

(a) Real Property Taxes. Should the property interest conveyed by this Lease be subject to real property taxation and/or assessments, subject to section 2(b), Tenant shall pay, before delinquency, all lawful taxes, assessments, fees or charges which may be levied by the State, County, City, or any other tax or assessment-levying body upon the Premises and any improvements thereon. "Taxes" shall include any form of tax or assessment (whether special or general, ordinary or extraordinary, foreseen or unforeseen), license fee, tax or excise on Rent or any interest of Landlord or Tenant (including any legal or equitable interest of Landlord or its beneficiary under a deed of trust, if any) in the Premises or the underlying realty. Taxes for any partial year shall be prorated.

(b) Personal Property Taxes. Tenant shall pay all taxes charged against trade fixtures, furnishings, equipment or any other personal property belonging to Tenant. Tenant shall use commercially reasonable efforts to have personal property taxed separately from the Premises. If any of Tenant's personal property is taxed with the Premises and paid by Landlord, Tenant shall reimburse Landlord the taxes for the personal property within 15 days after Tenant receives a written statement from Landlord for such personal property taxes, together with reasonable evidence showing the amount of personal property taxes paid by Landlord.

(c) Contesting Taxes. Tenant shall have the right to contest any Taxes, at its own cost and in its own name, and Landlord shall not pay any such Taxes; provided, however, that Tenant shall take such steps as may be required to perfect the contest, including payment of the Taxes under protest prior to an appeal of adverse determination of the contest. Upon final determination of any such contest (and if the Taxes have not already been paid under protest), Tenant shall pay the Taxes for which it is responsible hereunder as they are finally determined and all penalties, interest, costs, and expenses which may thereupon be due or have resulted therefrom. If Tenant contests any Taxes and such contest interferes with any proposed sale, financing or refinancing affecting the Premises, which Landlord has either commenced or is about to commence, upon Landlord's written request, Tenant shall either furnish to Landlord security in the amount of such contested Taxes, plus estimated costs and interest, or a bond of a responsible corporate surety in such amount.

8. Utilities.

(a) Electrical and Plumbing. Landlord shall provide the physical installation of electrical and plumbing (including landscape irrigation) utilities to the Premises, excluding any service charges for starting service.

(b) Utility Charges. Tenant agrees to pay directly to the appropriate utility company all charges for all utilities, including electric, gas, telephone, cable television, telecommunications, water, sanitary sewer lines, drainage facilities, trash, or any other utilities and other systems and lines exclusively serving the Premises. It is understood by the Parties that this section shall apply only to the portion of the Premises leased and occupied by Tenant. Tenant shall not be liable for costs/charges associated with property outside the scope of this lease.

(c) Waiver of Liability. Regardless of the entity supplying any of the utilities or providing any service referred to in this section, Landlord shall not be liable in damages for any failure or interruption of any utility or service unless such failure was due to the intentional or negligent acts of Landlord or its agents. No failure or interruption of any utility or service shall entitle Tenant to terminate this Lease or discontinue making payments of Rent.

(d) Tenant's Nonpayment. If Tenant fails to timely pay any charges referred to in this section, Landlord may pay the charge and Tenant shall reimburse Landlord such amount, as Additional Rent, within 5 days of demand therefor.

9. Improvements and Signage. Except as provided in Exhibit "B" and as may exist on the Premises as of the Effective Date, no structure, sign or other improvement of any kind shall be constructed on the Premises by Tenant, its employees, agents or contractors without the prior written approval of Landlord in each case. Approval may be withheld, conditioned or delayed in Landlord's sole and absolute discretion. No changes, modifications or alterations from approved plans and specifications may be made without Landlord's prior written approval. No approval by Landlord of any plans or specifications shall constitute (i) approval of architectural or engineering sufficiency or representation, or (ii) warranty by Landlord as to the adequacy or sufficiency of the plans and specifications or the improvements contemplated for Tenant's use or purpose. Landlord, by approving the plans and specifications, assumes no responsibility or liability for any defect in any improvements constructed on the basis of the plans and specifications. Tenant expressly agrees to comply with all applicable signage ordinances and shall be responsible for the general maintenance and repair of any signage to the Landlord's satisfaction. Landlord has approved the improvements listed in Exhibit "B" attached hereto and made a part hereof.

10. Maintenance and Repairs.

(a) Maintenance. The following requirements shall apply to Tenant upon the effective date of this Lease or occupancy of the Premises by Tenant.

(1) In General. Tenant shall, at Tenant's sole expense, keep the Premises, utility installations, and other improvements in good order, condition and repair (whether or not the portion of the Premises requiring repairs, or the means of repairing the same, are reasonably or readily accessible to Tenant, and whether or not the need for such repairs occurs as a result of Tenant's use, any prior use, the elements or the age of such portion of

the Premises), including, but not limited to, all equipment or facilities, such as plumbing, HVAC equipment, electrical, lighting facilities, boilers, pressure vessels, fixtures, interior walls, interior surfaces of exterior walls, ceilings, floors, windows, doors, plate glass, and skylights but excluding any items which are the responsibility of Landlord pursuant to subdivision (c) below. Tenant, in keeping the Premises in good order, condition and repair, shall exercise and perform good maintenance practices, specially including the procurement and maintenance of the service contracts required by subdivision (a)(2) below. Tenant's obligations shall include restorations, replacements or renewals when necessary to keep the Premises and all improvements thereon or a part thereof in good order, condition and state of repair. All replacements shall be of a quality equal to or exceeding that of the original.

(2) Service Contracts. Tenant shall, at Tenant's sole expense, procure and maintain contracts, with copies to Landlord, in customary form and substance for, and with licensed contractors specializing and experienced in the maintenance of the HVAC equipment. Tenant shall provide Landlord copies of work performed by said contractors upon demand. Landlord retains the right, upon failure of Tenant, after 15 days' notice and demand to contract with a contractor as required herein, to procure and maintain any or all of such service contracts, and Tenant shall reimburse Landlord, upon demand, for the cost thereof.

(3) Failure to Perform. If Tenant fails to perform Tenant's obligations under this section, Landlord may, but shall not be obligated to, enter upon the Premises after 10 days' prior written notice to Tenant (except in the case of emergency, in which case no notice shall be required), and perform such obligations on Tenant's behalf, and put the Premises in good order, condition and repair, without liability to Tenant for any loss that may accrue to Tenant's Business as a result, and Tenant shall promptly pay to Landlord a sum equal to 115% of the cost thereof.

(b) Damage. Tenant shall be responsible for any damage done in or to the Premises caused by Tenant or its employees, agents, contractors, customers or invitees, or any burglar, vandal, or unauthorized entrant.

(c) Capital Repairs and Improvements. Except for improvements to the Premises made by or on behalf of Tenant for Tenant's use of the Premises, or damages caused by Tenant pursuant to subdivision (b) above, which will be the responsibility of Tenant, should the need for capital repairs or improvements to the Premises arise during the Lease term (including, without limitation (i) the structural components of the Building consisting only of the foundation and members supporting the roof, and (ii) utility lines outside the boundaries of the Building), such repairs or improvements shall be made by Landlord. Tenant shall give Landlord written notice of any repair required to be made by Landlord. Tenant hereby waives and releases any right it may have to make repairs at Landlord's expense under Section 1941 and 1942 of the California Civil Code, or under any similar law, statute or ordinance.

11. Landlord's Right of Entry. Landlord or its authorized representatives may enter the Premises following at least 72 hours' notice to Tenant during Tenant's regular business hours (except in a case of emergency) to: (a) inspect the Premises; (b) perform any obligation or exercise any right or remedy of Landlord under this Lease; (c) make repairs, alterations, improvements or additions to

the leased Premises or to other portions of the Premises; (d) perform work necessary to comply with laws, ordinances, rules or regulations of any public authority or of any insurance underwriter; and (e) perform work that Landlord deems necessary to prevent waste or deterioration of the Premises should Tenant fail to promptly commence and complete such repairs within 15 days after Notice. In exercising its right of entry provided for herein, Landlord and its contractors shall minimize any alteration or disruption to Tenant's use of the Premises.

12. Liens. Tenant shall not permit to be placed against the Premises, or any other part of the Premises, any mechanics', materialmen's, contractors', subcontractors' or other liens. Tenant shall indemnify, defend (with counsel acceptable to Landlord) and hold Landlord harmless from all liability for any and all liens, claims and demands, together with the costs of defense and reasonable attorneys' fees related to same. Landlord reserves the right, at any time and from time to time, to post and maintain on the Premises, any portion thereof or on the improvements on the Premises any notices of non-responsibility or other notice as may be desirable to protect Landlord against liability. In addition to and not in limitation of Landlord's other rights and remedies under this Lease, should Tenant fail, within 15 days of a written request from Landlord, to discharge any lien or claim related to Tenant's use of the Premises or the Premises, or to indemnify, hold harmless and defend Landlord from and against any loss, damage, injury, liability or claim arising out of Tenant's use of the Premises as provided above, then Landlord, at its option, may elect to pay any lien, claim, loss, demand, injury, liability or damages, or settle or discharge any action or satisfy any judgment and all costs, expenses and attorneys' fees incurred in doing so shall be paid to Landlord by Tenant upon written demand, together with interest thereon at the rate of 7% per annum (but in no event more than the maximum interest rate permitted by law) from the date incurred or paid through and including the date of payment.

13. Indemnity. As a material part of the consideration to Landlord, Tenant shall pay for, defend (with an attorney approved by Landlord), indemnify, and hold Landlord and its elected and appointed officials, officers, employees, representatives and agents (together "Indemnitees") harmless from any real or alleged damage or injury and from all claims, judgments, liabilities, penalties, costs and expenses, including attorneys' fees and costs (collectively, "Costs"), in any way connected to Tenant's (or anyone acting directly or indirectly by or through Tenant) use or operation on the Premises, or any repairs, alterations or improvements which Tenant may make or cause to be made on the Premises, or by any breach of this Lease by Tenant, or by any existing or future condition, defect, matter or thing or about the Premises or any part thereof or any equipment or appurtenance therein and any loss or interruption of business or loss of Rent income resulting from any of the foregoing; provided, however, Tenant shall not be liable for Costs to the extent such damage or injury is ultimately determined to be caused by the negligence or misconduct of Landlord. Notwithstanding the foregoing, Tenant shall in all cases accept any tender of defense of any action or proceeding in which any of the Indemnitees is or are named or made a party and shall, notwithstanding any allegations of negligence or misconduct on the part of any of the Indemnitees, defend the Indemnitees as provided herein until a final determination of negligence or misconduct is made. Costs shall also include all of Indemnitees' reasonable attorneys' fees, litigation costs, investigation costs and court costs and all other costs, expenses and liabilities incurred by any of the Indemnitees or their counsel(s) from the first Notice that any claim or demand is to be made or may be made. Notwithstanding any other provision hereof, Tenant's obligations under this section shall survive the termination of this Lease.

14. Insurance.

(a) Commercial General Liability. Tenant, at its sole cost and expense, shall, during the entire Term, any extension and holdover period, keep in full force and effect a policy or policies of commercial general liability insurance and property damage insurance with respect to the Premises and the operations by Tenant in which the combined single limit of liability shall be not less than \$2,000,000. Tenant shall also maintain a standard form all-risk policy covering fire and extended coverage, vandalism, malicious mischief, sprinkler leakage and other perils of direct physical loss or damage insuring the personal property, trade fixtures and equipment of Tenant. Said policies shall name Landlord as additional insured and contain a clause that the insurer may not cancel or change the insurance coverage limits without first giving Landlord 30 days' prior written notice, except cancellation for nonpayment of premium, in which case only 10 days' prior written notice shall be required. Tenant's commercial general liability insurance shall include a contractual liability endorsement insuring performance of all indemnities of Tenant under this Lease and a cross-liability endorsement to the extent insurable. Said insurance policy shall be with an insurance company or companies with general policy holders' rating of not less than "A-VIII" as rated in the most current available Best's Key Rating Guide and which are qualified to do business in the state in which the Premises are located. Tenant may satisfy this insurance requirement through a program of self-insurance.

(b) Risk of Loss. Landlord shall not be liable for injury to any person or for any damage to personal property sustained by Tenant or others that are caused by any defects in said Premises or the Premises, or any service facilities or due to the happening of accident, including any damage caused by water, wind storm, or by any gas, steam, electrical wiring, sprinkler system, plumbing, heating or conditioning apparatus; theft; or acts or omissions of co-tenants or other occupants of the Premises, or hereafter occurring therein or due to any part or appurtenance thereof, including any and all furniture, fixtures, and equipment of Tenant becoming out of repair, or from any act or omission of Tenant.

(c) Waiver of Subrogation. Tenant hereby releases Landlord from liability and waives all right of recovery against Landlord for any loss in or around the Premises from perils insured against under its fire or liability insurance contracts, including any all risk endorsements thereof, whether due to negligence or any other cause, provided that this section shall be inapplicable if it would have the effect, but only to the extent it would have the effect, of invalidating any insurance coverage of Landlord or Tenant. Nothing herein shall relieve Tenant of its obligation to request and procure, to the extent available on a commercially reasonable basis, the necessary endorsements required to validly waive subrogation in accordance with this section. Tenant shall, at the request of Landlord, execute and deliver to Landlord a Waiver of Subrogation in the form and content as reasonably required by Landlord's insurance carrier. To the extent Tenant fails to maintain the insurance required under the terms of this Lease, such failure shall be a defense to any claim asserted by Tenant against Landlord by reason of any loss sustained by Tenant due to circumstances that would have been covered had such required insurance been maintained.

(d) Certificate of Insurance. A certificate issued by the insurance carrier for each policy of insurance required to be maintained by Tenant under the provisions of this Lease shall be delivered to Landlord upon or before the delivery of the Premises to Tenant for any purpose. Each

of said certificates of insurance and each such policy of insurance required to be maintained by Tenant hereunder shall expressly evidence insurance coverage as required by this Lease.

15. Destruction.

(a) Non-Termination and Non-Abatement. Except as expressly provided in subsection (b), no destruction or damage to the Premises or any improvements located thereon by fire, windstorm or other casualty, whether insured or uninsured, shall entitle Tenant to terminate this Lease or to an abatement of Rent hereunder; provided, however, that both Landlord and Tenant each reserve rights to terminate this Lease upon 30 days' notice as provided herein.

(b) Repair of Damage. If the leased Premises is/are totally destroyed or damaged or rendered wholly untenantable by fire or other casualty, then Landlord and Tenant shall each have the right to terminate this Lease by giving Notice to the other Party within 30 days after the date of destruction. Upon termination of the Lease pursuant to this section, all insurance proceeds relating to the leased Premises shall be paid to Landlord (exclusive of Tenant coverage for personal/business property and/or personal injury). If Tenant does not terminate the Lease within 30 days from the expiration of such 30-day period, Tenant shall pay Rent unabated and all insurance proceeds shall be paid to Tenant. If the leased Premises is partially damaged or rendered partially untenantable by fire or other casualty, Tenant shall, within 30 days from the date of such destruction, begin the repair or replacement of the portion of the leased Premises affected; provided, however, that both Landlord and Tenant each reserve rights to terminate this Lease upon 30 days' notice as provided herein.

16. Default and Remedies. Should Tenant be in default with respect to any monetary obligation pursuant to the terms of this Lease for a period of 15 days, or should Tenant vacate or abandon the Premises, then Landlord may treat any such event as a material breach of this Lease and in addition to any or all other rights or remedies of Landlord by law provided, should Tenant be in default with respect to any other obligation contained in this Lease, then Landlord may request by written notice that Tenant cure the breach within 15 days. If Tenant does not cure the breach within 15 days, then Landlord may terminate this Lease. Landlord shall have the right, at Landlord's option, without further notice or demand of any kind to Tenant or any other person to declare the Lease terminated and to re-enter and take possession of the Premises and remove all persons therefrom. Should Landlord elect to terminate this Lease pursuant to this section, Landlord may recover from Tenant all damages caused as a result of Tenant's default.

17. Waiver. Any waiver by Landlord of any default or breach of any covenant, condition, term, and agreement contained in this Lease, shall not be construed to be a waiver of any subsequent or other default or breach, nor shall failure by Landlord to require exact, full, and complete compliance with any of the covenants, conditions, terms, or agreements contained in this Lease be construed as changing the terms of this Lease in any manner or preventing Landlord from enforcing the full provisions hereof. No delay, failure, omission of Landlord to exercise any right, power, privilege, or option arising from any default or breach, nor any subsequent acceptance of payment then or thereafter by Landlord, shall impair any such right, power, privilege, or option or be construed as a waiver of or acquiescence in such default or breach, or as a relinquishment of any right. The rights, powers, options, privileges, and remedies available to Landlord under this Lease shall be cumulative.

18. Attorneys' Fees. Should either party to this Lease have to resort to litigation to enforce any provision of this Lease, the prevailing party shall be entitled to its attorneys' fees and reasonable costs incurred in litigating any dispute.

19. Inspection. Landlord and its representatives, employees, agents or independent contractors may enter and inspect the Premises or any portion of the Premises or any improvements on the Premises at any time during business hours and at other times after Landlord has provided Tenant with 72 hours advanced notice to show the Premises to potential buyers, investors or tenants or other parties, inspect the Premises, make repairs or replacements, or for any other purpose Landlord reasonably deems necessary. All visitors shall be accompanied by a Landlord representative and shall provide Tenant with identification and the purpose of the visit/inspection upon demand.

20. Prohibition on Assignment and Subletting. Tenant may not assign, sublet or otherwise transfer its interest under this Lease without Landlord's prior written consent, which consent may be withheld, conditioned or delayed in Landlord's sole and absolute discretion. Any attempted assignment, sublet or transfer made in violation of this provision shall be void.

21. Notices. All notices, demands and requests which may be given or which are required to be given by any party to this Agreement, and any exercise of a right of termination provided by this Agreement, shall be in writing and shall be deemed effective either: (1) on the date personally delivered to the address below prior to 5:00 p.m. (Pacific Standard Time), as evidenced by written receipt therefor, whether or not actually received by the person to whom addressed; (2) on the third (3rd) business day after being sent, by certified or registered mail, return receipt requested, addressed to the intended recipient at the address specified below; (3) on the first (1st) business day after being deposited into the custody of a nationally recognized overnight delivery service (i.e., FedEx, UPS, or DHL) addressed to such party at the address specified below; or (4) on the business day sent via facsimile transmission to the facsimile numbers below, as evidenced by a printed confirmation of the successful electronic transmission of the message prior to 2:00 p.m. (Pacific Standard Time), or otherwise delivery shall be considered to be on the following business day. For purposes of this section, the addresses of the parties for all notices are as follows:

To Landlord: KJ Investments Group LLC
Attn.: Chae Hong Chung
3440 Wilshire Blvd., Ste. 1000
Los Angeles, CA 90010
Tel. _____

To Tenant: City of Garden Grove
Attn.: Lisa Kim, Assist. City Manager
11222 Acacia Parkway
Garden Grove, CA 92840
Tel. (714) 741-5148

22. No Principal/Agent Relationship and No Third Party Beneficiary. Nothing contained in this Lease shall be construed as creating the relationship of principal and agent or of partnership or joint venture between Landlord and Tenant, nor shall it be construed to benefit any third party.

23. Option to Purchase. Landlord hereby grant to Tenant the exclusive right to purchase the Property over which the Premises are located at a price and under the terms and conditions set forth in Exhibit C. This option will commence on the Effective Day and will remain in effect until 5:00 p.m., December 1, 2023. This option is granted in consideration of Tenant's lease of the Premises, which was a material consideration to enter into this Lease Agreement. Furthermore, should Tenant exercise this option within one year of the Effective Date, then 40% of the Rent shall be credited to the purchase price of the Property. If Tenant fails to exercise this option in accordance with its terms and within the option period or any extension of it, then this option and the rights of Tenant will automatically and immediately terminate without notice. Thereafter, Tenant must properly execute, acknowledge, and deliver to Landlord within 45 days of a request therefor, a release, quitclaim deed, or any other document required by Landlord or a title insurance company to verify the termination of this option. Tenant must not assign this option. In the event an attempted assignment is made, in violation of this provision, then Tenant's rights under this option to purchase will automatically terminate without notice. This option will be binding on and inure to the benefit of the parties to this Lease Agreement and their heirs, personal representatives, and successors.

24. Authority to Enter Into Agreement. Each Party to this Lease represents and warrants that its respective signatory has the authority to enter into this Lease and to bind it to the terms of this Lease.

25. Applicable Law and Venue. This Lease shall be construed and enforced in accordance with, and governed by, the laws of the State of California. The parties consent to the jurisdiction of the California courts with venue in Orange County.

26. Counterparts and Facsimiles. This Lease may be executed in any number of counterparts, each of which shall be deemed an original and all of which shall constitute one and the same instrument. Any facsimile of any original document shall be treated as an original document. The Party submitting any facsimile must also submit a copy of the original to the other Party within a reasonable time after the transmission of the facsimile.

27. Miscellaneous.

(a) The headings of this Lease are for purposes of reference only and shall not limit or define the meaning of any provision.

(b) The above Recitals are an integral part of this Lease and made part hereof.

(c) If any provision of this Lease or its application is found to be invalid or unenforceable, such determination shall not affect the other provisions of this Lease and they shall remain valid and enforceable.

(d) Time is of the essence in all provisions of this Lease.

28. Complete Agreement. This Lease constitutes the entire agreement between Landlord and Tenant pertaining to the subject matter of this Lease and supersedes all prior and contemporaneous agreements, representations and understandings of Landlord and Tenant, oral or written.

29. Brokers. Curtis Lighter and Liz Nguyen with Lightner Realty are the sole brokers in connection with this Lease representing solely the Landlord, and Landlord shall be solely responsible for the payment of any compensation therefor. There have been no other brokers, finders or agents involved in this Lease, and each party agrees to hold the other harmless from the failure to pay any other broker, finder or agent making a claim for compensation, commission or charges with respect to this Lease and/or the negotiation hereof.

30. Modification. No supplement, modification, amendment or change in any terms of this Lease shall be binding on the Parties unless in writing and executed by Tenant and Landlord.

[SIGNATURES ON FOLLOWING PAGE]

IN WITNESS WHEREOF, Landlord and Tenant have executed this instrument as of the dates below stated.

LANDLORD

KJ Investment Group, LLC
a California limited liability company

By: _____
Its: _____
Dated: _____

By: _____
Its: _____
Dated: _____

TENANT

CITY OF GARDEN GROVE
a California municipal corporation

By: _____
Its: City Manager
Dated: _____

Attest:

By: _____
Its: City Clerk
Dated: _____

Approved as to form:

City Attorney

EXHIBIT "A"

Landlord Repair Responsibilities

Landlord agrees to complete the following one-time repair/maintenance items prior to the Tenant taking possession of the Premises:

- All electrical facilities serving the Premises, inside and outside the Building, including lighting to code and operational.
- All plumbing serving the Premises, inside and outside the Building (including landscape irrigation) to code and operational.
- Removal of any condition that would preclude the occupancy of the leased Premises pursuant to any Federal, State, or local law, including ADA compliance.
- The leased Premises shall be delivered by Landlord broom clean.
- Landlord and Tenant shall conduct a walkthrough of the Premises.
- Landlord consents to Tenant obtaining copies of architectural drawings, if any, at Tenant's cost, for any of the work performed to the Premises in connection with Landlord's Repair Responsibilities pursuant to the Lease.

EXHIBIT "B"

Improvements by Tenant Approved by Landlord

Landlord has approved the following improvements by Tenant, which do not require further approval by Landlord provided that they are constructed, installed, or reconstructed and maintained according to applicable State and local codes and regulations, if any.

- Installation of video and alarm monitoring.
- Internal Tenant improvements.

EXHIBIT “C”

Instructions for Tenant’s Exercise of Option

In the event that Tenant wishes to exercise the option pursuant to Section 23 of the Lease, the Parties agree to proceed as follows:

1. Tenant shall notify Landlord in writing at the address in Section 21 of the Lease of Tenant’s decision to exercise the option.
2. Within 15 business days of Tenant’s notice to Landlord, the Parties will negotiate a mutually acceptable price and terms for the purchase of the Property memorialized in a purchase and sale agreement with escrow instructions.

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To: Scott C. Stiles From: Patricia Song
Dept.: City Manager Dept.: Finance
Subject: Receive and file warrants. Date: 5/10/2022
(Action Item)

Attached are the warrants recommended to be received and filed.

ATTACHMENTS:

Description	Upload Date	Type	File Name
Warrants	5/4/2022	Warrants	03162022.pdf
Warrants	5/4/2022	Warrants	03232022.pdf
Warrants	5/4/2022	Warrants	03302022.pdf
Warrants	5/4/2022	Warrants	04012022.pdf
Warrants	5/4/2022	Warrants	04062022.pdf
Warrants	5/4/2022	Warrants	04132022.pdf
Warrants	5/4/2022	Warrants	04202022.pdf
Warrants	5/5/2022	Warrants	PY_22.04.29.pdf



City of Garden Grove
Certificate of Warrants
Register Dates:
3/16/2022

This is to certify the demands covered by Wire number 00000984, EFT numbers 00021282 through 00021306, and check numbers 00677521 through 00677626 inclusive as listed on this register and have been verified by the Finance Division as properly issued and bear all proper signatures.

Note: Check 00677549 & 00677619 were reversed

A handwritten signature in blue ink, appearing to read 'Patricia Song', written over a horizontal line.

Finance Director
Patricia Song

CITY OF GARDEN GROVE
GGFEFM001 Warrant Register
Check Dates Between Mar 10, 2022 and Mar 16, 2022
Bank(s): AP - Checking Account, WT - Checking Account

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AP - Checking Account

Check	Vendor #	Vendor Name	Issue Date	Check Amount
00000984	V00792	SO CALIF GAS CO	03/16/2022	\$50.00
00021282	V00093	ABSOLUTE INTERNATIONAL SECURITY	03/16/2022	\$375.20
00021283	V02878	ADMIRAL PEST CONTROL, INC.	03/16/2022	\$654.00
00021284	V02837	ALLIED UNIVERSAL SECURITY SERVICES	03/16/2022	\$52,240.77
00021285	V01479	AMAZON WEB SERVICES, INC	03/16/2022	\$2,806.89
00021286	V00422	ARC DOCUMENT SOLUTIONS, LLC	03/16/2022	\$185.48
00021287	V00489	BAY ALARM COMPANY	03/16/2022	\$691.50
00021288	V00224	CDW-GOVERNMENT, INC	03/16/2022	\$336.34
00021289	V00672	CRON & ASSOCIATES TRANSCRIPTION, INC	03/16/2022	\$1,403.89
00021290	V00259	DTNTECH MARKETING	03/16/2022	\$60.90
00021291	V00679	ENTERPRISE FLEET MGMT, INC	03/16/2022	\$4,852.92
00021292	V01305	FLEMING ENVIRONMENTAL, INC	03/16/2022	\$420.00
00021293	V00218	GRAINGER	03/16/2022	\$2,915.80
00021294	V01391	INTELEPEER CLOUD COMMUNICATIONS, LLC	03/16/2022	\$2,171.12
00021295	V02872	INTERIOR DEMOLITION, INC	03/16/2022	\$78,755.00
00021296	V01286	JTB SUPPLY CO, INC	03/16/2022	\$532.88
00021297	V02894	MEDICAL EMERGENCY DATA SYSTEMS	03/16/2022	\$4,998.70
00021298	V00747	OCEAN BLUE ENVIRONMENTAL SERVICES, INC	03/16/2022	\$5,612.03
00021299	V00500	QUADIENT LEASING USA INC	03/16/2022	\$933.40
00021300	V02783	INC. QUADIENT	03/16/2022	\$853.69
00021301	V00250	SIMPSON CHEVROLET OF GG	03/16/2022	\$1,081.24
00021302	V02539	THE SOLIS GROUP	03/16/2022	\$2,434.00
00021303	V02830	VIEN DONG DAILY NEWS	03/16/2022	\$340.00
00021304	V00341	ALLISON ASH-BURKE	03/16/2022	\$900.00
00021305	V02898	B & B PROMOTIONS, LLC	03/16/2022	\$4,978.05
00021306	V02906	JEFFREY JOHNS	03/16/2022	\$700.00
00677521	V00573	ALAN'S LAWN AND GARDEN CENTER, INC	03/16/2022	\$505.09
00677522	V01087	ALLSPACE STORAGE, L.P.	03/16/2022	\$960.00
00677523	V00426	ALS GROUP USA CORP	03/16/2022	\$1,298.00
00677524	V02909	AMERICAN ENGRAVING COMPANY	03/16/2022	\$957.00
00677525	V00639	ANAHEIM HOUSING AUTHORITY COMMUNITY DEV	03/16/2022	\$3,450.00
00677526	V00479	ANDRES MEDINA MOBILE WASH	03/16/2022	\$1,997.50
00677527	V00864	ASSOCIATED SOILS ENGINEERING, INC	03/16/2022	\$2,580.00

CITY OF GARDEN GROVE
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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00677528	V00033	AT&T CORP	03/16/2022	\$11,758.88
00677529	V00145	AUTONATION FORD TUSTIN	03/16/2022	\$2,280.97
00677530	V02920	AWESOME PEDICAB	03/16/2022	\$1,990.00
00677531	V00008	B & D TOWING	03/16/2022	\$225.00
00677532	V00645	BARR AND CLARK, INC	03/16/2022	\$1,185.00
00677533	V00091	BEGINNERS EDGE SPORTS TRAINING, LLC	03/16/2022	\$1,060.29
00677534	V01038	BRUCE HALL LAND SURVEYOR, INC	03/16/2022	\$946.00
00677535	V00655	C WELLS PIPELINE MATERIALS, INC	03/16/2022	\$578.01
00677536	V00304	CADD MICROSYSTEMS, INC	03/16/2022	\$1,992.50
00677537	V00660	CAMERON WELDING SUPPLY	03/16/2022	\$23.50
00677538	V02914	ISAAC CASILLAS	03/16/2022	\$600.00
00677539	V00832	CITY OF WESTMINSTER	03/16/2022	\$600.00
00677540	V00667	CONTINENTAL CONCRETE CUTTING	03/16/2022	\$2,723.00
00677541	V00497	CORDOVA & SON, INC	03/16/2022	\$2,873.20
00677542	V00620	COUNTY OF ORANGE	03/16/2022	\$2,589.41
00677543	V01134	COUNTY OF ORANGE TREAS REV RECOVERY-A/R UNIT	03/16/2022	\$121,600.30
00677544	V01134	COUNTY OF ORANGE TREAS REV RECOVERY-A/R UNIT	03/16/2022	\$25,519.50
00677545	V00075	CROSSTOWN ELECTRICAL & DATA, INC	03/16/2022	\$16,350.00
00677546	OTV001925	CARRIE DAWE	03/16/2022	\$321.17
00677547	V01183	DEPARTMENT OF JUSTICE	03/16/2022	\$256.00
00677548	V01367	DIGITAL SCEPTER CORPORATION	03/16/2022	\$1,512.00
00677550	V00623	FAIR HOUSING FOUNDATION	03/16/2022	\$6,315.97
00677551	V00412	FEDERAL EXPRESS CORP	03/16/2022	\$31.90
00677552	V00829	FERGUSON ENTERPRISES, INC 1350	03/16/2022	\$112.46
00677553	OTV001870	SAN JUANITA FERNANDEZ	03/16/2022	\$44,189.54
00677554	V01379	FIVESTAR RUBBER STAMP ETC, INC	03/16/2022	\$194.37
00677555	V00054	GALLS LLC	03/16/2022	\$764.54
00677556	V00696	GARDEN GROVE UNIFIED SCHOOL DIST	03/16/2022	\$596.15
00677557	V00097	GOLDENWEST LAWNMOWERS & SCOOTERS	03/16/2022	\$111.73
00677558	V00702	GRAFFITI PROTECTIVE COATINGS, INC	03/16/2022	\$14,894.67
00677559	V02116	HABITAT FOR HUMANITY OF ORANGE COUNTY, INC.	03/16/2022	\$6,000.00
00677560	V00707	HACH COMPANY, INC	03/16/2022	\$66.85
00677561	V00708	HARBOR POINTE A/C & CONTROL SYSTEMS, INC	03/16/2022	\$235.00

CITY OF GARDEN GROVE
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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00677562	V00711	HILL'S BROS LOCK & SAFE, INC	03/16/2022	\$322.92
00677563	OTV001928	LY HO	03/16/2022	\$53.32
00677564	OTV001939	JOHN HSING	03/16/2022	\$27.48
00677565	V00264	HTL HOTEL ADVISORS, INC	03/16/2022	\$4,173.75
00677566	OTV001937	PHAY HUYNH	03/16/2022	\$47.20
00677567	OTV001936	TAN HUYNH	03/16/2022	\$89.51
00677568	V02739	IMS INFRASTRUCTURE MANAGEMENT SERVICES, LLC	03/16/2022	\$4,199.25
00677569	V00182	INFOSEND, INC	03/16/2022	\$8,182.99
00677570	V00552	INLAND WATER WORKS SUPPLY	03/16/2022	\$48.94
00677571	OTV001927	INC INNOVATION NAILS & SPA	03/16/2022	\$9.35
00677572	V00860	INTERNATIONAL E-Z UP, INC	03/16/2022	\$313.32
00677573	V02268	JENNY TRAN	03/16/2022	\$1,000.00
00677574	V00283	JIG CONSULTANTS	03/16/2022	\$51,820.16
00677575	V00071	JM NURSERY	03/16/2022	\$875.44
00677576	V01112	JOINTS	03/16/2022	\$2,276.18
00677577	V00907	KAREN PINO ART IN MOTIONS FOR KIDS	03/16/2022	\$560.00
00677578	V00322	PATI KENT	03/16/2022	\$18.11
00677579	V00724	KLEINFELDER WEST, INC	03/16/2022	\$4,941.38
00677580	V00726	KOA CORPORATION	03/16/2022	\$23,951.00
00677581	V00769	LEGAL SHIELD	03/16/2022	\$744.45
00677582	V00299	LOOPNET	03/16/2022	\$492.24
00677583	V00350	JOSHUA MCINTOSH	03/16/2022	\$500.00
00677584	V00737	MERCHANTS BLDG MAINT, LLC	03/16/2022	\$8,189.69
00677585	V00557	NATIONAL CONSTRUCTION RENTALS	03/16/2022	\$1,337.03
00677586	OTV001929	BICH T NGUYEN	03/16/2022	\$11.74
00677587	OTV001938	DIEM KHANH NGUYEN	03/16/2022	\$11.19
00677588	OTV001931	SONNY NGUYEN	03/16/2022	\$51.23
00677589	OTV001926	THANH BINH T NGUYEN	03/16/2022	\$12.65
00677590	V02915	TIFFANY NGUYEN	03/16/2022	\$500.00
00677591	OTV001933	TU NGUYEN	03/16/2022	\$64.61
00677592	V00741	NIAGARA PLUMBING	03/16/2022	\$4.02
00677593	OTV001922	NRI PORTFOLIOS LLC	03/16/2022	\$56.83
00677594	OTV001922	NRI PORTFOLIOS LLC	03/16/2022	\$37.67
00677595	OTV001922	NRI PORTFOLIOS LLC	03/16/2022	\$28.49

CITY OF GARDEN GROVE
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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00677596	V00459	O'REILLY AUTO PARTS	03/16/2022	\$261.23
00677597	V00209	WHJ OCN,IND	03/16/2022	\$1,285.00
00677598	V00560	ORANGE COUNTY FIRE PROTECTION	03/16/2022	\$4,200.06
00677599	V01649	ORANGE COUNTY TRANSIT AUTHORITY	03/16/2022	\$3,288.74
00677600	V00189	PACIFIC ATHLETIC WEAR, INC	03/16/2022	\$4,056.38
00677601	V00701	PACIFIC MOBILE STRUCTURES, INC	03/16/2022	\$957.00
00677602	V00598	PARKWOOD LANDSCAPE MAINTENANCE, INC	03/16/2022	\$27,104.50
00677603	OTV001930	SEEMA PATEL	03/16/2022	\$30.13
00677604	V01488	PERFORMANCE NURSERY CORP	03/16/2022	\$2,115.30
00677605	V01591	PRAXIS CORPORATION	03/16/2022	\$13,660.00
00677606	OTV001935	REDFINNOW BORROWER LLC	03/16/2022	\$22.69
00677607	V00529	REGENTS OF THE UNIVERSITY OF CALIFORNIA AT IRVINE	03/16/2022	\$700.00
00677608	V00780	SAFETY 1st PEST CONTROL, INC	03/16/2022	\$50.00
00677609	OTV001934	MARIE SANUDO	03/16/2022	\$62.84
00677610	V00592	SAXE-CLIFFORD, PH D, SUSAN	03/16/2022	\$1,800.00
00677611	V00542	SCHORR METALS, INC	03/16/2022	\$364.53
00677612	V00784	SHOETERIA	03/16/2022	\$240.00
00677613	V00785	SHRED CONFIDENTIAL, INC	03/16/2022	\$854.91
00677614	V01415	SOCAL AUTO & TRUCK PARTS INC	03/16/2022	\$1,529.71
00677615	V00788	SOUTH COAST AQMD	03/16/2022	\$1,165.48
00677616	V00570	STRADLING, YOCCA,CARLSON & RAUTH	03/16/2022	\$1,602.00
00677617	V00228	SUPERION, LLC	03/16/2022	\$123,616.48
00677618	OTV001932	LAM TRAN	03/16/2022	\$70.00
00677620	V00812	UNIFIRST CORP	03/16/2022	\$2,903.91
00677621	V00814	UNITED PARCEL SERVICE	03/16/2022	\$124.30
00677622	V00301	USA BLUE BOOK	03/16/2022	\$260.80
00677623	V01075	VIET BAO DAILY, INC	03/16/2022	\$700.00
00677624	V00527	WALTERS WHOLESALE ELECTRIC	03/16/2022	\$140.09
00677625	V00823	WATERLINE TECHNOLOGIES, INC	03/16/2022	\$2,920.32
00677626	V01208	YO-FIRE SUPPLIES	03/16/2022	\$2,822.88
			EFT:	25 \$171,233.80
			Check:	105 \$596,156.92
			Total:	130 \$767,390.72



City of Garden Grove
Certificate of Warrants
Register Dates:
3/23/2022

This is to certify the demands covered by Wire number 00000985 through 00000990, EFT numbers 00021307 through 00021333, and check numbers 00677627 through 00677765 inclusive as listed on this register and have been verified by the Finance Division as properly issued and bear all proper signatures.

Note: Check 00677700 was an overrun

A handwritten signature in blue ink, which appears to read 'Patricia Song', written over a horizontal line.

Finance Director
Patricia Song

CITY OF GARDEN GROVE
GGFEFM001 Warrant Register
Check Dates Between Mar 17, 2022 and Mar 23, 2022
Bank(s): AP - Checking Account, WT - Checking Account

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AP - Checking Account

Check	Vendor #	Vendor Name	Issue Date	Check Amount
00000985	V00637	CITY OF ANAHEIM	03/23/2022	\$91.10
00000986	V00789	SO CALIF EDISON CO	03/23/2022	\$262.37
00000987	V00819	VERIZON WIRELESS-LA	03/23/2022	\$13,158.45
00000988	V00686	FRONTIER COMMUNICATION	03/23/2022	\$1,350.63
00000989	V00792	SO CALIF GAS CO	03/23/2022	\$893.14
00000990	V00792	SO CALIF GAS CO	03/23/2022	\$24,763.59
00021307	V00585	ADMINSURE	03/23/2022	\$16,939.00
00021308	V00489	BAY ALARM COMPANY	03/23/2022	\$320.45
00021309	V00175	CALIFORNIA YELLOW CAB	03/23/2022	\$4,810.40
00021310	V02708	CHC: CREATING HEALTHIER COMMUNITIES	03/23/2022	\$45.00
00021311	V00355	CITY NET	03/23/2022	\$2,998.83
00021312	V00718	DANGELO CO (JWD ANGELO CO INC)	03/23/2022	\$12,837.72
00021313	V00281	DAVIS FARR, LLP	03/23/2022	\$23,770.00
00021314	V02927	ERGO EVAL	03/23/2022	\$1,573.69
00021315	OTV000879	GARDEN GROVE POLICE ASSOCIATION	03/23/2022	\$15,918.92
00021316	V02707	GARDEN GROVE POLICE ASSOCIATION PAC	03/23/2022	\$3,445.00
00021317	V00218	GRAINGER	03/23/2022	\$1,326.75
00021318	V02767	INNOVATION COLLECTIVE, LLC	03/23/2022	\$22,500.00
00021319	V00716	INTERVAL HOUSE	03/23/2022	\$32,031.75
00021320	V00283	JIG CONSULTANTS	03/23/2022	\$51,820.16
00021321	V00722	KEYSER/MARSTON ASSOCIATES, INC	03/23/2022	\$2,411.25
00021322	V02774	KORDICH CONSTRUCTION, INC.	03/23/2022	\$237,161.46
00021323	V01817	LSA ASSOCIATES, INC	03/23/2022	\$1,043.00
00021324	V00123	MANAGEMENT PARTNERS, INC	03/23/2022	\$780.00
00021325	V02205	OCAPICA	03/23/2022	\$4,257.14
00021326	V00747	OCEAN BLUE ENVIRONMENTAL SERVICES, INC	03/23/2022	\$4,511.56
00021327	V02706	ORANGE COUNTY EMPLOYEES ASSOCIATION	03/23/2022	\$3,570.11
00021328	V00136	ORANGE COUNTY WELDING, INC	03/23/2022	\$9,700.20
00021329	V00425	PETDATA	03/23/2022	\$1,847.60
00021330	V02159	SIR SPEEDY PRINTING	03/23/2022	\$1,805.25
00021331	V00261	STRICTLY TECHNOLOGY, LLC	03/23/2022	\$3,415.38
00021332	V00826	WEST COAST ARBORISTS, INC	03/23/2022	\$48,613.00
00021333	V02089	SHANNON WAINWRIGHT	03/23/2022	\$553.85

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00677627	V00629	A-1 FENCE COMPANY	03/23/2022	\$3,794.00
00677628	V01697	AECOM TECHNICAL SERVICES, INC	03/23/2022	\$1,900.00
00677629	V00048	AIS ADVANCED IMAGING STRATEGIES, INC	03/23/2022	\$55.46
00677630	V00573	ALAN'S LAWN AND GARDEN CENTER, INC	03/23/2022	\$272.73
00677631	V00633	ALL AMERICAN ASPHALT	03/23/2022	\$143,071.51
00677632	V00635	ALL CITY MANAGEMENT SERVICES, INC	03/23/2022	\$12,027.01
00677633	V00238	AMERINAT	03/23/2022	\$818.30
00677634	V00137	ANIMAL PEST MANAGEMENT SERVICES, INC	03/23/2022	\$3,950.00
00677635	V00647	ANTHONY BIRMINGHAM WINDOW CLEANING	03/23/2022	\$1,351.00
00677636	V00033	AT&T CORP	03/23/2022	\$11,654.57
00677637	V00145	AUTONATION FORD TUSTIN	03/23/2022	\$1,327.81
00677638	V01152	B L WALLACE DISTRIBUTOR, INC	03/23/2022	\$954.57
00677639	V00237	BEST BUY FOR BUSINESS	03/23/2022	\$343.11
00677640	V00249	BLAIS & ASSOCIATES, LLC	03/23/2022	\$131.25
00677641	V00699	BOYS AND GIRLS CLUB OF GARDEN GROVE, INC	03/23/2022	\$187.89
00677642	V00660	CAMERON WELDING SUPPLY	03/23/2022	\$551.73
00677643	V00596	CLEANSTREET	03/23/2022	\$55,456.50
00677644	V00579	COASTLINE EQUIPMENT	03/23/2022	\$2,481.62
00677645	V00667	CONTINENTAL CONCRETE CUTTING	03/23/2022	\$3,703.00
00677646	OTV001875	COTTAGE INDUSTRIES, LLC	03/23/2022	\$38.29
00677647	V02683	DAVISON & MOORE COMMERCIAL FLOORING	03/23/2022	\$4,200.00
00677648	V02871	DBS ADMINISTRATORS, INC.	03/23/2022	\$6,309.09
00677649	V01183	DEPARTMENT OF JUSTICE	03/23/2022	\$211.00
00677650	V01367	DIGITAL SCEPTER CORPORATION	03/23/2022	\$19,919.53
00677651	V00370	JAMES DINH	03/23/2022	\$2,000.00
00677652	V01757	ELITE EQUIPMENT, INC	03/23/2022	\$16,933.89
00677653	V00395	EMARD ELECTRIC DOOR AND GATE SERVICE	03/23/2022	\$644.38
00677654	V00174	ENGINEERING RESOURCES OF SOUTHERN CALIFORNIA, INC	03/23/2022	\$28,769.80
00677655	V00191	ENVIROCHECK	03/23/2022	\$775.00
00677656	OTV001872	ABE ESMILZADEH	03/23/2022	\$13.50
00677657	V00336	EXCLUSIVE AUTO DETAIL	03/23/2022	\$486.00
00677658	V00233	FACTORY MOTOR PARTS CO BIN 139107	03/23/2022	\$445.76
00677659	V00623	FAIR HOUSING FOUNDATION	03/23/2022	\$2,984.87

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00677660	V00412	FEDERAL EXPRESS CORP	03/23/2022	\$101.81
00677661	V00009	FORENSIC NURSE SPECIALISTS, INC	03/23/2022	\$2,500.00
00677662	V02257	FRANCHISE TAX BOARD	03/23/2022	\$502.53
00677663	V00143	FRYE SIGN CO	03/23/2022	\$890.00
00677664	V00114	FUN EXPRESS, INC	03/23/2022	\$320.68
00677665	V02936	FUSION SIGN AND DESIGN, INC.	03/23/2022	\$26,069.17
00677666	V00054	GALLS LLC	03/23/2022	\$2,747.36
00677667	V01055	GARDEN GROVE POLICE ASSOC RETIREE MEDICAL TRUST	03/23/2022	\$764,708.00
00677668	V00140	GARDEN GROVE SECURED STORAGE	03/23/2022	\$280.00
00677669	V00707	HACH COMPANY, INC	03/23/2022	\$62.79
00677670	V00711	HILL'S BROS LOCK & SAFE, INC	03/23/2022	\$478.00
00677671	V00135	IMPERIAL SPRINKLER SUPPLY, INC	03/23/2022	\$586.66
00677672	V00531	IRV SEAVER MOTORCYCLES	03/23/2022	\$312.70
00677673	V00697	J GARDNER & ASSOCIATES, LLC	03/23/2022	\$988.20
00677674	V01486	JAMES PRODUCTIONS, INC	03/23/2022	\$11,937.50
00677675	V00719	JAY'S CATERING	03/23/2022	\$12,720.05
00677676	V02919	JELLY OF THE MONTH CLUB	03/23/2022	\$2,000.00
00677677	V00720	JOHNSTONE SUPPLY	03/23/2022	\$81.89
00677678	V02806	KASA CONSTRUCTION INC.	03/23/2022	\$14,710.75
00677679	V00727	L C ACTION POLICE SUPPLY	03/23/2022	\$3,912.78
00677680	V00486	L N CURTIS & SONS	03/23/2022	\$1,520.49
00677681	V00581	LIEBERT CASSIDY WHITMORE	03/23/2022	\$8,424.00
00677682	V00293	LOGOS ETC	03/23/2022	\$319.84
00677683	V00299	LOOPNET	03/23/2022	\$237.50
00677684	OTV001874	MONICA LOPEZ	03/23/2022	\$150.00
00677685	V00733	LOS ALTOS TROPHY	03/23/2022	\$1,283.03
00677686	V02696	MANERI SIGN CO INC	03/23/2022	\$1,641.95
00677687	V00634	MAYFLOWER DISTRIBUTING COMPANY, INC.	03/23/2022	\$88.07
00677688	V00736	MC MASTER-CARR SUPPLY CO	03/23/2022	\$1,404.91
00677689	V00020	MCFADDEN DALE INDUSTRIAL HARDWARE	03/23/2022	\$106.30
00677690	V01570	MEEDER PUBLIC FUNDS, INC	03/23/2022	\$6,000.00
00677691	V00737	MERCHANTS BLDG MAINT, LLC	03/23/2022	\$1,426.32
00677692	V00270	MONTROSE ENVIRONMENTAL SOLUTIONS	03/23/2022	\$5,005.00

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00677693	V02408	MOORE IACOFANO GOLTSMAN, INC	03/23/2022	\$13,615.20
00677694	V00557	NATIONAL CONSTRUCTION RENTALS	03/23/2022	\$521.40
00677695	V01280	NATIONAL CREDIT REPORTING	03/23/2022	\$55.80
00677696	V00203	NEXTECH SYSTEMS, INC	03/23/2022	\$6,021.24
00677697	V01171	NFPA	03/23/2022	\$175.00
00677698	OTV001318	TAO NGUYEN	03/23/2022	\$9,770.93
00677699	V00551	OC HOUSING AUTHORITY	03/23/2022	\$6,225.00
00677701	V00209	WHJ OCN,IND	03/23/2022	\$250.00
00677702	V00371	OFFICE DEPOT, INC	03/23/2022	\$2,812.05
00677703	V00375	OLD GROVE AUTO	03/23/2022	\$5,187.00
00677704	V02829	PACIFIC PRODUCTS AND SERVICES, LLC	03/23/2022	\$2,333.07
00677705	V00756	PARKHOUSE TIRE, INC	03/23/2022	\$2,618.27
00677706	V00763	PETTY CASH-POLICE GANG SUPPRESSION UNIT	03/23/2022	\$3,760.00
00677707	OTV001871	JACKIE PHAM	03/23/2022	\$42.50
00677708	V00566	PMW ASSOCIATES	03/23/2022	\$525.00
00677709	V01316	QUINN COMPANY	03/23/2022	\$355.44
00677710	V02618	R3 CONSULTING GROUP	03/23/2022	\$1,815.00
00677711	V00396	RADI'S CUSTOM UPHOLSTER	03/23/2022	\$1,250.00
00677712	V02840	RECESS REVOLUTION	03/23/2022	\$800.00
00677713	V00774	REFRIGERATION SUPPLIES DISTRIBUTOR	03/23/2022	\$3,308.90
00677714	V00163	RETAIL MARKETING SERVICES INC	03/23/2022	\$2,083.00
00677715	V01121	RIO HONDO COLLEGE	03/23/2022	\$89.00
00677716	V01605	RMA INTERNATIONAL LANDSCAPE ARCHITECTURE & PLANNING	03/23/2022	\$6,500.00
00677717	V00652	RUSSELL SIGLER, INC	03/23/2022	\$300.29
00677718	V00779	S C YAMAMOTO, INC	03/23/2022	\$154.00
00677719	V00780	SAFETY 1st PEST CONTROL, INC	03/23/2022	\$825.00
00677720	V01490	SCANTRON CORP	03/23/2022	\$434.00
00677721	V00542	SCHORR METALS, INC	03/23/2022	\$70.60
00677722	V00222	SCP DISTRIBUTORS, LLC	03/23/2022	\$42.99
00677723	V01438	SEHI COMPUTER PRODUCTS	03/23/2022	\$2,170.63
00677724	V00784	SHOETERIA	03/23/2022	\$700.09
00677725	V00787	SMITH PIPE & SUPPLY COMPANY, INC	03/23/2022	\$2,024.40
00677726	V01415	SOCAL AUTO & TRUCK PARTS INC	03/23/2022	\$880.54

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00677727	V00367	SOUTHERN COMPUTER WAREHOUSE	03/23/2022	\$987.58
00677728	V00474	SOUTHERN COUNTIES LUBRICANTS, LLC	03/23/2022	\$931.45
00677729	V00160	SOUTHERN COUNTIES OIL COMPANY	03/23/2022	\$37,303.81
00677730	V00795	SPARKLETTS	03/23/2022	\$147.51
00677731	V01119	STANDARD INSURANCE CO RAS EXECUTIVE BENEFITS	03/23/2022	\$884.27
00677732	V01199	STANDARD INSURANCE COMPANY 00 643061 0001	03/23/2022	\$23,384.18
00677733	V02760	STANTEC CONSULTING SERVICES INC.	03/23/2022	\$45,997.50
00677734	V00213	STATE INDUSTRIAL PRODUCTS	03/23/2022	\$3,934.09
00677735	V02918	STEAMPUNK SYSTEMS, LLC	03/23/2022	\$400.00
00677736	OTV001873	JANINE L. STEIN	03/23/2022	\$100.00
00677737	V00570	STRADLING, YOCCA,CARLSON & RAUTH	03/23/2022	\$33,816.00
00677738	V00799	SUN BADGE COMPANY	03/23/2022	\$315.90
00677739	V00364	SUNBELT RENTALS	03/23/2022	\$1,450.34
00677740	V02925	SURPLUS TWO WAY RADIOS	03/23/2022	\$360.00
00677741	V01389	THE HOME DEPOT PRO	03/23/2022	\$218.05
00677742	V02881	THOMCO CONSTRUCTION, INC.	03/23/2022	\$96,364.87
00677743	V00465	TIERRA WEST ADVISORS, INC	03/23/2022	\$1,485.00
00677744	V00512	TIME CLOCK SALES & SERVICE CO, INC	03/23/2022	\$256.00
00677745	V01206	TOPAZ ALARM CORP	03/23/2022	\$150.00
00677746	V01623	TRAFFIC MANAGEMENT, INC	03/23/2022	\$120.00
00677747	V01807	TRAIN PARTY EXPRESS	03/23/2022	\$700.00
00677748	V00185	TRANSPORTATION STUDIES, INC	03/23/2022	\$330.00
00677749	OTV001877	BILL TRUONG	03/23/2022	\$1,000.00
00677750	V00424	TYLER TECHNOLOGIES, INC	03/23/2022	\$1,041.86
00677751	V02929	GABRIELA UCEDA	03/23/2022	\$225.00
00677752	V00811	UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA	03/23/2022	\$717.28
00677753	V00815	UNITED RENTALS NORTHWEST, INC	03/23/2022	\$534.78
00677754	V02689	UNITED SITE SERVICES OF CALIFORNIA, INC.	03/23/2022	\$145.07
00677755	V00501	US BEHAVIORAL HEALTH PLAN, CA	03/23/2022	\$1,450.65
00677756	V01075	VIET BAO DAILY, INC	03/23/2022	\$100.00
00677757	V00398	VULCAN MATERIALS COMPANY WESTERN DIVISION	03/23/2022	\$3,717.90
00677758	V01285	WARD A GLASBY, INC GLASBY MAINTENANCE SUPPLY	03/23/2022	\$127.72
00677759	V01634	WATER SOURCE SOLUTIONS, INC	03/23/2022	\$555.55

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00677760	V00824	WAXIE SANITARY SUPPLY	03/23/2022	\$3,006.16
00677761	V00564	WEST COUNTY TIRE & AUTO, INC	03/23/2022	\$2,303.44
00677762	V02899	WHEEL FUN RENTALS	03/23/2022	\$7,000.00
00677763	V00112	WM OF SOUTHERN CALIFORNIA	03/23/2022	\$980.00
00677764	V00582	WOODRUFF, SPRADLIN & SMART, A PROFESSIONAL CORP	03/23/2022	\$75,035.22
00677765	V00115	YORBA LINDA FEED STORE, INC	03/23/2022	\$393.68
			EFT:	27
			Check:	144
			Total:	171
				\$510,007.47
				\$1,667,487.93
				\$2,177,495.40



City of Garden Grove
Certificate of Warrants
Register Dates:
3/30/2022

This is to certify the demands covered by Wire number 00000991 through 00001016, EFT numbers 00021334 through 00021348, and check numbers 00677766 through 00677812 inclusive as listed on this register and have been verified by the Finance Division as properly issued and bear all proper signatures.

Note:

A handwritten signature in blue ink, likely belonging to Patricia Song, the Finance Director.

Finance Director
Patricia Song

CITY OF GARDEN GROVE
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00000991	V02724	DEPARTMENT OF THE TREA	03/30/2022	\$352,271.43
00000992	V01375	EMPLOYMENT DEVELOPMENT	03/30/2022	\$100,213.03
00000993	V02725	EMPOWER RETIREMENT, LL	03/30/2022	\$115,429.47
00000994	V02152	EXPERT PAY CHILD SUPPO	03/30/2022	\$1,691.06
00000995	V02091	MARYLAND CHILD SUPPORT	03/30/2022	\$343.38
00000996	V02036	US BANK TRUST NA	03/30/2022	\$456,122.64
00000997	PC000062	UNION BANK PCARD AUTO PAYMENT	03/30/2022	\$21,061.60
00000998	V02036	US BANK TRUST NA	03/30/2022	\$748,622.73
00000999	V02036	US BANK TRUST NA	03/30/2022	\$26,689.01
00001000	V01596	PUBLIC EMPLOYEES' RETI	03/30/2022	\$655,524.28
00001001	V01596	PUBLIC EMPLOYEES' RETI	03/30/2022	\$649,346.68
00001002	V02088	VISION SERVICE PLAN -	03/30/2022	\$6,946.12
00001003	V01579	ORANGE COUNTY FIRE AUTHORITY	03/30/2022	\$2,062,091.00
00001004	V02087	DELTA CARE USA	03/30/2022	\$5,733.99
00001005	V01539	DELTA DENTAL OF CALIFO	03/30/2022	\$27,983.30
00001006	V01596	PUBLIC EMPLOYEES' RETI	03/30/2022	\$513,871.98
00001007	V01596	PUBLIC EMPLOYEES' RETI	03/30/2022	\$483,025.01
00001008	V01596	PUBLIC EMPLOYEES' RETI	03/30/2022	\$570,665.67
00001009	V01596	PUBLIC EMPLOYEES' RETI	03/30/2022	\$487,076.88
00001010	V01596	PUBLIC EMPLOYEES' RETI	03/30/2022	\$4,500.00
00001011	V00732	THE LINCOLN NATIONAL L	03/30/2022	\$7,387.68
00001012	V00541	MUNICIPAL WATER DISTRI	03/30/2022	\$80,794.91
00001013	V00732	THE LINCOLN NATIONAL L	03/30/2022	\$7,176.45
00001014	V01539	DELTA DENTAL OF CALIFO	03/30/2022	\$2,590.50
00001015	V00691	CITY OF GARDEN GROVE-W	03/30/2022	\$210,398.27
00001016	V02261	GARDEN GROVE MXD, INC	03/30/2022	\$373,458.00
00021334	V02908	CALIFORNIA SKATEPARKS	03/30/2022	\$12,000.00
00021335	V00224	CDW-GOVERNMENT, INC	03/30/2022	\$793.30
00021336	V01036	CITIBANK %CITIGROUP	03/30/2022	\$4,701.84
00021337	V00672	CRON & ASSOCIATES TRANSCRIPTION, INC	03/30/2022	\$1,958.42
00021338	V00718	DANGELO CO (JWD ANGELO CO INC)	03/30/2022	\$5,543.64
00021339	V00562	DOOLEY ENTERPRISES,INC	03/30/2022	\$7,363.64
00021340	V00259	DTNTECH MARKETING	03/30/2022	\$35.88

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00021341	V02941	NAMY, INC.	03/30/2022	\$10,208.27
00021342	V00092	NATIONAL AUTO FLEET GROUP AND CHEVROLET OF WATSONV	03/30/2022	\$105,105.38
00021343	V00082	NFINIT	03/30/2022	\$933.63
00021344	V00747	OCEAN BLUE ENVIRONMENTAL SERVICES, INC	03/30/2022	\$7,190.73
00021345	V00230	SCHAFER CONSULTING, INC	03/30/2022	\$1,012.50
00021346	V02539	THE SOLIS GROUP	03/30/2022	\$1,251.00
00021347	V00591	U S ARMOR CORP	03/30/2022	\$1,741.64
00021348	V01474	WEX BANK	03/30/2022	\$2,147.63
00677766	V00641	AQUA-METRIC SALES CO	03/30/2022	\$30,988.61
00677767	V00599	ARROW TOOLS FASTENERS & SAW, INC	03/30/2022	\$357.91
00677768	V00645	BARR AND CLARK, INC	03/30/2022	\$750.00
00677769	V00429	BEE REMOVERS	03/30/2022	\$165.00
00677770	V02933	BLOOM SMILE STUDIO	03/30/2022	\$50,000.00
00677771	V00076	CELLEBRITE USA, INC	03/30/2022	\$4,676.25
00677772	V00654	CLEA CALIF LAW ENFORCEMENT ASSOC	03/30/2022	\$3,278.50
00677773	V00666	COMMUNITY VETERINARY HOSPITAL INC	03/30/2022	\$2,797.75
00677774	V00233	FACTORY MOTOR PARTS CO BIN 139107	03/30/2022	\$427.22
00677775	V00829	FERGUSON ENTERPRISES, INC 1350	03/30/2022	\$451.40
00677776	V01379	FIVESTAR RUBBER STAMP ETC, INC	03/30/2022	\$55.44
00677777	V00054	GALLS LLC	03/30/2022	\$870.37
00677778	V00258	GARDEN GROVE ACE HARDWARE	03/30/2022	\$20.62
00677779	OTV001880	GARDEN GROVE DOWNTOWN BUSINESS ASSOCIATION	03/30/2022	\$5,940.00
00677780	OTV001879	JORGE GONZALEZ	03/30/2022	\$700.00
00677781	V02147	HENRY'S HOF BRAU	03/30/2022	\$1,631.25
00677782	V02940	DARSI L HICKEN	03/30/2022	\$500.00
00677783	OTV001878	JOSH HULSTEIN	03/30/2022	\$300.00
00677784	V00860	INTERNATIONAL E-Z UP, INC	03/30/2022	\$2,359.36
00677785	V00486	L N CURTIS & SONS	03/30/2022	\$52.13
00677786	V00220	LABSOURCE, INC	03/30/2022	\$5,775.00
00677787	V02579	LAND FORMS LANDSCAPE CONSTRUCTION INC	03/30/2022	\$108,506.23
00677788	V01407	TIFFANY LE	03/30/2022	\$1,780.00
00677789	V00293	LOGOS ETC	03/30/2022	\$561.20
00677790	V00617	MEMA	03/30/2022	\$275.00

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00677791	V02408	MOORE IACOFANO GOLTSMAN, INC	03/30/2022	\$7,021.80
00677792	V00557	NATIONAL CONSTRUCTION RENTALS	03/30/2022	\$1,806.24
00677793	V00459	O'REILLY AUTO PARTS	03/30/2022	\$535.27
00677794	V01580	OCTAVIO RUBEN RODRIGUEZ	03/30/2022	\$4,000.00
00677795	V01649	ORANGE COUNTY TRANSIT AUTHORITY	03/30/2022	\$3,541.72
00677796	V00595	PACIFIC COAST CABLING, INC	03/30/2022	\$2,620.78
00677797	V00164	PACIFIC MEDICAL CLINIC	03/30/2022	\$4,460.00
00677798	V02829	PACIFIC PRODUCTS AND SERVICES, LLC	03/30/2022	\$4,012.22
00677799	V01245	POSITIVE CONCEPTS/ATPI	03/30/2022	\$511.83
00677800	V00744	R J NOBLE COMPANY	03/30/2022	\$300.14
00677801	V00163	RETAIL MARKETING SERVICES INC	03/30/2022	\$2,083.00
00677802	V00222	SCP DISTRIBUTORS, LLC	03/30/2022	\$111.51
00677803	V01612	SENFTEN INC	03/30/2022	\$350.00
00677804	V00120	SIEMENS MOBILITY, INC	03/30/2022	\$19,399.50
00677805	V00007	SLA - SAN LUIS AVIATION, INC	03/30/2022	\$64.87
00677806	V02249	SOUTHERN CALIFORNIA FORCE INSTRUCTORS ASSOCIATION	03/30/2022	\$800.00
00677807	V00474	SOUTHERN COUNTIES LUBRICANTS, LLC	03/30/2022	\$1,242.56
00677808	V01623	TRAFFIC MANAGEMENT, INC	03/30/2022	\$539.36
00677809	V01285	WARD A GLASBY, INC GLASBY MAINTENANCE SUPPLY	03/30/2022	\$815.63
00677810	V00827	WESTATES MARKING DEVICES & RUBBER STAMP MFG	03/30/2022	\$33.53
00677811	V00582	WOODRUFF, SPRADLIN & SMART, A PROFESSIONAL CORP	03/30/2022	\$1,762.80
00677812	OTV001756	YAMAHA GOLF CARS OF CALIFORNIA INC	03/30/2022	\$2,839.03
			EFT: 15	\$161,987.50
			Check: 73	\$8,253,086.10
			Total: 88	\$8,415,073.60



City of Garden Grove
Certificate of Warrants
Register Dates:
4/1/2022

This is to certify the demands covered by EFT numbers 00021349 through 00022330, and check numbers 00677813 through 00678026 inclusive as listed on this register and have been verified by the Finance Division as properly issued and bear all proper signatures.

Note: Checks 00677907, 00677986 & 00677987 were reversed.

A handwritten signature in blue ink, appearing to read 'Patricia Song', written over a horizontal line.

Finance Director
Patricia Song

CITY OF GARDEN GROVE
GGFEFM001 Warrant Register

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00021349	H00252	12111 BAILEY STREET LLC	04/01/2022	\$1,294.00
00021350	H0951	12392 TO 12432 GROVEVIEW	04/01/2022	\$639.00
00021351	H3409	12911 GALWAY ST, LLC	04/01/2022	\$4,335.00
00021352	H3297	13251 NEWLAND, LLC	04/01/2022	\$12,812.00
00021353	H4567	15915 LA FORGE ST WHITTIER, LLC	04/01/2022	\$775.00
00021354	H3906	19822 BROOKHURST, LLC	04/01/2022	\$2,548.00
00021355	H2617	2300 W EL SEGUNDO, LP DBA LOTUS GARDENS	04/01/2022	\$11,342.00
00021356	H4149	2555 WEST WINSTON ROAD, LP PEBBLE COVE APARTMENTS	04/01/2022	\$1,489.00
00021357	H4791	606 SOUTH 6TH ST ASSOCIATES, LP	04/01/2022	\$7,350.00
00021358	H2483	7632 21ST ST, LP	04/01/2022	\$7,833.00
00021359	H2971	8080 BEVER PLACE-NEGBA, LLC	04/01/2022	\$1,392.00
00021360	H4654	8572 STANFORD, LLC	04/01/2022	\$2,378.00
00021361	H1044	ABCO CROWN VILLA,LTD	04/01/2022	\$905.00
00021362	H3560	ACACIA VILLAGE	04/01/2022	\$26,450.00
00021363	H9002	ACACIAN APTS	04/01/2022	\$41,707.00
00021364	H00121	ADRIAN REALTY LLC	04/01/2022	\$2,932.00
00021365	H4389	ADRIATIC APTS	04/01/2022	\$1,081.00
00021366	H3401	AEGEAN APARTMENTS	04/01/2022	\$7,488.00
00021367	H4741	PARVIZ ALAI	04/01/2022	\$4,475.00
00021368	H00251	ALDERS APARTMENT COMPANY	04/01/2022	\$1,815.00
00021369	H00033	ALEXANY NGUYEN PROPERTIES, LLC	04/01/2022	\$1,442.00
00021370	H3512	ALFRED P VU & JULIE NG HO, LLC	04/01/2022	\$3,127.00
00021371	H1684	REHANA ALIBULLA	04/01/2022	\$2,646.00
00021372	H4121	ALLARD APARTMENT, LLC	04/01/2022	\$7,186.00
00021373	H3645	LYNN KATHLEEN ALLEN	04/01/2022	\$1,263.00
00021374	H2454	ALTEZA,INC	04/01/2022	\$1,870.00
00021375	H4668	AMCAL OCEANA FUND, LP OCEANA APARTMENTS	04/01/2022	\$1,383.00
00021376	H2489	AMERICAN FAMILY HOUSING	04/01/2022	\$1,122.00
00021377	H00093	SALMAN M AMIR	04/01/2022	\$2,664.00
00021378	H2938	ANAHEIM SUNSET PLAZA APTS	04/01/2022	\$6,975.00
00021379	H4371	CHUNG NAN AOU	04/01/2022	\$1,744.00
00021380	H00181	AP TRUST DATED 01/20/21	04/01/2022	\$1,114.00

CITY OF GARDEN GROVE
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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00021381	H4254	ARBOR VILLAS, LLC	04/01/2022	\$1,541.00
00021382	H00048	JESSIE WONG ARIAS	04/01/2022	\$1,780.00
00021383	H4027	TIMOTEO ARJON	04/01/2022	\$1,378.00
00021384	H4729	ARTESIA BOULEVARD 44, LLC	04/01/2022	\$1,360.00
00021385	H3930	EIDA A ATTIA	04/01/2022	\$2,089.00
00021386	H4272	PAUL AUDUONG	04/01/2022	\$1,521.00
00021387	H4532	AUGUSTA GROUP INVESTMENTS INC	04/01/2022	\$1,545.00
00021388	H00180	AVANATH FESTIVAL LP	04/01/2022	\$2,626.00
00021389	H00084	AVANATH GROVE LP	04/01/2022	\$42,386.00
00021390	H2062	AYNEM INVESTMENTS, LP	04/01/2022	\$16,623.00
00021391	H00210	B2B INVESTMENTS LLC	04/01/2022	\$1,718.00
00021392	H4505	BACH & JASON NGUYEN INVESTMENT LLC	04/01/2022	\$1,771.00
00021393	H4295	BAKER RANCH AFFORDABLE, LP	04/01/2022	\$1,745.00
00021394	H4403	HA BANH	04/01/2022	\$1,600.00
00021395	H2370	BARRY SAYWITZ PROP TWO, LP	04/01/2022	\$5,315.00
00021396	H4777	BDA INVESTMENTS, LLC	04/01/2022	\$1,246.00
00021397	H00092	BEACH BOULEVARD COTTAGES LLC	04/01/2022	\$414.00
00021398	H4797	BEACH CREEK PARTNERS II, LP	04/01/2022	\$1,446.00
00021399	H4735	BEACHWOOD VILLAGE APARTMENTS	04/01/2022	\$1,280.00
00021400	H4368	BEHRENS PROPERTIES, LLC	04/01/2022	\$1,008.00
00021401	H3168	BELAGE PRESERVATION, LP	04/01/2022	\$1,264.00
00021402	H4463	BERTINA PANG LOH CHANG	04/01/2022	\$848.00
00021403	H3365	JAIME OR MAGALI BERTRAN	04/01/2022	\$1,493.00
00021404	H3115	ANIL BHALANI	04/01/2022	\$1,309.00
00021405	H0645	N C BHATT	04/01/2022	\$4,652.00
00021406	H4746	BMN INVESTMENTS, INC	04/01/2022	\$2,692.00
00021407	H00167	DAVID BORTHWICK	04/01/2022	\$971.00
00021408	H3966	ADEL A BOUTROS	04/01/2022	\$1,448.00
00021409	H4331	BOWEN PROPERTY, LLC	04/01/2022	\$1,534.00
00021410	H0231	MAI BOZARJIAN	04/01/2022	\$21,637.00
00021411	H4085	MAI BOZARJIAN	04/01/2022	\$5,269.00
00021412	H4399	BRIAR CREST / ROSE CREST	04/01/2022	\$3,251.00
00021413	H4784	BRIDGE WF CRYSTAL VIEW AGP, LLC	04/01/2022	\$4,699.00
00021414	H0968	SHARON OR NORMAN BROWN	04/01/2022	\$4,415.00

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00021415	H4088	BACH BUI	04/01/2022	\$1,066.00
00021416	H4656	DANIEL D BUI	04/01/2022	\$2,023.00
00021417	H3590	DUNG BUI	04/01/2022	\$931.00
00021418	H4699	KIMLOAN THI BUI	04/01/2022	\$1,440.00
00021419	H4664	LONG BUI	04/01/2022	\$1,185.00
00021420	H0276	MINH Q BUI	04/01/2022	\$2,065.00
00021421	H3322	MONICA BUI	04/01/2022	\$1,639.00
00021422	H1510	NGA HUYNH BUI	04/01/2022	\$1,217.00
00021423	H4779	TAM BUI	04/01/2022	\$1,555.00
00021424	H4760	THINH BUI	04/01/2022	\$1,615.00
00021425	H4108	THUAN BUI	04/01/2022	\$4,270.00
00021426	H4075	TRIET THO-MINH BUI	04/01/2022	\$1,911.00
00021427	H3524	DAVID M BURLEY	04/01/2022	\$1,636.00
00021428	H2916	THU T CAI-NGUYEN	04/01/2022	\$570.00
00021429	H3272	CAMBRIDGE HEIGHTS, LP	04/01/2022	\$1,256.00
00021430	H2159	HUONG B CAO	04/01/2022	\$514.00
00021431	H4457	MYTRANG CAO	04/01/2022	\$754.00
00021432	H2856	PHUOC GIA CAO	04/01/2022	\$2,188.00
00021433	H00139	CASA CIENTO ASSOCIATES LP C/O ARNEL MANAGEMENT CO	04/01/2022	\$1,494.00
00021434	H4524	CASA MADRID	04/01/2022	\$2,372.00
00021435	H4073	CASCADE TERRACE APARTMENTS	04/01/2022	\$5,075.00
00021436	H4689	DAVID G CASCINO	04/01/2022	\$2,644.00
00021437	H3904	KOU LEAN CHAN	04/01/2022	\$1,109.00
00021438	H4135	CHIEN CHAN,MIN OR TRAN	04/01/2022	\$2,630.00
00021439	H1229	EVELYN CHANG	04/01/2022	\$3,056.00
00021440	H9008	SHERRI CHANG	04/01/2022	\$1,816.00
00021441	H1368	CHARLESTON GARDENS, LLC	04/01/2022	\$1,401.00
00021442	H1239	CHATHAM VILLAGE APTS	04/01/2022	\$6,205.00
00021443	H3494	ALICE CHAU	04/01/2022	\$2,397.00
00021444	H4714	KENNY CHAU	04/01/2022	\$1,834.00
00021445	H3757	DENNIS KYINSAN CHEN	04/01/2022	\$5,360.00
00021446	H1362	SHIAO-YUNG CHEN	04/01/2022	\$6,527.00
00021447	H9010	T C CHEN	04/01/2022	\$22,798.00

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00021448	H3490	CHERRY WEST PROPERTIES	04/01/2022	\$2,058.00
00021449	H1788	STEPHEN CHEUNG	04/01/2022	\$1,573.00
00021450	H3094	PAUL M CHEY	04/01/2022	\$2,700.00
00021451	H4707	NARITH CHHUM	04/01/2022	\$1,845.00
00021452	H0317	LI-YONG CHIANG	04/01/2022	\$1,372.00
00021453	H0159	DON J G CHONG	04/01/2022	\$5,528.00
00021454	H1946	JOHN CHUN	04/01/2022	\$1,220.00
00021455	H9011	KYU B CHUNG	04/01/2022	\$5,620.00
00021456	H4444	CITRUS GROVE, LP	04/01/2022	\$928.00
00021457	H00129	CLEARWATER INVESTMENTS	04/01/2022	\$6,821.00
00021458	H3246	KATHLEEN P CLIFTON	04/01/2022	\$1,363.00
00021459	H4785	CM 2080 NEW, LLC	04/01/2022	\$1,283.00
00021460	H0776	PONCH CO	04/01/2022	\$1,188.00
00021461	H3137	KATHY D COLACION	04/01/2022	\$2,371.00
00021462	H4337	COMMUNITY GARDENS PARTNERS, LP	04/01/2022	\$5,482.00
00021463	H3359	NORMA S CONCEPCION	04/01/2022	\$1,443.00
00021464	H2193	CONCORD MGMT, LLC	04/01/2022	\$894.00
00021465	H3752	CONNOR PINES, LLC	04/01/2022	\$15,009.00
00021466	H0642	CONTINENTAL GARDENS APTS	04/01/2022	\$11,395.00
00021467	H1134	CONTINENTAL GARDENS APTS	04/01/2022	\$4,717.00
00021468	H00080	COUNTRY SQUIRE TUSTIN LLC	04/01/2022	\$697.00
00021469	H0039	COURTYARD VILLAS	04/01/2022	\$8,256.00
00021470	H4556	CST CAPITAL, LLC	04/01/2022	\$1,480.00
00021471	H4686	CTC INVESTMENT GROUP, INC	04/01/2022	\$1,598.00
00021472	H0017	KHANH CUNG	04/01/2022	\$2,484.00
00021473	H3376	CURTIS FAMILY TRUST	04/01/2022	\$1,977.00
00021474	H4659	D1 SENIOR IRVINE HOUSING PARTNERS, LP	04/01/2022	\$1,727.00
00021475	H2985	NGHIA HO OR PHAN VE TU DAC	04/01/2022	\$5,812.00
00021476	H4646	HUONG NGOC DAI	04/01/2022	\$938.00
00021477	H00082	DAISY APARTMENT HOMES LLC	04/01/2022	\$2,483.00
00021478	H2100	BINH DINH DAM	04/01/2022	\$1,371.00
00021479	H3947	ANNIE DANG	04/01/2022	\$1,924.00
00021480	H3369	CHINH VAN DANG	04/01/2022	\$1,534.00
00021481	H4561	MIKE M DANG	04/01/2022	\$2,299.00

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00021482	H3065	DAVID DANG	04/01/2022	\$1,813.00
00021483	H4598	THANH-THUY THI DANG	04/01/2022	\$1,096.00
00021484	H1895	JOSEPH N DAO	04/01/2022	\$1,409.00
00021485	H00157	MAI DAO	04/01/2022	\$2,135.00
00021486	H00050	MICHELLE DAO	04/01/2022	\$1,775.00
00021487	H1245	NELSON NGUYEN DAO	04/01/2022	\$4,874.00
00021488	H1750	TRU DAO	04/01/2022	\$3,189.00
00021489	H2184	TU VAN DAO	04/01/2022	\$713.00
00021490	H9413	TU VAN DAO	04/01/2022	\$1,616.00
00021491	H3021	NGOC-THUY DAO	04/01/2022	\$1,574.00
00021492	H1802	LUONG-NGUYEN DAO-PHAM, LOC THI OR PHAM	04/01/2022	\$2,592.00
00021493	H4239	RICHARD DAVIS	04/01/2022	\$3,072.00
00021494	H4607	DE ANZA PLAZA APTS II	04/01/2022	\$1,268.00
00021495	H4071	DEERING II FAMILY, LP	04/01/2022	\$1,199.00
00021496	H3626	CLARA J DEWYER	04/01/2022	\$911.00
00021497	H4583	HOI TUAN DIEP	04/01/2022	\$1,313.00
00021498	H00067	BIEN T DINH	04/01/2022	\$2,286.00
00021499	H4595	HAI DINH	04/01/2022	\$1,350.00
00021500	H2147	HANH DINH	04/01/2022	\$2,144.00
00021501	H4223	KATHLEEN DINH	04/01/2022	\$1,750.00
00021502	H1479	KIM DINH	04/01/2022	\$2,539.00
00021503	H4373	LAN THAI DINH	04/01/2022	\$5,100.00
00021504	H3629	LONG T DINH	04/01/2022	\$3,577.00
00021505	H4372	NHU Y DINH	04/01/2022	\$1,249.00
00021506	H4406	THU V DINH	04/01/2022	\$496.00
00021507	H4594	TUAN DINH	04/01/2022	\$2,370.00
00021508	H4619	Y NHA DINH	04/01/2022	\$3,890.00
00021509	H3284	DNK PROPERTY, LLC	04/01/2022	\$15,798.00
00021510	H4498	BRANDON BINH DO	04/01/2022	\$3,099.00
00021511	H4717	BYRON DO	04/01/2022	\$2,255.00
00021512	H4718	DAITRANG DO	04/01/2022	\$2,687.00
00021513	H4418	DOMINIC HAU DO	04/01/2022	\$993.00
00021514	H00131	KEVIN HUNG DO	04/01/2022	\$1,437.00
00021515	H1867	MINH C DO	04/01/2022	\$5,079.00

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00021516	H4450	MY-PHUONG DO	04/01/2022	\$1,381.00
00021517	H1674	NANCY DO	04/01/2022	\$1,303.00
00021518	H4802	NGA N DO	04/01/2022	\$2,308.00
00021519	H00186	NOAN THI DO	04/01/2022	\$1,964.00
00021520	H3593	THUY THI DO	04/01/2022	\$1,387.00
00021521	H3181	TIM DO	04/01/2022	\$1,135.00
00021522	H3671	TINA DO	04/01/2022	\$1,429.00
00021523	H9016	TINA DO	04/01/2022	\$4,112.00
00021524	H3732	XUYEN THI DO	04/01/2022	\$1,242.00
00021525	H00137	CRYSTAL DOAN	04/01/2022	\$1,399.00
00021526	H0580	HARRY DOAN	04/01/2022	\$593.00
00021527	H4639	HIEP THI DOAN	04/01/2022	\$2,678.00
00021528	H4808	HUEY G DOAN	04/01/2022	\$3,910.00
00021529	H3999	HUY DOAN	04/01/2022	\$1,388.00
00021530	H4289	HUY DOAN	04/01/2022	\$1,399.00
00021531	H4420	KYLAM DOAN	04/01/2022	\$1,803.00
00021532	H3980	NHA & JOANNE TRANG VU DOAN	04/01/2022	\$1,670.00
00021533	H3855	PHUONGNGA THI DOAN	04/01/2022	\$2,192.00
00021534	H4615	THANH QUE DOAN	04/01/2022	\$1,620.00
00021535	H2424	JERRY DOIDGE	04/01/2022	\$1,396.00
00021536	H3382	DOLCE VITA INVESTMENTS, LLC	04/01/2022	\$6,467.00
00021537	H1744	MINH TRANG DONG	04/01/2022	\$1,032.00
00021538	H2945	DORADO SENIOR APARTMENTS, LP	04/01/2022	\$2,396.00
00021539	H4413	WILLIAM A DOWD III	04/01/2022	\$1,152.00
00021540	H3228	DSN INVESTMENT GROUP, LLC	04/01/2022	\$6,350.00
00021541	H3510	DTP INVESTMENTS, LLC	04/01/2022	\$2,747.00
00021542	H4464	CHRISTINE H DU	04/01/2022	\$1,243.00
00021543	H00061	DULILEON NINE LLC	04/01/2022	\$1,125.00
00021544	H1385	DAVID C DUNN	04/01/2022	\$2,492.00
00021545	H9021	DAVID F DUNNETT	04/01/2022	\$1,375.00
00021546	H3866	HONG MANH DUONG	04/01/2022	\$1,241.00
00021547	H1885	MINH B DUONG	04/01/2022	\$5,589.00
00021548	H3688	THAI VAN DUONG	04/01/2022	\$1,480.00
00021549	H00081	TIFFANY DUONG	04/01/2022	\$998.00

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00021550	H3087	CHI THI DUONG	04/01/2022	\$2,147.00
00021551	H2869	HUNG Q DUONG	04/01/2022	\$1,240.00
00021552	H2781	GLADYS DYO	04/01/2022	\$587.00
00021553	H00091	E-Z HOUSING GROUP LLC	04/01/2022	\$1,614.00
00021554	H2422	EASTWIND PROPERTIES, LLC	04/01/2022	\$2,895.00
00021555	H4770	EBL, LLC	04/01/2022	\$5,486.00
00021556	H2036	DANIEL T EDLUND	04/01/2022	\$1,596.00
00021557	H00220	KIM Y EHLE	04/01/2022	\$1,112.00
00021558	H00233	EL NILE INVESTMENTS LLC	04/01/2022	\$1,111.00
00021559	H4250	EL PUEBLO APTS	04/01/2022	\$2,875.00
00021560	H4294	EL RAY PARTNERS, LLC	04/01/2022	\$8,162.00
00021561	H4438	ELIAS CAPITAL GROUP, LLC	04/01/2022	\$2,835.00
00021562	H00250	EMERALD RIDGE APARTMENTS	04/01/2022	\$1,656.00
00021563	H4234	TERRY C ENGEL	04/01/2022	\$1,575.00
00021564	H3299	EVERGREEN ESTATE EXPANSION, LLC	04/01/2022	\$7,791.00
00021565	H00030	FAIRECREST REAL ESTATE, LLC	04/01/2022	\$2,546.00
00021566	H1553	FAIRVIEW MGMT COMPANY	04/01/2022	\$2,603.00
00021567	H5769	BOONE FAN	04/01/2022	\$3,288.00
00021568	H3034	FBC APARTMENTS	04/01/2022	\$707.00
00021569	H4757	FG GOLDENWEST SENIOR APTS, LP	04/01/2022	\$18,717.00
00021570	H1702	FLOYD H FIELDS	04/01/2022	\$1,268.00
00021571	H1689	WENDY FINCH	04/01/2022	\$1,006.00
00021572	H00049	FIVE POINTS HOUSING LP	04/01/2022	\$3,702.00
00021573	H3329	FOREVERGREEN EXPANSION, LLC	04/01/2022	\$1,449.00
00021574	H00200	FOUNTAIN VALLEY HOUSING PARTNERS LP	04/01/2022	\$1,502.00
00021575	H00051	FOUR SEASON 339 LLC	04/01/2022	\$1,203.00
00021576	H7410	FRANCISCAN GARDENS APTS	04/01/2022	\$28,963.00
00021577	H2569	WILLIAM FRECHTMAN	04/01/2022	\$1,537.00
00021578	H4610	FREEDOMPATH PROPERTIES, LLC	04/01/2022	\$2,491.00
00021579	H3691	FU CRAIG FA, LLC	04/01/2022	\$4,913.00
00021580	H2215	KARL GANZ	04/01/2022	\$1,078.00
00021581	H3384	ALBINO GARCIA	04/01/2022	\$3,572.00
00021582	H4412	NORMA OR WILLIAM GARCIA	04/01/2022	\$1,303.00
00021583	H3194	GARDEN BAY APARTMENTS, LLC	04/01/2022	\$757.00

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00021584	V00694	GARDEN GROVE HOUSING AUTHORITY-ESCROW ACCT	04/01/2022	\$6,368.00
00021585	H4275	GARDEN GROVE HOUSING ASSOCIATE	04/01/2022	\$4,227.00
00021586	H00095	CHRIS ANN GARZA	04/01/2022	\$511.00
00021587	H2029	GEORGIAN APTS	04/01/2022	\$1,525.00
00021588	H4137	AARON GERMAIN	04/01/2022	\$1,301.00
00021589	H00112	GG8662 LLC C/O DEKKO PROPERTIES LLC	04/01/2022	\$2,516.00
00021590	H3857	GIA VU, INC	04/01/2022	\$953.00
00021591	H4037	BRIGITTE GIACALONE	04/01/2022	\$932.00
00021592	H4742	GIERS WELLS PARTNERSHIP	04/01/2022	\$1,625.00
00021593	H3894	GIGI APARTMENTS	04/01/2022	\$2,068.00
00021594	H4046	GLENHAVEN MOBILODGE	04/01/2022	\$717.00
00021595	H00123	GLS GROUP LLC	04/01/2022	\$1,126.00
00021596	H4346	HENRY S GOMEZ	04/01/2022	\$1,392.00
00021597	H2737	WILLIAM GREEN	04/01/2022	\$1,259.00
00021598	H3833	GREENFIELDSDIE, LLC	04/01/2022	\$3,092.00
00021599	H3639	GROVE PARK LP	04/01/2022	\$84,080.00
00021600	H9028	JIM GULMESOFF	04/01/2022	\$6,901.00
00021601	H3949	GINA GUYUMJYAN	04/01/2022	\$3,470.00
00021602	H4172	HA OF DEKALB COUNTY	04/01/2022	\$661.31
00021603	H4692	CASIE HA	04/01/2022	\$2,750.00
00021604	H4092	DAC T HA	04/01/2022	\$1,499.00
00021605	H1824	KHIEM Q HA	04/01/2022	\$2,459.00
00021606	H1629	MANH MINH HA	04/01/2022	\$1,182.00
00021607	H4562	TRAN D HA	04/01/2022	\$2,743.00
00021608	H3735	TRIET M HA	04/01/2022	\$1,400.00
00021609	H00096	HSIAO HUNG HAH	04/01/2022	\$1,224.00
00021610	H0550	HALL & ASSOCIATES, INC	04/01/2022	\$3,995.00
00021611	H1969	LINDA HAN	04/01/2022	\$1,906.00
00021612	H5208	CLIFTON & BRENDA HANSON	04/01/2022	\$2,795.00
00021613	H3838	STEVEN HAU	04/01/2022	\$1,211.00
00021614	H2955	HERITAGE PARK	04/01/2022	\$2,553.00
00021615	H0515	HERITAGE VILLAGE ANAHEIM	04/01/2022	\$1,421.00
00021616	H4708	HIGHLAND FINANCE INVESTMENTS CORP	04/01/2022	\$1,432.00
00021617	H0250	SHERRY OR RICHARD HILLIARD	04/01/2022	\$1,917.00

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00021618	H00173	HKT INVESTMENT	04/01/2022	\$3,454.00
00021619	H3921	HMZ RESIDENTIAL PARK, LP	04/01/2022	\$1,882.00
00021620	H3255	HENRY HOI HO	04/01/2022	\$1,854.00
00021621	H1010	HO, HIEP or DAO, NGOC THUY	04/01/2022	\$7,146.00
00021622	H3653	LIEN KIM HO	04/01/2022	\$1,282.00
00021623	H3781	PAULINE HO	04/01/2022	\$2,670.00
00021624	H4827	PETER HO	04/01/2022	\$1,407.00
00021625	H00183	THUY HO	04/01/2022	\$1,368.00
00021626	H00071	HOLLY HOANG	04/01/2022	\$1,362.00
00021627	H3984	LONG HOANG	04/01/2022	\$1,473.00
00021628	H4783	THINH HOANG	04/01/2022	\$1,533.00
00021629	H4224	TRACY HOANG	04/01/2022	\$1,121.00
00021630	H2354	TRIEU HOANG	04/01/2022	\$1,447.00
00021631	H4542	TUAN HOANG	04/01/2022	\$2,115.00
00021632	H00278	VUONG HOANG	04/01/2022	\$1,682.00
00021633	H2662	LANG HOANG	04/01/2022	\$1,487.00
00021634	H2974	NHAN TIEN HOANG	04/01/2022	\$1,968.00
00021635	H3883	ROSEMARY LC HOLTZMAN	04/01/2022	\$906.00
00021636	H1120	SALLY HOPPE	04/01/2022	\$1,274.00
00021637	H2532	LUC HUA	04/01/2022	\$1,534.00
00021638	H3595	HUNTINGTON WESTMINSTER APT, LLC	04/01/2022	\$1,500.00
00021639	H1659	DON HUSS	04/01/2022	\$2,774.00
00021640	H00133	BAO TRINH HUYNH	04/01/2022	\$461.00
00021641	H0658	CHEN THI HUYNH	04/01/2022	\$2,649.00
00021642	H3641	FELIX HUYNH	04/01/2022	\$900.00
00021643	H4763	JOANNE HUYNH	04/01/2022	\$1,213.00
00021644	H3509	KELVIN HUYNH	04/01/2022	\$1,238.00
00021645	H4405	LOAN HUYNH	04/01/2022	\$638.00
00021646	H4237	MINH HUY HUYNH	04/01/2022	\$2,074.00
00021647	H4271	PHILIP HUYNH	04/01/2022	\$586.00
00021648	H1574	SALLY B HUYNH	04/01/2022	\$1,442.00
00021649	H4246	KIM DONG T HUYNH, SCOTT THANH OR LE	04/01/2022	\$1,099.00
00021650	H4747	THAI C HUYNH	04/01/2022	\$2,487.00
00021651	H3117	LONG BAO HUYNH	04/01/2022	\$1,376.00

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00021652	H1262	CM HWANG	04/01/2022	\$1,407.00
00021653	H3848	IMPERIAL NORTH HOLDINGS, LLC	04/01/2022	\$3,280.00
00021654	H3644	IMPERIAL NORTHWEST HOLDINGS	04/01/2022	\$4,956.00
00021655	H2984	INTERNATIONAL BUSINESS INVESTMENT GROUP, LLC	04/01/2022	\$2,591.00
00021656	H4350	J & E ESTATES, LLC	04/01/2022	\$1,946.00
00021657	H3402	JERRY JANESKI	04/01/2022	\$1,311.00
00021658	H4427	JD PROPERTY MANAGEMENT, INC	04/01/2022	\$4,796.00
00021659	H4716	NARIYA JEAN	04/01/2022	\$1,998.00
00021660	H4440	JEANNE JURADO TRUSTEE	04/01/2022	\$1,332.00
00021661	H00031	JEFFERSON HB, LLC	04/01/2022	\$1,281.00
00021662	H3040	JENSEN SOMMERVILLE CONZELMAN	04/01/2022	\$1,791.00
00021663	H3165	JG & B CORPORATION	04/01/2022	\$7,732.00
00021664	H3266	JGK GARDEN GROVE, LP	04/01/2022	\$33,295.00
00021665	H2936	JGKALLINS INVESTMENTS, LP	04/01/2022	\$1,327.00
00021666	H2530	NATHAN D JOHNSON	04/01/2022	\$1,943.00
00021667	H4363	JTK & ASSOCIATES	04/01/2022	\$1,441.00
00021668	H4557	JTM BAYOU, LLC	04/01/2022	\$1,763.00
00021669	H9029	LIN J JU	04/01/2022	\$2,701.00
00021670	H2595	FRED JU	04/01/2022	\$1,230.00
00021671	H4042	JUNG SUN NOH	04/01/2022	\$7,520.00
00021672	H4077	JUNG SUN NOH	04/01/2022	\$782.00
00021673	H4078	JUNG SUN NOH	04/01/2022	\$1,442.00
00021674	H4467	KAID MALINDA INVESTMENT INC	04/01/2022	\$2,342.00
00021675	H00258	KAID TAFT INVESTMENT INC	04/01/2022	\$2,050.00
00021676	H4482	JAIDEEP KAMAT	04/01/2022	\$1,643.00
00021677	H4758	JUN-WEI KAO	04/01/2022	\$937.00
00021678	H3320	KASHI TRUST	04/01/2022	\$10,095.00
00021679	H4767	KATELLA FAMILY HOUSING PARTNER	04/01/2022	\$1,571.00
00021680	H3771	KATELLA MOBILE HOME ESTATES	04/01/2022	\$918.00
00021681	H3721	KCM INVESTMENTS, LLC	04/01/2022	\$2,433.00
00021682	H4696	KD RENT	04/01/2022	\$1,893.00
00021683	H1018	LU-YONG KEH	04/01/2022	\$5,570.00
00021684	H4374	KEITH AND HOLLY CORPORATION	04/01/2022	\$826.00
00021685	H9030	ROBERT KELLEY	04/01/2022	\$4,652.00

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00021686	H3113	KENSINGTON GARDENS	04/01/2022	\$923.00
00021687	H1535	DAN VAN KHA	04/01/2022	\$1,371.00
00021688	H1888	LINDA KHA	04/01/2022	\$1,930.00
00021689	H2423	CAM MY KHA	04/01/2022	\$1,824.00
00021690	H2624	SETH S KHEANG	04/01/2022	\$2,892.00
00021691	H00280	A THI KHUU	04/01/2022	\$2,488.00
00021692	H3727	HENRY THAI KHUU	04/01/2022	\$1,415.00
00021693	H0890	DAVID S KIM	04/01/2022	\$1,003.00
00021694	H4527	MELVIN LEE KIM	04/01/2022	\$1,201.00
00021695	H9033	SON H KIM	04/01/2022	\$5,106.00
00021696	H9031	HARRY H KIM	04/01/2022	\$1,442.00
00021697	H9001	KING COUNTY HOUSING AUTHORITY	04/01/2022	\$3,981.86
00021698	H1797	KING INVESTMENT GROUP, INC	04/01/2022	\$3,903.00
00021699	H3591	BERNARD KING	04/01/2022	\$241.00
00021700	H3567	KENT M KITSELMAN	04/01/2022	\$1,493.00
00021701	H2960	MARILYN KLUNK	04/01/2022	\$2,620.00
00021702	H2460	KNK PROPERTIES	04/01/2022	\$9,612.00
00021703	H4510	KPKK, LLC	04/01/2022	\$1,229.00
00021704	H0082	EDWARD KUO	04/01/2022	\$421.00
00021705	H1193	EDWARD KUO	04/01/2022	\$1,345.00
00021706	H4804	SATOKO KURATA	04/01/2022	\$1,110.00
00021707	H4609	JOAQUIN KURZ	04/01/2022	\$2,927.00
00021708	H4737	TUYET B LA	04/01/2022	\$1,959.00
00021709	H4712	LADERA WNG II, LLC	04/01/2022	\$2,664.00
00021710	H3611	LAGUNA HILLS TRAVELODGE, LLC	04/01/2022	\$34,789.00
00021711	H3793	LAGUNA STREET APARTMENTS, LLC	04/01/2022	\$2,295.00
00021712	H2636	LAKESIDE ASSOCIATION	04/01/2022	\$3,780.00
00021713	H4253	JULIE LALLY	04/01/2022	\$1,641.00
00021714	H3552	ANDRE LAM	04/01/2022	\$927.00
00021715	H00028	ANH LAN LAM	04/01/2022	\$1,954.00
00021716	H3711	CAM THI T LAM	04/01/2022	\$1,143.00
00021717	H1224	CHAU LAM	04/01/2022	\$6,799.00
00021718	H00045	CHRISTINE M LAM	04/01/2022	\$2,133.00
00021719	H00213	DAVID LAM	04/01/2022	\$1,935.00

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00021720	H2396	HAI LAM	04/01/2022	\$5,795.00
00021721	H4631	HUNG LAM	04/01/2022	\$2,243.00
00021722	H4563	QUOC D LAM	04/01/2022	\$1,936.00
00021723	H00088	QUYHN GIAO LAM	04/01/2022	\$572.00
00021724	H00042	STEVEN LAM	04/01/2022	\$1,327.00
00021725	H2168	THONG KIM LAM	04/01/2022	\$2,778.00
00021726	H2873	MAI LAM	04/01/2022	\$1,231.00
00021727	H4752	THUY T LAM	04/01/2022	\$1,007.00
00021728	H4454	LAMPLIGHTER VILLAGE APTS	04/01/2022	\$12,293.00
00021729	H4745	LAMPSON EP, LLC	04/01/2022	\$1,219.00
00021730	H4504	LAMY OANH, LLC	04/01/2022	\$5,954.00
00021731	H4663	LAS PALMAS APTS	04/01/2022	\$1,842.00
00021732	H4402	STEPHEN LAU	04/01/2022	\$1,320.00
00021733	H00151	CATHERINE LAZARAN	04/01/2022	\$1,516.00
00021734	H3945	JOHN LAZENBY	04/01/2022	\$2,451.00
00021735	H4471	LE MORNINGSIDE, LLC	04/01/2022	\$3,975.00
00021736	H4754	ANH LE	04/01/2022	\$3,506.00
00021737	H00153	BENJAMIN BAO LE	04/01/2022	\$1,660.00
00021738	H4421	BILL BQ LE	04/01/2022	\$1,324.00
00021739	H00104	CELINE LE	04/01/2022	\$1,873.00
00021740	H4634	DANIEL LE	04/01/2022	\$1,383.00
00021741	H4133	HIEP THI LE	04/01/2022	\$2,568.00
00021742	H00179	HUONG THI LE	04/01/2022	\$1,480.00
00021743	H1258	JIMMY T LE	04/01/2022	\$2,013.00
00021744	H4555	JOHN LE	04/01/2022	\$2,208.00
00021745	H4142	JOHN TOAN LE	04/01/2022	\$3,309.00
00021746	H4462	LAN V LE	04/01/2022	\$674.00
00021747	H4319	LANH C LE	04/01/2022	\$1,924.00
00021748	H3542	LANH VAN LE	04/01/2022	\$2,300.00
00021749	H3796	LY PHUONG LE	04/01/2022	\$1,817.00
00021750	H00148	MAN MINH LE	04/01/2022	\$1,646.00
00021751	H3623	MICHAEL LE	04/01/2022	\$2,095.00
00021752	H0918	NANCY NGAT THI LE	04/01/2022	\$4,562.00
00021753	H3416	NGA LE	04/01/2022	\$1,886.00

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00021754	H4428	RICHARD TUANANH LE	04/01/2022	\$1,389.00
00021755	H0948	STEPHANIE THU LE	04/01/2022	\$4,170.00
00021756	H00209	TAI LE	04/01/2022	\$2,615.00
00021757	H00099	TAN LE	04/01/2022	\$1,432.00
00021758	H00214	THAM T LE	04/01/2022	\$1,416.00
00021759	H3661	THANH TIEN LE	04/01/2022	\$1,847.00
00021760	H00069	THOMAS T LE	04/01/2022	\$1,352.00
00021761	H00134	TIFFANY D LE	04/01/2022	\$1,448.00
00021762	H00202	TRINA TRINH LE	04/01/2022	\$1,626.00
00021763	H00135	TUYEN NIKKI LE	04/01/2022	\$1,464.00
00021764	H4695	VANESSA LE	04/01/2022	\$1,288.00
00021765	H0167	BAO GIA LE	04/01/2022	\$4,653.00
00021766	H2548	XAN NGOC LE	04/01/2022	\$866.00
00021767	H3447	MONIQUE LEDUC	04/01/2022	\$1,348.00
00021768	H3946	DAVID OR TRINH LEE	04/01/2022	\$714.00
00021769	H4547	LEMON GROVE, LP	04/01/2022	\$1,666.00
00021770	H1602	ROGER LEUNG	04/01/2022	\$1,613.00
00021771	H4002	SOL M LI	04/01/2022	\$1,905.00
00021772	H1533	DAVID LIN	04/01/2022	\$2,696.00
00021773	H1616	EEL-YU LIN	04/01/2022	\$146.00
00021774	H4344	LINCOLN VILLAS APT HOMES, LLC	04/01/2022	\$6,598.00
00021775	H4592	LINCOLN WOODS APARTMENTS	04/01/2022	\$2,658.00
00021776	H1960	KATHERINE LITTON	04/01/2022	\$1,426.00
00021777	H00242	CHEN-CHUNG LIU	04/01/2022	\$1,878.00
00021778	H2080	LLE, LLC	04/01/2022	\$781.00
00021779	H00090	LOGAN MT LLC	04/01/2022	\$1,439.00
00021780	H3888	TROY LONG, TU-ANH & DUONG	04/01/2022	\$983.00
00021781	H3311	CINDY W LOUIE	04/01/2022	\$2,201.00
00021782	H00143	KATHERINE LU	04/01/2022	\$1,521.00
00021783	H2120	QUYNH THUY LU	04/01/2022	\$3,041.00
00021784	H00177	CHRISTOPHER LAC LUONG	04/01/2022	\$991.00
00021785	H1424	KHANH LUONG	04/01/2022	\$1,436.00
00021786	H4603	LONG DUC LUONG	04/01/2022	\$1,060.00
00021787	H4157	TRA THI-PHUONG LUONG	04/01/2022	\$3,548.00

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00021788	H4572	ALLEN LUU	04/01/2022	\$1,476.00
00021789	H4491	TUAN V LUU	04/01/2022	\$1,317.00
00021790	H3696	XUYEN LUU	04/01/2022	\$2,419.00
00021791	H4669	ANDY LY	04/01/2022	\$1,610.00
00021792	H3717	DUC T LY	04/01/2022	\$538.00
00021793	H1613	MING LY	04/01/2022	\$1,910.00
00021794	H00166	MINH N LY	04/01/2022	\$1,600.00
00021795	H3754	TAN Q LY	04/01/2022	\$903.00
00021796	H3390	TRANH LY	04/01/2022	\$4,486.00
00021797	H4154	TUYEN X LY	04/01/2022	\$2,776.00
00021798	H00219	M FORTUNE LLC	04/01/2022	\$1,568.00
00021799	H00136	MAGNET SENIOR HOUSING PARTNERS LP C/O MONTAIRA	04/01/2022	\$1,708.00
00021800	H3201	ANN N MAI	04/01/2022	\$2,871.00
00021801	H00192	ANNIE MAI	04/01/2022	\$2,426.00
00021802	H3996	FRANK MAI	04/01/2022	\$2,021.00
00021803	H4308	JENNIE THUY MAI	04/01/2022	\$2,455.00
00021804	H1499	LINDA MAI	04/01/2022	\$1,714.00
00021805	H00191	TUNG THANH MAI	04/01/2022	\$1,217.00
00021806	H2451	CHUCK MAI	04/01/2022	\$2,361.00
00021807	H4298	JAIMIE MAI-NGO	04/01/2022	\$1,470.00
00021808	H4539	KONSTANTINOS P MANDAS	04/01/2022	\$3,255.00
00021809	H4796	HARALAMBOS & GEORGIA MANTAS	04/01/2022	\$1,324.00
00021810	H4818	LLOYD MANTONG	04/01/2022	\$284.00
00021811	H6865	MARIPOSA PROPERTIES	04/01/2022	\$1,249.00
00021812	H4816	MATTAR REAL ESTATE INVESTMENT	04/01/2022	\$765.00
00021813	H7370	LEOPOLD MAYER	04/01/2022	\$2,573.00
00021814	H2135	JOHN MC GOFF	04/01/2022	\$932.00
00021815	H2842	GRACE OR GERALD MCGRATH	04/01/2022	\$871.00
00021816	H8490	GRACE OR GERALD MCGRATH	04/01/2022	\$1,456.00
00021817	H00269	MCP KENSINGTON LP	04/01/2022	\$4,166.00
00021818	H4793	MEAGHER FAMILY BYPASS TRUST	04/01/2022	\$769.00
00021819	H4794	ELAINE MEAGHER	04/01/2022	\$1,097.00
00021820	H1653	MANH MEAK	04/01/2022	\$1,338.00

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00021821	H4435	JAGDISH P MEHTA	04/01/2022	\$1,253.00
00021822	H2110	MIDWAY INTEREST, LP	04/01/2022	\$8,503.00
00021823	H2638	MIKE & KATHY LEE, LP	04/01/2022	\$3,215.00
00021824	H4814	MITTAL LEGACY, LP	04/01/2022	\$3,060.00
00021825	H00205	JOHN MKHAIL	04/01/2022	\$1,560.00
00021826	H3256	MONARCH POINTE	04/01/2022	\$1,583.00
00021827	H3534	ANTHONY MONTEBELLO	04/01/2022	\$1,207.00
00021828	H2976	MONTECITO VISTA APT HOMES	04/01/2022	\$1,647.00
00021829	H4658	BACH MORALES	04/01/2022	\$2,389.00
00021830	H4715	MORNINGSIDE APTS, LLC	04/01/2022	\$9,754.00
00021831	H00154	MT VERNON APARTMENTS	04/01/2022	\$1,349.00
00021832	H00077	RANDALL MYCORN	04/01/2022	\$1,060.00
00021833	H00145	STEVEN B NACHAM	04/01/2022	\$1,186.00
00021834	H2622	PATRICK NAMSINH	04/01/2022	\$2,074.00
00021835	H3834	NEW HORIZONVIEW, LLC	04/01/2022	\$1,403.00
00021836	H3865	NEW KENYON APARTMENTS, LLC	04/01/2022	\$1,559.00
00021837	H4029	NEWPORT ESTATE EXPANSION, LLC	04/01/2022	\$1,668.00
00021838	H2745	DALE XUAN NGHIEM	04/01/2022	\$1,204.00
00021839	H3956	DANIEL NGHIEM	04/01/2022	\$24,238.00
00021840	H4751	DUNG T NGO	04/01/2022	\$1,853.00
00021841	H3630	HONG DIEP LE NGO	04/01/2022	\$953.00
00021842	H4184	KIM NGO	04/01/2022	\$1,041.00
00021843	H0314	LOC T NGO	04/01/2022	\$558.00
00021844	H00196	MIMI T NGO	04/01/2022	\$1,209.00
00021845	H4550	TAMMY NGO	04/01/2022	\$1,242.00
00021846	H4691	AN MANH NGUYEN	04/01/2022	\$826.00
00021847	H4719	ANA-KARINA A NGUYEN	04/01/2022	\$1,410.00
00021848	H4645	ANDREA NGUYEN	04/01/2022	\$964.00
00021849	H3734	ANDREW Q NGUYEN	04/01/2022	\$2,244.00
00021850	H4401	ANH NGUYEN	04/01/2022	\$1,076.00
00021851	H1938	ANH-DAO NGUYEN	04/01/2022	\$1,266.00
00021852	H3749	ANTHONY NGUYEN	04/01/2022	\$1,429.00
00021853	H00176	BICH LIEN T NGUYEN	04/01/2022	\$1,546.00
00021854	H1457	BINH NGOC NGUYEN	04/01/2022	\$4,421.00

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00021855	H1430	BINH QUOC NGUYEN	04/01/2022	\$3,295.00
00021856	H3958	BRIAN BAO-KHA NGUYEN	04/01/2022	\$3,467.00
00021857	H4297	CALVIN H NGUYEN	04/01/2022	\$1,916.00
00021858	H00111	CHARLES NGUYEN	04/01/2022	\$1,852.00
00021859	H3248	CHARLIE NGUYEN	04/01/2022	\$1,614.00
00021860	H4511	CHRISTINE NGUYEN	04/01/2022	\$1,520.00
00021861	H2274	CHRISTOPHER NGUYEN	04/01/2022	\$1,658.00
00021862	H3777	CHUONG NGUYEN	04/01/2022	\$1,967.00
00021863	H9043	CUONG NGUYEN	04/01/2022	\$2,403.00
00021864	H4641	DAN NGUYEN	04/01/2022	\$1,242.00
00021865	H4569	DAT NGUYEN	04/01/2022	\$1,845.00
00021866	H4015	LOAN T NGUYEN, DAVID / HA	04/01/2022	\$1,530.00
00021867	H4565	RICHARD NGUYEN, DEBBY & TRAN	04/01/2022	\$788.00
00021868	H1881	DIEM-THUY NGUYEN	04/01/2022	\$1,841.00
00021869	H00085	DOMINIC NGUYEN	04/01/2022	\$1,817.00
00021870	H4558	DONG NGUYEN	04/01/2022	\$1,437.00
00021871	H4679	DUNG KIM NGUYEN	04/01/2022	\$1,827.00
00021872	H3872	DUONG NGUYEN	04/01/2022	\$1,807.00
00021873	H1143	DZUNG DAN NGUYEN	04/01/2022	\$3,725.00
00021874	H2551	ERIC NGUYEN	04/01/2022	\$1,696.00
00021875	H4621	HANG NGUYEN	04/01/2022	\$2,040.00
00021876	H3953	HANH V NGUYEN	04/01/2022	\$1,607.00
00021877	H3370	HAO & HUONG T NGUYEN	04/01/2022	\$1,230.00
00021878	H00234	HENRY HAO VAN NGUYEN	04/01/2022	\$2,572.00
00021879	H1446	JOSEPH NGUYEN, HOA THI OR NGUYEN	04/01/2022	\$8,426.00
00021880	H4514	HOAN VAN NGUYEN	04/01/2022	\$1,036.00
00021881	H4460	HUAN NGOC NGUYEN	04/01/2022	\$1,486.00
00021882	H00140	HUE KHANH NGUYEN	04/01/2022	\$870.00
00021883	H4479	HUE THI NGUYEN	04/01/2022	\$1,339.00
00021884	H3276	HUNG NGUYEN	04/01/2022	\$1,225.00
00021885	H3870	TIEN D NGUYEN, HUONG THY OR PHAM	04/01/2022	\$2,362.00
00021886	H00039	JANET NGUYEN	04/01/2022	\$2,872.00
00021887	H3242	JEANNIE NGUYEN	04/01/2022	\$2,959.00
00021888	H00245	JOHN NGUYEN	04/01/2022	\$1,706.00

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00021889	H3241	JULIE NGUYEN	04/01/2022	\$1,357.00
00021890	H4697	KEVIN NGUYEN	04/01/2022	\$2,376.00
00021891	H4285	KHAI HUE NGUYEN	04/01/2022	\$2,691.00
00021892	H3497	KHANH DANG NGUYEN	04/01/2022	\$1,212.00
00021893	H4419	KHOI NGUYEN	04/01/2022	\$1,700.00
00021894	H3149	KIEN NGUYEN	04/01/2022	\$5,301.00
00021895	H4652	KIEN THI NGUYEN	04/01/2022	\$1,630.00
00021896	H3919	KIMCHI THI NGUYEN	04/01/2022	\$319.00
00021897	H4713	LAN HUONG NGUYEN	04/01/2022	\$1,869.00
00021898	H4195	LANIE NGUYEN	04/01/2022	\$2,588.00
00021899	H4700	LE B NGUYEN	04/01/2022	\$2,001.00
00021900	H00255	LIEN B NGUYEN	04/01/2022	\$1,510.00
00021901	H1687	LINDA NGUYEN	04/01/2022	\$3,705.00
00021902	H4079	LINDA LIEN NGUYEN	04/01/2022	\$1,189.00
00021903	H2331	LONG HUYEN DAC NGUYEN	04/01/2022	\$5,949.00
00021904	H4478	LUONG NGUYEN	04/01/2022	\$1,651.00
00021905	H00165	LUU PHUONG NGUYEN	04/01/2022	\$2,114.00
00021906	H1380	LYNDA NGUYEN	04/01/2022	\$1,387.00
00021907	H2391	MAN M NGUYEN	04/01/2022	\$1,342.00
00021908	H3526	MICHAEL THANG NGUYEN	04/01/2022	\$2,510.00
00021909	H4738	MINH NGUYEN	04/01/2022	\$1,480.00
00021910	H00040	MY DUNG THI NGUYEN	04/01/2022	\$2,122.00
00021911	H0907	MYLY NGUYEN	04/01/2022	\$1,612.00
00021912	H3170	MYRA D NGUYEN	04/01/2022	\$1,344.00
00021913	H1717	NANCY NGUYEN	04/01/2022	\$8,727.00
00021914	H3713	NANCY NGUYEN	04/01/2022	\$1,359.00
00021915	H00122	NATHAN V NGUYEN	04/01/2022	\$1,422.00
00021916	H1899	NGHI NGUYEN	04/01/2022	\$1,983.00
00021917	H4744	NGOC NGUYEN	04/01/2022	\$1,808.00
00021918	H4469	OSCAR THUAN NGUYEN	04/01/2022	\$2,378.00
00021919	H4423	PETER NGUYEN	04/01/2022	\$4,261.00
00021920	H00068	PHUC T NGUYEN	04/01/2022	\$1,845.00
00021921	H2197	PHUONG MY THI NGUYEN	04/01/2022	\$11,835.00
00021922	H4439	QUAN NGUYEN	04/01/2022	\$1,259.00

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00021923	H3853	QUANG M NGUYEN	04/01/2022	\$160.00
00021924	H4680	SHAWN B NGUYEN	04/01/2022	\$2,080.00
00021925	H4559	SKY NGUYEN	04/01/2022	\$3,038.00
00021926	H3185	SON DINH NGUYEN	04/01/2022	\$1,189.00
00021927	H4118	STEVE NGUYEN	04/01/2022	\$1,633.00
00021928	H3425	STEVEN NGUYEN	04/01/2022	\$1,171.00
00021929	H4670	STEVEN NGUYEN	04/01/2022	\$1,870.00
00021930	H4340	STEVENS NGUYEN	04/01/2022	\$1,747.00
00021931	H00262	TAI ANH NGUYEN	04/01/2022	\$1,606.00
00021932	H3317	TAM N NGUYEN	04/01/2022	\$1,447.00
00021933	H3373	THAI DUC NGUYEN	04/01/2022	\$2,938.00
00021934	H4586	THANG XUAN NGUYEN	04/01/2022	\$1,450.00
00021935	H00059	THANH-HAI NGUYEN	04/01/2022	\$1,544.00
00021936	H3978	THANH-LE NGUYEN	04/01/2022	\$1,813.00
00021937	H3313	THANH-NHAN NGUYEN	04/01/2022	\$307.00
00021938	H00239	THIEU KIM NGUYEN	04/01/2022	\$1,751.00
00021939	H3755	THINH QUOC NGUYEN	04/01/2022	\$1,519.00
00021940	H4749	THOMAS NGUYEN	04/01/2022	\$2,384.00
00021941	H4734	THU-DUNG TRAN NGUYEN	04/01/2022	\$1,759.00
00021942	H1302	THUY NGUYEN	04/01/2022	\$893.00
00021943	H4772	THUY NGUYEN	04/01/2022	\$2,522.00
00021944	H3331	THUYHUONG THI NGUYEN	04/01/2022	\$1,209.00
00021945	H9045	TIEP NGUYEN	04/01/2022	\$1,876.00
00021946	H00046	TIM NGUYEN	04/01/2022	\$1,500.00
00021947	H2473	TIMMY NGUYEN	04/01/2022	\$2,327.00
00021948	H00126	TOM NGUYEN	04/01/2022	\$1,509.00
00021949	H4349	TRACY TRUC NGUYEN	04/01/2022	\$1,112.00
00021950	H4805	TRAM ANH NGUYEN	04/01/2022	\$1,543.00
00021951	H4636	TRANG NGUYEN	04/01/2022	\$1,958.00
00021952	H3469	TUAN HOANG NGUYEN	04/01/2022	\$1,807.00
00021953	H4243	TUAN NGOC NGUYEN	04/01/2022	\$2,401.00
00021954	H3737	TUNG QUOC NGUYEN	04/01/2022	\$2,610.00
00021955	H4643	TUYET MAI NGUYEN	04/01/2022	\$1,141.00
00021956	H1937	TUYET TRINH NGUYEN	04/01/2022	\$1,612.00

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00021957	H4166	TUYET TRINH NGUYEN	04/01/2022	\$1,416.00
00021958	H4766	UYEN NGUYEN	04/01/2022	\$1,718.00
00021959	H3655	VAN HUY NGUYEN	04/01/2022	\$1,867.00
00021960	H4570	VIVIAN NGUYEN	04/01/2022	\$622.00
00021961	H4755	NGUYEN, VY & THI	04/01/2022	\$1,812.00
00021962	H2501	CANG NGUYEN	04/01/2022	\$1,197.00
00021963	H2550	CUONG CHI NGUYEN	04/01/2022	\$5,656.00
00021964	H2337	DUNG VAN NGUYEN	04/01/2022	\$1,292.00
00021965	H3012	HAN NGUYEN	04/01/2022	\$1,044.00
00021966	H1766	HUNG C NGUYEN	04/01/2022	\$1,725.00
00021967	H3061	HUY NGUYEN	04/01/2022	\$2,386.00
00021968	H3096	HUYEN TT NGUYEN	04/01/2022	\$5,053.00
00021969	H2956	JAMES NGUYEN	04/01/2022	\$1,291.00
00021970	H1552	LAN PHUONG THI NGUYEN	04/01/2022	\$2,009.00
00021971	H2409	LAN-NGOC NGUYEN	04/01/2022	\$1,424.00
00021972	H3086	LANI LAN T NGUYEN	04/01/2022	\$1,143.00
00021973	H2812	MINH NGOC NGUYEN	04/01/2022	\$1,544.00
00021974	H2511	PERRY NGUYEN	04/01/2022	\$1,191.00
00021975	H2637	THANH NGUYEN	04/01/2022	\$3,960.00
00021976	H2610	THANH-TUYEN NGUYEN	04/01/2022	\$1,241.00
00021977	H2479	THINH THI NGUYEN	04/01/2022	\$7,137.00
00021978	H2561	TIFFANY NGUYEN	04/01/2022	\$2,775.00
00021979	H3070	WIN NGUYEN	04/01/2022	\$1,775.00
00021980	H2912	XUAN YEN NGUYEN	04/01/2022	\$1,230.00
00021981	H3802	DIANA NGUYEN-THIEN-NH	04/01/2022	\$1,997.00
00021982	H00218	NH SEABREEZE LLC	04/01/2022	\$2,697.00
00021983	H00168	NNT PROPERTIES 4 LLC	04/01/2022	\$1,822.00
00021984	H00029	NOGAL FELIZ APARTMENTS	04/01/2022	\$1,698.00
00021985	H3952	NORMANDY APARTMENTS, LLC	04/01/2022	\$1,067.00
00021986	H00197	NUTWOOD EAST APARTMENTS LLC	04/01/2022	\$1,361.00
00021987	H4597	JOHN OMDAHL	04/01/2022	\$1,850.00
00021988	H00158	ORANGE COUNTY COMMUNITY HOUSING CORPORATION	04/01/2022	\$1,686.00
00021989	H00159	ORANGE COUNTY COMMUNITY HOUSING CORPORATION	04/01/2022	\$1,390.00

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00021990	H00160	ORANGE COUNTY COMMUNITY HOUSING CORPORATION	04/01/2022	\$1,152.00
00021991	H00161	ORANGE COUNTY COMMUNITY HOUSING CORPORATION	04/01/2022	\$1,465.00
00021992	H00162	ORANGE COUNTY COMMUNITY HOUSING CORPORATION	04/01/2022	\$4,588.00
00021993	H00163	ORANGE COUNTY COMMUNITY HOUSING CORPORATION	04/01/2022	\$12,408.00
00021994	H00164	ORANGE COUNTY COMMUNITY HOUSING CORPORATION	04/01/2022	\$6,645.00
00021995	H1622	ORANGE TREE APTS	04/01/2022	\$16,090.00
00021996	H4761	ORRWAY APTS HOMES, LLC	04/01/2022	\$556.00
00021997	H2516	SUIKO OZAKI	04/01/2022	\$1,528.00
00021998	H4495	P & J PROPERTY MANAGEMENT	04/01/2022	\$2,665.00
00021999	H1776	BRADRAKUMAR L PAHU	04/01/2022	\$2,708.00
00022000	H1328	PALM ISLAND	04/01/2022	\$11,198.00
00022001	H4477	PARISIAN APARTMENTS, LP	04/01/2022	\$1,394.00
00022002	H4487	PARK LANDING APARTMENTS	04/01/2022	\$2,160.00
00022003	H0254	PARK STANTON PLACE LP	04/01/2022	\$9,910.00
00022004	H4307	JIN PARK	04/01/2022	\$1,664.00
00022005	H8794	PATEL DILIP M	04/01/2022	\$6,407.00
00022006	H3249	SMITA DIPAK PATEL	04/01/2022	\$1,122.00
00022007	H3111	PELICAN INVESTMENTS #6, LLC	04/01/2022	\$2,690.00
00022008	H4370	PELICAN INVESTMENTS #8, LLC	04/01/2022	\$1,758.00
00022009	H3544	PELICAN INVESTMENTS, LLC	04/01/2022	\$447.00
00022010	H00222	AGNES PHAM	04/01/2022	\$1,736.00
00022011	H4176	BINH Q PHAM	04/01/2022	\$1,603.00
00022012	H4210	CAROLINE PHAM	04/01/2022	\$2,401.00
00022013	H3408	CHIEN DINH PHAM	04/01/2022	\$1,484.00
00022014	H4743	CHINH VAN PHAM	04/01/2022	\$1,618.00
00022015	H1651	DAVID DUNG PHAM	04/01/2022	\$1,133.00
00022016	H9709	DAVID LINH PHAM	04/01/2022	\$2,355.00
00022017	H4398	DUNG TIEN PHAM	04/01/2022	\$1,551.00
00022018	H3912	HIEU PHAM	04/01/2022	\$2,094.00
00022019	H1080	HOANG PHAM	04/01/2022	\$4,502.00
00022020	H1971	KHANH CONG PHAM	04/01/2022	\$1,762.00

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00022021	H1117	LUCY PHAM, KIM ANH OR PHAM	04/01/2022	\$3,675.00
00022022	H0788	LAN VAN PHAM	04/01/2022	\$3,141.00
00022023	H4095	LIEN PHAM	04/01/2022	\$1,413.00
00022024	H00089	LILY H PHAM	04/01/2022	\$959.00
00022025	H2243	MINH VAN PHAM	04/01/2022	\$2,091.00
00022026	H4033	NGHIA PHAM	04/01/2022	\$1,640.00
00022027	H4724	NHAC T PHAM	04/01/2022	\$1,721.00
00022028	H4683	PAULINE TRAM PHAM	04/01/2022	\$1,739.00
00022029	H3773	PHUONG T PHAM	04/01/2022	\$1,314.00
00022030	H4501	QUYNH GIAO PHAM	04/01/2022	\$2,610.00
00022031	H3786	QUYNH-ANH HOANG PHAM	04/01/2022	\$1,708.00
00022032	H4213	SON THAI PHAM	04/01/2022	\$2,622.00
00022033	H2255	TIM PHAM	04/01/2022	\$3,105.00
00022034	H4651	TRANG PHAM	04/01/2022	\$2,580.00
00022035	H2065	TRI PHAM	04/01/2022	\$1,826.00
00022036	H4593	TRUONG TAI PHAM	04/01/2022	\$2,149.00
00022037	H4105	TUAN A PHAM	04/01/2022	\$1,326.00
00022038	H4537	TUAN A PHAM	04/01/2022	\$1,810.00
00022039	H3880	VAN LOAN THI PHAM	04/01/2022	\$1,032.00
00022040	H4503	VERONIQUE PHAM	04/01/2022	\$1,670.00
00022041	H3967	VU PHAM	04/01/2022	\$1,422.00
00022042	H2328	XUANNHA T PHAM	04/01/2022	\$1,128.00
00022043	H0595	HAI MINH PHAM	04/01/2022	\$11,111.00
00022044	H1932	HELEN PHAM	04/01/2022	\$1,009.00
00022045	H1851	LOAN ANH THI PHAM	04/01/2022	\$1,436.00
00022046	H0651	QUANG PHAM	04/01/2022	\$1,643.00
00022047	H4685	KATHY PHAN	04/01/2022	\$4,092.00
00022048	H4188	OANH PHAN	04/01/2022	\$5,760.00
00022049	H4781	STEVEN PHAN	04/01/2022	\$1,338.00
00022050	H4408	TAMMY PHAN	04/01/2022	\$1,538.00
00022051	H3820	THANH T PHAN	04/01/2022	\$1,022.00
00022052	H3257	DON PHAN	04/01/2022	\$1,310.00
00022053	H1101	TOAN CONG PHAN	04/01/2022	\$1,121.00
00022054	H3698	ART S PHARN	04/01/2022	\$2,076.00

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00022055	H00141	PHOENIX PREMIER LLC	04/01/2022	\$3,232.00
00022056	H2863	PINE TREE PROPERTY, LLC	04/01/2022	\$1,867.00
00022057	H3464	PINEMEADOWS APARTMENTS ATTEN: LEASING OFFICE	04/01/2022	\$1,569.00
00022058	H3505	PJP PROPERTIES, LLC	04/01/2022	\$1,407.00
00022059	H00231	PLATINUM TRI BLOC LLC	04/01/2022	\$1,713.00
00022060	H1493	PLAZA PATRIA COURT LTD	04/01/2022	\$1,417.00
00022061	H4214	PLYMOUTH HRA	04/01/2022	\$362.05
00022062	H3769	PNB GREEN EXPANSION MGMT, LLC	04/01/2022	\$4,437.00
00022063	H4795	POST STERLING COURT, LP	04/01/2022	\$1,438.00
00022064	H3668	PRINCE NEW HORIZON VILLAGE	04/01/2022	\$2,519.00
00022065	H00194	QN INVESTMENT LLC	04/01/2022	\$15,021.00
00022066	H4306	SAN T QUACH	04/01/2022	\$1,291.00
00022067	H3994	DERRICK WILLIAM QUAN	04/01/2022	\$1,822.00
00022068	H4620	JEANNIE QUAN	04/01/2022	\$972.00
00022069	H4357	VAN-LAN QUAN	04/01/2022	\$5,462.00
00022070	H1448	GARY L QUINN	04/01/2022	\$795.00
00022071	H00169	RANCHO MONTEREY APARTMENTS	04/01/2022	\$4,672.00
00022072	H0978	RAVART PACIFIC, LP	04/01/2022	\$2,370.00
00022073	H3808	RAVENWOOD PROPERTIES, LLC	04/01/2022	\$2,401.00
00022074	H4801	RBJ INVESTMENTS CORP	04/01/2022	\$1,191.00
00022075	H3184	ROGER LEE REED	04/01/2022	\$2,435.00
00022076	H3573	REO INTERNATIONAL CORPORATION	04/01/2022	\$1,609.00
00022077	H4932	RAYMOND REYES	04/01/2022	\$1,111.00
00022078	H1100	ROBERTA APTS, LP	04/01/2022	\$2,420.00
00022079	H3186	ROCEL PROPERTIES MGMT INC	04/01/2022	\$1,298.00
00022080	H1303	ALBERT/PATRICIA RODRIGUEZ	04/01/2022	\$564.00
00022081	H00109	JESSE RODRIQUEZ	04/01/2022	\$1,168.00
00022082	H00266	BRADLEY A ROMSTEDT	04/01/2022	\$1,069.00
00022083	H3631	CHARLENE ROSSIGNOL	04/01/2022	\$1,059.00
00022084	H00128	RUSSELL REAL ESTATE LLC	04/01/2022	\$3,266.00
00022085	H00203	S & P PACIFIC PROPERTIES LLC	04/01/2022	\$5,203.00
00022086	H1149	MIHRAN SABUNJIAN	04/01/2022	\$12,141.00
00022087	H00246	SAGE PARK CA LP	04/01/2022	\$1,258.00
00022088	H4231	SALSOL PROPERTIES, LLC	04/01/2022	\$1,229.00

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00022089	H4681	SAN MARINO	04/01/2022	\$486.00
00022090	H00097	SAN MIGUEL APTS / SAN MIGUEL PROPERTIES LP	04/01/2022	\$1,194.00
00022091	H00174	CYNTHIA SANCHEZ	04/01/2022	\$1,081.00
00022092	H0858	PAT SARGENT	04/01/2022	\$1,403.00
00022093	H3340	JILL ANN SCHLEIFER	04/01/2022	\$3,078.00
00022094	H00187	SCOTT G JOE C/O PACIFIC TRUST MANAGEMENT	04/01/2022	\$1,111.00
00022095	H4485	SCWJ, LLC	04/01/2022	\$1,436.00
00022096	H3151	LISA & BRYAN SEO	04/01/2022	\$73.00
00022097	H2952	ALVINA SERNA	04/01/2022	\$564.00
00022098	H4072	SERRANO WOODS, LP	04/01/2022	\$580.00
00022099	H00103	DAHNING SHIH	04/01/2022	\$1,812.00
00022100	H4546	MOLLY SHIH	04/01/2022	\$1,812.00
00022101	H3699	SHREEVES PROPERTIES, LLC	04/01/2022	\$4,780.00
00022102	H3779	IRV D SIGEL	04/01/2022	\$1,610.00
00022103	H4150	SILVER COVE APARTMENTS, LP	04/01/2022	\$2,115.00
00022104	H4451	IRVIN SILVERSTEIN	04/01/2022	\$1,118.00
00022105	H1182	SINGING TREE	04/01/2022	\$1,386.00
00022106	H3459	BAY SIU	04/01/2022	\$1,506.00
00022107	H4778	SOC, LLC	04/01/2022	\$1,100.00
00022108	H00243	SOMMERVILLE CONZELMAN CO LP	04/01/2022	\$1,671.00
00022109	H00055	LLC SOUTHCOAST CAPITAL HOLDINGS	04/01/2022	\$1,305.00
00022110	H1686	JAMES SPEARS	04/01/2022	\$2,095.00
00022111	H00244	SPICY LIVING LLC	04/01/2022	\$3,629.00
00022112	H4145	SPRINGDALE STREET APARTMENTS	04/01/2022	\$3,452.00
00022113	H3835	SPRINGSIDE, LLC	04/01/2022	\$7,313.00
00022114	H4458	TRUST STANLEY A SIROTT	04/01/2022	\$1,734.00
00022115	H3038	STANTON GROUP THREE, LLC	04/01/2022	\$4,457.00
00022116	H4566	STANTON GROUP, LLC	04/01/2022	\$947.00
00022117	H1277	STEWART PROPERTIES	04/01/2022	\$1,243.00
00022118	H00142	PATRICIA J STEWART	04/01/2022	\$1,506.00
00022119	H0403	ERICA STIDHAM	04/01/2022	\$5,529.00
00022120	H0359	STUART DRIVE/ROSE GARDEN APTS	04/01/2022	\$105,885.00
00022121	H1147	UN SU	04/01/2022	\$2,952.00
00022122	H2049	SUNGROVE SENIOR APTS	04/01/2022	\$26,152.00

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00022123	H3805	SUNNYGATE, LLC	04/01/2022	\$11,046.00
00022124	H00108	SUNRISE APARTMENT HOMES	04/01/2022	\$2,601.00
00022125	H3766	SUNRISE VILLAGE PROPERTIES, LLC	04/01/2022	\$6,323.00
00022126	H00230	SUWAPANG PATTUMMADITH C/O UTOPIA MANAGMENT	04/01/2022	\$1,449.00
00022127	H4484	EMILE J SWEIDA	04/01/2022	\$1,372.00
00022128	H00170	EVELYN SY	04/01/2022	\$1,623.00
00022129	H4543	SYCAMORE COURT APARTMENTS	04/01/2022	\$15,349.00
00022130	H4178	T AND G TRANG'S CREDIT TRUST UDT 5/1/02	04/01/2022	\$1,224.00
00022131	H4449	VINH TA	04/01/2022	\$1,247.00
00022132	H4081	ALI TAHAMI	04/01/2022	\$2,005.00
00022133	H00094	TAMARACK WOODS A CALIFORNIA LP	04/01/2022	\$1,486.00
00022134	H3614	TAMERLANE APARTMENTS	04/01/2022	\$1,108.00
00022135	H2487	TAMERLANE ASSOCIATES, LLC	04/01/2022	\$2,599.00
00022136	H3432	ENLIANG T TANG	04/01/2022	\$1,529.00
00022137	H00229	TDDM INVESTMENTS CORP	04/01/2022	\$1,477.00
00022138	H3527	TDT WASHINGTON, LLC	04/01/2022	\$3,699.00
00022139	H4653	TH 12622 MORNINGSIDE, LLC	04/01/2022	\$807.00
00022140	H2875	HENRY THACH	04/01/2022	\$1,167.00
00022141	H4731	LYNN THAI	04/01/2022	\$1,418.00
00022142	H00185	JAI PAUL THAKUR	04/01/2022	\$870.00
00022143	H00076	THE ARBORS-LAKE FOREST OWNER LLC	04/01/2022	\$1,248.00
00022144	H00052	THE CAMBRIDGE	04/01/2022	\$1,830.00
00022145	H4391	THE FLORENTINE APTS	04/01/2022	\$1,902.00
00022146	H4759	THE KELVIN APARTMENTS	04/01/2022	\$1,758.00
00022147	H4390	THE MEDITERRANEAN APTS	04/01/2022	\$1,097.00
00022148	H1007	THE ROSE GARDEN APTS	04/01/2022	\$11,107.00
00022149	H4633	THSW PARTNERS, LLC	04/01/2022	\$5,026.00
00022150	H3260	ANA MARIA THULSIRAJ	04/01/2022	\$1,080.00
00022151	H00053	TIC INVESTMENT COMPANY LLC	04/01/2022	\$4,362.00
00022152	H00062	TIC INVESTMENT COMPANY	04/01/2022	\$3,373.00
00022153	H4599	TIC INVESTMENT COMPANY, LLC	04/01/2022	\$1,450.00
00022154	H4600	TIC INVESTMENT COMPANY, LLC	04/01/2022	\$1,144.00
00022155	H00060	TIC INVESTMENT LLC	04/01/2022	\$1,626.00
00022156	H4494	TLHA DOTY, LLC	04/01/2022	\$2,580.00

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00022157	H4219	TLHA PALM, LLC	04/01/2022	\$2,141.00
00022158	H3827	TN INVESTMENTS GROUP, LLC	04/01/2022	\$12,931.00
00022159	H3828	TN INVESTMENTS GROUP, LLC	04/01/2022	\$1,395.00
00022160	H3829	TN INVESTMENTS GROUP, LLC	04/01/2022	\$1,341.00
00022161	H3831	TN INVESTMENTS GROUP, LLC	04/01/2022	\$1,340.00
00022162	H3939	TN INVESTMENTS PROPERTIES, LLC	04/01/2022	\$20,933.00
00022163	H4753	TNL PROPERTY, LLC	04/01/2022	\$2,388.00
00022164	H1212	KIMTRUNG THI TO	04/01/2022	\$1,463.00
00022165	H0855	VAN THU TO	04/01/2022	\$4,481.00
00022166	H4492	TOC TOC, LLC	04/01/2022	\$4,557.00
00022167	H00189	TRUSTEE TOMMY YING TUAN	04/01/2022	\$1,286.00
00022168	H1454	KHANH TON	04/01/2022	\$2,186.00
00022169	H3377	TAP THAT TON	04/01/2022	\$1,302.00
00022170	H4041	JOANNE C TONNU	04/01/2022	\$2,905.00
00022171	H3902	TOPADVANCED, LLC	04/01/2022	\$3,840.00
00022172	H00178	TR ENTERPRISE LLC	04/01/2022	\$2,651.00
00022173	H1789	TRAN'S APARTMENTS	04/01/2022	\$4,336.00
00022174	H4099	ANDREW TRAN	04/01/2022	\$1,909.00
00022175	H4407	ANDREW TRAN	04/01/2022	\$1,796.00
00022176	H7723	ANH TUYET T TRAN	04/01/2022	\$1,365.00
00022177	H4727	ANNA THI TRAN	04/01/2022	\$1,154.00
00022178	H4012	CATHY TRAN	04/01/2022	\$1,436.00
00022179	H00156	DAT DOAN TRAN	04/01/2022	\$783.00
00022180	H2027	FREDERICK M TRAN	04/01/2022	\$1,226.00
00022181	H00102	HELENA TRAN	04/01/2022	\$1,682.00
00022182	H3646	HENRY TRAN	04/01/2022	\$1,221.00
00022183	H1203	JACLYN TRAN, HIEP OR TRAN	04/01/2022	\$1,381.00
00022184	H3554	HO VAN TRAN	04/01/2022	\$6,381.00
00022185	H3896	HOA TRAN	04/01/2022	\$497.00
00022186	H00124	HUE THI DANG TRAN	04/01/2022	\$1,424.00
00022187	H3456	HUNG QUOC TRAN	04/01/2022	\$1,425.00
00022188	H00044	HUONG TRAN	04/01/2022	\$1,660.00
00022189	H00057	HUYEN TRAN	04/01/2022	\$463.00
00022190	H3403	JANE TRAN	04/01/2022	\$2,116.00

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00022191	H4270	JIM DUC TRAN	04/01/2022	\$1,516.00
00022192	H4698	JOHNNY TRAN	04/01/2022	\$2,470.00
00022193	H4251	JOSEPH QUANG TRAN	04/01/2022	\$680.00
00022194	H4499	JOSEPHINE TRAN	04/01/2022	\$2,216.00
00022195	H00171	KENNY TRAN	04/01/2022	\$2,442.00
00022196	H00195	KEVIN TRAN	04/01/2022	\$2,167.00
00022197	H4158	KEVIN THANH TRAN	04/01/2022	\$1,324.00
00022198	H00058	KIEU VAN TRAN	04/01/2022	\$2,251.00
00022199	H3517	KIM VAN TRAN	04/01/2022	\$3,380.00
00022200	H4276	LAY THI TRAN	04/01/2022	\$1,812.00
00022201	H00149	LISA TRAN	04/01/2022	\$372.00
00022202	H4130	LOC H TRAN	04/01/2022	\$2,038.00
00022203	H4788	LONG QUOC TRAN	04/01/2022	\$1,274.00
00022204	H3775	LUCIA THUY TRAN	04/01/2022	\$954.00
00022205	H4602	MAI TRAN	04/01/2022	\$2,748.00
00022206	H3442	MARY TRAN	04/01/2022	\$1,082.00
00022207	H4732	MINH TRAN	04/01/2022	\$1,899.00
00022208	H4059	MY T TRAN	04/01/2022	\$2,245.00
00022209	H4687	NGAN TRAN	04/01/2022	\$3,237.00
00022210	H3211	NGOC THI TRAN	04/01/2022	\$1,876.00
00022211	H4378	NHUT NGUYEN TRAN	04/01/2022	\$1,255.00
00022212	H3530	TAM ANH TRAN	04/01/2022	\$1,065.00
00022213	H4198	TAM MINH TRAN	04/01/2022	\$1,824.00
00022214	H3742	THERESA T TRAN	04/01/2022	\$761.00
00022215	H3744	THERESA T TRAN	04/01/2022	\$1,363.00
00022216	H4291	THONG TRAN	04/01/2022	\$1,073.00
00022217	H3371	THU HUONG THI TRAN	04/01/2022	\$839.00
00022218	H4394	TIM TRAN	04/01/2022	\$1,833.00
00022219	H4573	TINA TRAN	04/01/2022	\$1,960.00
00022220	H00025	TONY TRAN	04/01/2022	\$1,933.00
00022221	H00073	TRANG P TRAN	04/01/2022	\$1,045.00
00022222	H3709	TRI TRAN	04/01/2022	\$459.00
00022223	H4507	TRUNG H TRAN	04/01/2022	\$1,329.00
00022224	H3163	TRUYEN & HELEN TRAN	04/01/2022	\$1,838.00

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00022225	H3220	TU TRAN	04/01/2022	\$1,643.00
00022226	H3253	VICTORIA TRAN	04/01/2022	\$1,590.00
00022227	H0386	BAU TRAN	04/01/2022	\$989.00
00022228	H3227	PAUL TUAN DUC TRAN	04/01/2022	\$1,536.00
00022229	H2712	PHUONG THUY TRAN	04/01/2022	\$759.00
00022230	H1903	THU-HANG TRAN	04/01/2022	\$5,137.00
00022231	H2776	TUAN HUY TRAN	04/01/2022	\$500.00
00022232	H1166	TOM TRANG	04/01/2022	\$2,127.00
00022233	H4136	HONG QUANG TRIEU	04/01/2022	\$1,378.00
00022234	H4266	NANCY TRIEU	04/01/2022	\$1,554.00
00022235	H2231	EMMA TRINH	04/01/2022	\$1,248.00
00022236	H4055	HAI TRINH	04/01/2022	\$1,676.00
00022237	H3759	THANH-MAI TRINH	04/01/2022	\$2,390.00
00022238	H4356	TUAN TRINH	04/01/2022	\$1,724.00
00022239	H0536	TUNG XUAN TRINH	04/01/2022	\$1,629.00
00022240	H3993	DUNG T TRUONG	04/01/2022	\$187.00
00022241	H4476	HANH NGOC TRUONG	04/01/2022	\$1,226.00
00022242	H00188	HUE AI TRUONG	04/01/2022	\$1,448.00
00022243	H00201	JOHN TRUONG	04/01/2022	\$1,260.00
00022244	H4780	KENNY N TRUONG	04/01/2022	\$1,912.00
00022245	H2729	QUYEN MY TRUONG	04/01/2022	\$1,305.00
00022246	H1813	CAROLINE TSAI	04/01/2022	\$3,704.00
00022247	H4445	YUNGLIN & SHU-MEI TSAO	04/01/2022	\$2,789.00
00022248	H3867	TU BI THIEN TAM	04/01/2022	\$1,243.00
00022249	H8168	TUDOR GROVE	04/01/2022	\$78,457.00
00022250	H4536	TUSTIN AFFORDABLE HOUSING	04/01/2022	\$4,649.00
00022251	H4030	TUSTIN SOUTHERN APTS - OFFICE	04/01/2022	\$1,456.00
00022252	H00215	ROGER TWEDT	04/01/2022	\$1,601.00
00022253	H9100	V W PROPERTY	04/01/2022	\$3,974.00
00022254	H1541	CONNIE VALDEZ	04/01/2022	\$1,182.00
00022255	H0300	VALLEY VIEW SENIOR APTS	04/01/2022	\$19,535.00
00022256	H0814	MINH XUONG VAN	04/01/2022	\$618.00
00022257	H4661	RONALD VAN	04/01/2022	\$3,270.00
00022258	H2755	ARTURO ENRIQUEZ VAZQUEZ	04/01/2022	\$3,025.00

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00022259	H4392	VERSAILLES APTS	04/01/2022	\$3,082.00
00022260	H4809	VINE FULLER, LLC	04/01/2022	\$1,351.00
00022261	H4553	VINTAGE CANYON SR APTS	04/01/2022	\$1,047.00
00022262	H4625	VINTAGE FLAGSHIP, LLC	04/01/2022	\$3,001.00
00022263	H3689	VJ SURGICAL, LLC	04/01/2022	\$2,246.00
00022264	H3628	VLE RENTAL, LLC	04/01/2022	\$5,686.00
00022265	H3132	HUNG MINH VO	04/01/2022	\$1,715.00
00022266	H4205	JEFF VO	04/01/2022	\$1,256.00
00022267	H4821	JEFFREY Q VO	04/01/2022	\$1,748.00
00022268	H2134	KHANH MAI VO	04/01/2022	\$4,973.00
00022269	H4531	LOAN VO	04/01/2022	\$1,845.00
00022270	H3938	LOC ANH VO	04/01/2022	\$1,083.00
00022271	H4787	MICKEY VO	04/01/2022	\$2,218.00
00022272	H1481	TINA NGA VOLE	04/01/2022	\$1,261.00
00022273	H3718	NIPA D VORA	04/01/2022	\$2,472.00
00022274	H3907	ANNIE VU	04/01/2022	\$1,266.00
00022275	H2123	DAT VU	04/01/2022	\$18,227.00
00022276	H00259	DIANA VU	04/01/2022	\$1,710.00
00022277	H4560	HOA VU	04/01/2022	\$1,321.00
00022278	H3918	HUAN VU	04/01/2022	\$1,230.00
00022279	H00206	JADE NGOC VU	04/01/2022	\$1,838.00
00022280	H00211	KHUAT VU	04/01/2022	\$1,944.00
00022281	H4657	KRYSTINA VU	04/01/2022	\$1,838.00
00022282	H4197	LEO M VU	04/01/2022	\$2,124.00
00022283	H4323	LINH DUY VU	04/01/2022	\$1,930.00
00022284	H00079	MICHELLE QUYNH HOA VU	04/01/2022	\$2,278.00
00022285	H4549	MINH VU	04/01/2022	\$1,099.00
00022286	H3760	NAM H VU	04/01/2022	\$1,284.00
00022287	H3274	PHUONG MINH VU	04/01/2022	\$1,261.00
00022288	H00249	SUONG N VU	04/01/2022	\$1,242.00
00022289	H3823	TAN DUY VU	04/01/2022	\$3,046.00
00022290	H2823	TRUNG QUOC VU	04/01/2022	\$3,066.00
00022291	H0883	TUONG MANH VU	04/01/2022	\$2,808.00
00022292	H3928	VIVIAN VU	04/01/2022	\$2,003.00

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00022293	H4807	YEN T VU	04/01/2022	\$1,326.00
00022294	H00034	HAO DUC VUONG	04/01/2022	\$1,439.00
00022295	H00226	HOA THI VUONG	04/01/2022	\$2,715.00
00022296	H4278	PETER H VUONG	04/01/2022	\$985.00
00022297	H4642	DAVID WALD	04/01/2022	\$851.00
00022298	H9105	WALDEN APTS	04/01/2022	\$4,190.00
00022299	H1725	WALDEN GLEN APTS	04/01/2022	\$1,702.00
00022300	H4489	HO PONG WAN	04/01/2022	\$1,312.00
00022301	H2084	CHARLES WANG	04/01/2022	\$5,235.00
00022302	H2253	SUZY WANG	04/01/2022	\$3,322.00
00022303	H0867	IRVING WEISER	04/01/2022	\$2,162.00
00022304	H9106	WEISSER INVESTMENTS	04/01/2022	\$8,908.00
00022305	H4530	WESLEY VILLAGE APARTMENTS	04/01/2022	\$6,382.00
00022306	H0442	HENRY B WESSELN	04/01/2022	\$2,309.00
00022307	H1238	WESTCHESTER PARK, LP	04/01/2022	\$1,650.00
00022308	H00144	WESTERN NATIONAL EL DORADO PARTNERS LP	04/01/2022	\$1,186.00
00022309	H3468	WESTLAKE APARTMENTS, LLC	04/01/2022	\$7,924.00
00022310	H2684	WESTMINSTER HOUSING PARTNER, LP	04/01/2022	\$9,818.00
00022311	H2986	CINDY OR ED WICK	04/01/2022	\$930.00
00022312	H0029	WILLOWICK ROYAL	04/01/2022	\$522.00
00022313	H4424	WILSHIRE CREST	04/01/2022	\$768.00
00022314	H4523	WINDMILL APARTMENTS	04/01/2022	\$5,566.00
00022315	H4608	WINDWOOD GLEN APTS	04/01/2022	\$1,610.00
00022316	H9109	WINNIE INVESTMENT	04/01/2022	\$6,709.00
00022317	H3286	WINSTON PLACE, LLC	04/01/2022	\$1,188.00
00022318	H4232	WONDERFUL IDEA, LLC	04/01/2022	\$1,495.00
00022319	H5169	GIN O WONG	04/01/2022	\$6,390.00
00022320	H00138	PERRY WONG	04/01/2022	\$1,493.00
00022321	H3592	PHILLIP WONG	04/01/2022	\$2,228.00
00022322	H4709	WOODBIDGE VILLAS APARTMENT HOMES	04/01/2022	\$1,072.00
00022323	H4733	WOODBIDGE VILLAS PARTNERS	04/01/2022	\$1,152.00
00022324	H4762	WOODBIDGE WILLOWS	04/01/2022	\$3,607.00
00022325	H00184	XIAOLIN WU	04/01/2022	\$1,412.00
00022326	H0165	LEON SHU YAU	04/01/2022	\$1,301.00

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00022327	H4806	JIYUN YEOM	04/01/2022	\$2,078.00
00022328	H4168	HENRY H YOUNG	04/01/2022	\$1,773.00
00022329	H4596	EUGENIA ZASLAVSKY	04/01/2022	\$4,480.00
00022330	H3730	GEORGE ZHAO	04/01/2022	\$1,509.00
00677813	H00260	2175 S MULLUL DRIVE LLC	04/01/2022	\$896.00
00677814	H4194	WILLIAM ADAMS	04/01/2022	\$1,145.00
00677815	H00238	ADVANCE GLOBAL ASSET GROUP INC	04/01/2022	\$1,516.00
00677816	H00248	A CAL LTD PARTNERSHIP ADVANCED GROUP 05-85	04/01/2022	\$980.00
00677817	H4534	ALISO VIEJO 621, LP	04/01/2022	\$1,360.00
00677818	H2616	ANAHEIM REVITALIZATION II PART	04/01/2022	\$2,745.00
00677819	H4705	ANAHEIM REVITALIZATION IV PARTNERS, LP	04/01/2022	\$1,709.00
00677820	H4722	ANAHEIM REVITALIZATION PARTNERS III LP	04/01/2022	\$1,529.00
00677821	H7330	BAHIA VILLAGE MOBILEHOME PARK	04/01/2022	\$930.00
00677822	H00115	BELLECOUR APARTMENTS	04/01/2022	\$940.00
00677823	H00064	BEXAEW THE HAVENS LP	04/01/2022	\$934.00
00677824	H00070	BRIDGE WF CA CRYSTAL VIEW LP	04/01/2022	\$1,599.00
00677825	H0950	RICHARD BUI JR	04/01/2022	\$3,234.00
00677826	H2035	RICHARD BUI JR	04/01/2022	\$309.00
00677827	H00155	CRYSTAL BUI	04/01/2022	\$2,120.00
00677828	H3596	JIMMY QUOC BUI	04/01/2022	\$3,425.00
00677829	H4355	LAN HUYNH NGOC BUI	04/01/2022	\$1,068.00
00677830	H0432	PHAT BUI	04/01/2022	\$1,217.00
00677831	H1455	SON MINH BUI	04/01/2022	\$1,424.00
00677832	H4756	TAN H BUI	04/01/2022	\$1,519.00
00677833	H4238	TINH TIEN BUI	04/01/2022	\$1,950.00
00677834	H00130	BUNGALOWS	04/01/2022	\$1,365.00
00677835	H0289	RONALD CALKINS	04/01/2022	\$1,528.00
00677836	H00247	CASA LA VETA ASSOCIATES	04/01/2022	\$537.00
00677837	H00261	CASTILIAN A CA LP	04/01/2022	\$1,514.00
00677838	H9009	CHANTECLAIR APTS	04/01/2022	\$1,238.00
00677839	H00127	RICHARD N CHAO	04/01/2022	\$1,126.00
00677840	H2701	DAVID CHEN	04/01/2022	\$1,243.00
00677841	H4671	ROBERT CHRISTMAN	04/01/2022	\$2,528.00
00677842	H4617	MEI-LING CHU	04/01/2022	\$947.00

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00677843	H00054	CITY OF FLAGSTAFF HOUSING AUTHORITY	04/01/2022	\$1,285.16
00677844	H4773	CMIF III CORONADO PALMS, LLC	04/01/2022	\$1,546.00
00677845	H00227	CORDOVA A CA LP	04/01/2022	\$1,663.00
00677846	H4380	CRESTWOOD ON 7, LLC	04/01/2022	\$2,381.00
00677847	H00072	KHANH DANG	04/01/2022	\$1,568.00
00677848	H0168	STACY HOA TUOI DANG	04/01/2022	\$1,578.00
00677849	H00106	HAROLD E DELONG	04/01/2022	\$1,311.00
00677850	H4690	KIM-ANH T DINH	04/01/2022	\$2,618.00
00677851	H4533	MINH TAM DO	04/01/2022	\$1,162.00
00677852	H4693	THO DO	04/01/2022	\$2,742.00
00677853	H4222	THUAN DO	04/01/2022	\$1,443.00
00677854	H3422	DINH T DOAN	04/01/2022	\$1,239.00
00677855	H00043	MICHAEL DOAN	04/01/2022	\$1,230.00
00677856	H1395	HELMUT DONNER	04/01/2022	\$2,483.00
00677857	H4348	LAN DUONG	04/01/2022	\$1,412.00
00677858	H4187	EL CAMINO LU, LLC	04/01/2022	\$1,641.00
00677859	H4016	ELDEN EAST APARTMENTS	04/01/2022	\$840.00
00677860	H3075	EMERALD GARDENS APT	04/01/2022	\$637.00
00677861	H5060	EUCLID PARK APTS	04/01/2022	\$1,573.00
00677862	H00236	FENWAY APTS	04/01/2022	\$1,675.00
00677863	H4813	FENWAY PROPERTIES	04/01/2022	\$1,430.00
00677864	H2768	DALE A FULLWOOD	04/01/2022	\$372.00
00677865	H00172	GREENBROOK APARTMENTS LP	04/01/2022	\$1,306.00
00677866	H4193	GROVE PARK, LLC	04/01/2022	\$3,924.00
00677867	H4386	RICHARD D HANSEN	04/01/2022	\$1,304.00
00677868	H3218	KULJIT HARA	04/01/2022	\$1,103.00
00677869	H1979	STEVE HARA	04/01/2022	\$4,760.00
00677870	H00221	HAUPT PROPERTIES, LLC C/O DROUIN REALTY	04/01/2022	\$872.00
00677871	H4703	HERMOSA VILLAGE PHASE I HOUSING PARTNERS, LP	04/01/2022	\$3,128.00
00677872	H4128	THOMAS P HO	04/01/2022	\$1,719.00
00677873	H1873	JAMES HOANG	04/01/2022	\$3,096.00
00677874	H3022	NICK HOFFMAN	04/01/2022	\$960.00
00677875	H00105	HOUSING AUTHORITY OF THE CITY OF LONG BEACH	04/01/2022	\$1,632.14
00677876	H00107	HOUSING AUTHORITY OF THE CITY OF VANCOUVER	04/01/2022	\$605.63

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00677877	H3140	CHONG WEI HUANG	04/01/2022	\$1,860.00
00677878	H00240	HUNTINGTON POINTE 2019 LP	04/01/2022	\$1,435.00
00677879	H4810	DOANH HUYNH	04/01/2022	\$1,654.00
00677880	H3473	NATALIE N HUYNH	04/01/2022	\$1,332.00
00677881	H3095	TRANG HUYNH	04/01/2022	\$3,830.00
00677882	H00224	JAMES K SKEOCH DECEDENT'S TRUST	04/01/2022	\$1,559.00
00677883	H00265	JAMES R GRAHAM TRUST 1991	04/01/2022	\$1,645.00
00677884	H00254	STEPHEN JOHNSON	04/01/2022	\$1,180.00
00677885	H3109	LINDA JOHNSON	04/01/2022	\$1,281.00
00677886	H4584	JOON CHOI VDS APARTMENT LLC	04/01/2022	\$9,223.00
00677887	H4579	JOSEPH & KIM CORP	04/01/2022	\$1,827.00
00677888	H2641	KDF HERMOSA, LP	04/01/2022	\$4,468.00
00677889	H3083	KDF MALABAR, LP	04/01/2022	\$37,072.00
00677890	H2403	KDF SEA WIND, LP	04/01/2022	\$1,676.00
00677891	H00217	VI KIM	04/01/2022	\$1,650.00
00677892	H3683	WILLIAM KUNZMAN	04/01/2022	\$1,500.00
00677893	H00117	ANH T LAM	04/01/2022	\$927.00
00677894	H4284	LE FAMILY TRUST	04/01/2022	\$3,169.00
00677895	H1638	DON LE	04/01/2022	\$786.00
00677896	H3740	DONALD LE	04/01/2022	\$1,285.00
00677897	H1531	TRACEY LE	04/01/2022	\$1,343.00
00677898	H1423	VIET Q LE	04/01/2022	\$1,106.00
00677899	H0298	YENNHI LE	04/01/2022	\$1,046.00
00677900	H4132	HOABINH LE-MUNZER	04/01/2022	\$567.00
00677901	H00223	LAWRENCE B LEBLANC	04/01/2022	\$13,013.00
00677902	H4694	DOUG LEONG	04/01/2022	\$1,263.00
00677903	H0216	ALICE LIAO	04/01/2022	\$2,501.00
00677904	H00066	DAVID A LO	04/01/2022	\$1,830.00
00677905	H4765	MAI LUONG	04/01/2022	\$5,154.00
00677906	H4820	VIVIAN Q LUU	04/01/2022	\$1,844.00
00677908	H00132	DAVID E MADJE	04/01/2022	\$10,171.00
00677909	H1705	MAGIC LAMP MOBILE HOME PARK	04/01/2022	\$1,337.00
00677910	H1188	LARRY MAH	04/01/2022	\$991.00
00677911	H2333	HANH T MAI-NGUYEN	04/01/2022	\$1,432.00

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00677912	H1861	TERRY MAMMEN	04/01/2022	\$4,681.00
00677913	H3101	SUPUNNEE MANNIL	04/01/2022	\$1,271.00
00677914	H4675	ZHIYAN MAO	04/01/2022	\$2,731.00
00677915	H00204	MARTIN INVESTMENT PROPERTIES INC	04/01/2022	\$1,345.00
00677916	H3043	MONARK, LP	04/01/2022	\$4,011.00
00677917	H0780	MONTEJO APARTMENTS	04/01/2022	\$1,713.00
00677918	H00235	NEWLAND GARDEN APARTMENTS LP	04/01/2022	\$1,026.00
00677919	H00274	NEWPORT HOUSING PARTNERS LP	04/01/2022	\$3,091.00
00677920	H00152	BRIGHTON QUOCSI NGO	04/01/2022	\$1,301.00
00677921	H2386	MARY NGO	04/01/2022	\$5,544.00
00677922	H2478	HOA KIM NGO	04/01/2022	\$635.00
00677923	H0408	NGUYEN'S FAMILY INVESTMENTS, LP	04/01/2022	\$5,027.00
00677924	H00114	AN NGUYEN	04/01/2022	\$506.00
00677925	H4031	BACH THI NGUYEN	04/01/2022	\$1,097.00
00677926	H1184	BICHLE T NGUYEN	04/01/2022	\$4,032.00
00677927	H3176	BOYCE JR NGUYEN	04/01/2022	\$1,843.00
00677928	H00276	CAM NGUYEN	04/01/2022	\$2,283.00
00677929	H3910	FRANK M NGUYEN	04/01/2022	\$1,698.00
00677930	H00270	HAIHA NGUYEN	04/01/2022	\$3,122.00
00677931	H2192	HOC VAN NGUYEN	04/01/2022	\$1,930.00
00677932	H00272	HUNG T NGUYEN	04/01/2022	\$2,924.00
00677933	H4623	LINDA MAI NGUYEN	04/01/2022	\$1,584.00
00677934	H4473	MAI NGUYEN	04/01/2022	\$725.00
00677935	H00271	MINDY NGUYEN	04/01/2022	\$4,703.00
00677936	H00175	NAM V NGUYEN	04/01/2022	\$1,178.00
00677937	H4061	NGUYEN, NICOLE U	04/01/2022	\$846.00
00677938	H4728	QUOC KIM NGUYEN	04/01/2022	\$1,646.00
00677939	H4529	STEVEN NGUYEN	04/01/2022	\$1,035.00
00677940	H9044	THANH VAN NGUYEN	04/01/2022	\$3,110.00
00677941	H00281	THIEN NGUYEN	04/01/2022	\$1,480.00
00677942	H4682	THUY T NGUYEN	04/01/2022	\$1,301.00
00677943	H00086	TRINH NGUYEN	04/01/2022	\$2,110.00
00677944	H3103	NICOLE UYEN NGUYEN	04/01/2022	\$813.00
00677945	H2879	PAULINE KIMPHUNG NGUYEN	04/01/2022	\$4,487.00

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00677946	H2526	SHERRY LIEU NGUYEN	04/01/2022	\$1,424.00
00677947	H1027	TON SANH NGUYEN	04/01/2022	\$1,321.00
00677948	H3114	TRACY NGUYEN	04/01/2022	\$672.00
00677949	H2699	THUY-TIEN NGUYEN-TU	04/01/2022	\$1,698.00
00677950	H3404	NORTHWOOD PLACE	04/01/2022	\$4,373.00
00677951	H00198	NOVAVILLE LLC	04/01/2022	\$1,228.00
00677952	H00212	OCEAN BREEZE VILLAS	04/01/2022	\$2,186.00
00677953	H00041	OLIVIA THANH CAPITALS LLC	04/01/2022	\$2,436.00
00677954	H4644	PALMA VISTA APTS, LLC	04/01/2022	\$1,443.00
00677955	H00193	PARK RIDGE ENTERPRISE LP	04/01/2022	\$1,379.00
00677956	H2739	CHONG PIL PARK	04/01/2022	\$1,371.00
00677957	H4351	PAVILION PARK SENIOR 1 HOUSING PARTNERS, LP	04/01/2022	\$2,090.00
00677958	H4582	ANH THI PHAM	04/01/2022	\$1,684.00
00677959	H4800	DAVID VU PHAM	04/01/2022	\$1,657.00
00677960	H00150	DON PHU PHAM	04/01/2022	\$2,517.00
00677961	H00182	JULIE NGOC PHAM	04/01/2022	\$880.00
00677962	H3817	QUYEN PHAM	04/01/2022	\$1,124.00
00677963	H00275	TAM T PHAM	04/01/2022	\$2,660.00
00677964	H1049	TUNG PHAM	04/01/2022	\$1,944.00
00677965	H4786	HUNG PHAN	04/01/2022	\$2,143.00
00677966	H00232	WILSON M PHAN	04/01/2022	\$1,470.00
00677967	H00225	VICKY T PHAN-VO	04/01/2022	\$1,428.00
00677968	H4509	PLAZA WOODS, LLC	04/01/2022	\$5,163.00
00677969	H4535	PORTOLA IRVINE, LP ANTON PORTOLA APARTMENTS	04/01/2022	\$1,348.00
00677970	H3801	RANCHO ALISAL	04/01/2022	\$1,821.00
00677971	H4353	RAYMOND AND LYNN RUAIS	04/01/2022	\$893.00
00677972	H00110	SAN DIEGO HOUSING COMMISSION	04/01/2022	\$5,658.24
00677973	H00283	SANTA ANA HOUSING AUTHORITY	04/01/2022	\$5,295.36
00677974	H3488	CELESTE SCHWERMANN	04/01/2022	\$1,333.00
00677975	H4448	SE AMSTER	04/01/2022	\$1,093.00
00677976	H00228	MARY E SHEN	04/01/2022	\$1,288.00
00677977	H4241	SILO NORTHEAST, LLC	04/01/2022	\$3,101.00
00677978	H4811	STONECREST POINT APTS	04/01/2022	\$1,751.00
00677979	H00241	SULLIVAN PROPERTY MANAGEMENT	04/01/2022	\$3,090.00

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00677980	H4590	CATHY TA	04/01/2022	\$2,875.00
00677981	H00147	DANNY HOANG TA	04/01/2022	\$1,613.00
00677982	H00268	TARA HILL APARTMENT	04/01/2022	\$2,043.00
00677983	H4409	TERESINA APARTMENTS	04/01/2022	\$1,202.00
00677984	H00113	THE HUNTINGTON PARTNERSHIP	04/01/2022	\$1,800.00
00677985	H00087	THE RETREAT AT MIDWAY CITY (WSH MANAGEMENT)	04/01/2022	\$9,722.00
00677988	H4720	TIC INVESTMENT COMPANY, LLC	04/01/2022	\$1,936.00
00677989	H4726	TIC INVESTMENT COMPANY, LLC	04/01/2022	\$7,954.00
00677990	H00257	TKN DBA GROVESIDE LLC	04/01/2022	\$1,434.00
00677991	H4616	VINH THAT TON	04/01/2022	\$1,361.00
00677992	H00075	IVY TONNU-MIHARA	04/01/2022	\$1,350.00
00677993	H3577	EDWARD T TRAN	04/01/2022	\$1,252.00
00677994	H4688	ERIC TRAN	04/01/2022	\$726.00
00677995	H3686	LIEN KIM TRAN-NGUYEN	04/01/2022	\$1,053.00
00677996	H4422	TRG FULLERTON AFFORDABLE, LP / VENTANA APARTMENTS	04/01/2022	\$931.00
00677997	H00273	TRIDER CORPORATION	04/01/2022	\$2,054.00
00677998	H4493	TRANG N TRINH	04/01/2022	\$1,153.00
00677999	H00056	LUCKY LUC TRUONG	04/01/2022	\$1,225.00
00678000	H2187	THUAN BICH TRUONG	04/01/2022	\$1,288.00
00678001	H2335	THUAN BICH TRUONG	04/01/2022	\$4,068.00
00678002	H2410	SON BICH TRUONG	04/01/2022	\$1,190.00
00678003	H0146	ANGELO S TURI	04/01/2022	\$2,552.00
00678004	H00199	LISA TO VAN	04/01/2022	\$1,443.00
00678005	H2982	MARCO VELASTEGUI	04/01/2022	\$1,449.00
00678006	H3943	VILLA CAPRI ESTATES	04/01/2022	\$2,034.00
00678007	H2717	THUA VINH	04/01/2022	\$544.00
00678008	H4662	VISTA DEL SOL APARTMENTS	04/01/2022	\$1,301.00
00678009	H9103	VISTA DEL SOL APTS	04/01/2022	\$1,098.00
00678010	H1723	KIMCHI VO	04/01/2022	\$1,678.00
00678011	H4327	THIEN T VO	04/01/2022	\$867.00
00678012	H3476	TIN TRUNG VO	04/01/2022	\$1,471.00
00678013	H1805	VPM BRIDGES APTS	04/01/2022	\$266.00
00678014	H3637	VPM MANAGEMENT	04/01/2022	\$1,210.00

**CITY OF GARDEN GROVE
GGFEFM001 Warrant Register**

Check Dates Apr 1, 2022

Bank(s): AP - Checking Account, WT - Checking Account

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00678015	H3088	VPM SHER LANE, LP	04/01/2022	\$2,740.00
00678016	H00065	HUNG TRONG VU	04/01/2022	\$1,727.00
00678017	H00146	LONG DUC VU	04/01/2022	\$894.00
00678018	H00074	SU T VU	04/01/2022	\$1,986.00
00678019	H2900	DANNY VU	04/01/2022	\$1,763.00
00678020	H0719	NEIL E WEST	04/01/2022	\$1,274.00
00678021	H1934	WINDSOR-DAWSON, LP	04/01/2022	\$5,765.00
00678022	H3429	WINDWOOD KNOLL APARTMENTS	04/01/2022	\$3,459.00
00678023	H00118	WOODBRIIDGE APARTMENTS	04/01/2022	\$1,323.00
00678024	H3506	WOODBURY SQUARE	04/01/2022	\$1,650.00
00678025	H00190	JAIMIE L YIANG	04/01/2022	\$1,423.00
00678026	H00277	CITY OF COMPTON LOCAL HOUSING AUTHORITY	04/01/2022	\$2,901.36
			EFT:	982 \$2,934,011.22
			Check:	211 \$464,610.89
			Total:	1,193 \$3,398,622.11



City of Garden Grove
Certificate of Warrants
Register Dates:
4/6/2022

This is to certify the demands covered by EFT numbers 00022331 through 00022358, and check numbers 00678027 through 00678144 inclusive as listed on this register and have been verified by the Finance Division as properly issued and bear all proper signatures.

Note:

A handwritten signature in blue ink, appearing to read 'Patricia Song', written over a horizontal line.

Finance Director
Patricia Song

CITY OF GARDEN GROVE
GGFEFM001 Warrant Register
Check Dates Between Apr 2, 2022 and Apr 6, 2022
Bank(s): AP - Checking Account, WT - Checking Account

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AP - Checking Account

Check	Vendor #	Vendor Name	Issue Date	Check Amount
00022331	V00093	ABSOLUTE INTERNATIONAL SECURITY	04/06/2022	\$4,651.50
00022332	V02886	AMERICAN TRUCK & TOOL RENTALS, INC	04/06/2022	\$3,448.70
00022333	V00422	ARC DOCUMENT SOLUTIONS, LLC	04/06/2022	\$13.43
00022334	V00489	BAY ALARM COMPANY	04/06/2022	\$385.01
00022335	V00430	CANNON CORPORATION	04/06/2022	\$7,126.25
00022336	V00224	CDW-GOVERNMENT, INC	04/06/2022	\$268.10
00022337	V02708	CHC: CREATING HEALTHIER COMMUNITIES	04/06/2022	\$45.00
00022338	V00259	DTNTECH MARKETING	04/06/2022	\$416.52
00022339	V02779	FISCHER COMPLIANCE LLC	04/06/2022	\$1,750.00
00022340	OTV000879	GARDEN GROVE POLICE ASSOCIATION	04/06/2022	\$15,774.25
00022341	V02707	GARDEN GROVE POLICE ASSOCIATION PAC	04/06/2022	\$3,435.00
00022342	V02761	HASCO OIL COMPANY	04/06/2022	\$4,855.05
00022343	V00415	INTERWEST CONSULTING GROUP	04/06/2022	\$532.70
00022344	V02706	ORANGE COUNTY EMPLOYEES ASSOCIATION	04/06/2022	\$3,570.11
00022345	V00136	ORANGE COUNTY WELDING, INC	04/06/2022	\$6,586.87
00022346	V02862	PRESCIENCE CORPORATION	04/06/2022	\$1,335.15
00022347	V00401	REPUBLIC WASTE SERVICES OF SO CALIFORNIA, LLC	04/06/2022	\$147,843.97
00022348	V01775	SHI INTERNATIONAL CORP	04/06/2022	\$3,919.00
00022349	V02159	SIR SPEEDY PRINTING	04/06/2022	\$1,370.25
00022350	V01654	SO CAL PROPERTY SERVICES	04/06/2022	\$1,575.00
00022351	V00261	STRICTLY TECHNOLOGY, LLC	04/06/2022	\$771.04
00022352	V02748	VCA CODE	04/06/2022	\$28,408.57
00022353	V00828	WEST COAST SAND & GRAVEL	04/06/2022	\$768.25
00022354	V01729	WESTERN PROPANE SERVICES, INC	04/06/2022	\$153.50
00022355	V01117	ZAP MANUFACTURING, INC	04/06/2022	\$8,006.06
00022356	V02906	JEFFREY JOHNS	04/06/2022	\$100.00
00022357	V02937	MADDIE'S - ELSA'S TABLE	04/06/2022	\$40,000.00
00022358	V02089	SHANNON WAINWRIGHT	04/06/2022	\$553.85
00678027	V00635	ALL CITY MANAGEMENT SERVICES, INC	04/06/2022	\$13,230.29
00678028	V00479	ANDRES MEDINA MOBILE WASH	04/06/2022	\$1,997.50
00678029	V02328	APPLEONE EMPLOYMENT SERVICES	04/06/2022	\$1,669.68
00678030	V00145	AUTONATION FORD TUSTIN	04/06/2022	\$816.13
00678031	V00645	BARR AND CLARK, INC	04/06/2022	\$395.00

CITY OF GARDEN GROVE
GGFEFM001 Warrant Register
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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00678032	V00162	BIG RON'S AUTO BODY & PAINT, INC	04/06/2022	\$12,982.50
00678033	V00548	BISHOP CO	04/06/2022	\$1,045.05
00678034	OTV001949	JAMIE BOYLAN	04/06/2022	\$11.69
00678035	V00699	BOYS AND GIRLS CLUB OF GARDEN GROVE, INC	04/06/2022	\$1,000.00
00678036	OTV001953	NOLAN BUI	04/06/2022	\$33.65
00678037	OTV001888	RAYMOND BUI	04/06/2022	\$12.00
00678038	V00655	C WELLS PIPELINE MATERIALS, INC	04/06/2022	\$4,393.50
00678039	V01293	CALIFORNIA BUILDING STANDARDS COMMISSION	04/06/2022	\$1,017.00
00678040	V00660	CAMERON WELDING SUPPLY	04/06/2022	\$164.97
00678041	V01135	CAMFIL, USA, INC	04/06/2022	\$493.12
00678042	V00554	CARL WARREN & CO	04/06/2022	\$2,711.52
00678043	V00534	CHEM PRO LABORATORY, INC	04/06/2022	\$1,186.00
00678044	V00667	CONTINENTAL CONCRETE CUTTING	04/06/2022	\$5,195.00
00678045	V00620	COUNTY OF ORANGE	04/06/2022	\$30.00
00678046	OTV001943	SADIE COUSINS	04/06/2022	\$90.65
00678047	OTV001956	ANITA CUNG	04/06/2022	\$58.48
00678048	OTV001885	MINH DAO	04/06/2022	\$4,029.00
00678049	OTV001884	TONY DAO	04/06/2022	\$35.13
00678050	V00481	DATA TICKET, INC	04/06/2022	\$1,578.53
00678051	V02871	DBS ADMINISTRATORS, INC.	04/06/2022	\$6,309.09
00678052	V02083	DEPARTMENT OF CONSERVATION	04/06/2022	\$3,906.29
00678053	V00406	DEPT OF TRANSPORTATION	04/06/2022	\$441.21
00678054	V01222	DIVISION OF THE STATE ARCHITECT	04/06/2022	\$1,646.80
00678055	V00336	EXCLUSIVE AUTO DETAIL	04/06/2022	\$996.00
00678056	V00684	EXPERIAN INFO SOLUTIONS, INC	04/06/2022	\$157.44
00678057	V00233	FACTORY MOTOR PARTS CO BIN 139107	04/06/2022	\$1,222.86
00678058	V01379	FIVESTAR RUBBER STAMP ETC, INC	04/06/2022	\$85.41
00678059	V02257	FRANCHISE TAX BOARD	04/06/2022	\$464.53
00678060	V00143	FRYE SIGN CO	04/06/2022	\$565.00
00678061	V00054	GALLS LLC	04/06/2022	\$355.35
00678062	V00258	GARDEN GROVE ACE HARDWARE	04/06/2022	\$208.54
00678063	V00690	GARDEN GROVE CHAMBER OF COMMERCE	04/06/2022	\$2,500.00
00678064	V00140	GARDEN GROVE SECURED STORAGE	04/06/2022	\$8,195.48
00678065	V00696	GARDEN GROVE UNIFIED SCHOOL DIST	04/06/2022	\$596.15

CITY OF GARDEN GROVE
GGFEFM001 Warrant Register
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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00678066	V00588	GMS AUTOGLASS	04/06/2022	\$337.46
00678067	V00538	GREEN'S DISCOUNT GLASS & SCREENS	04/06/2022	\$135.00
00678068	OTV001942	ABDUL GUL	04/06/2022	\$23.80
00678069	V02116	HABITAT FOR HUMANITY OF ORANGE COUNTY, INC.	04/06/2022	\$5,986.87
00678070	OTV001940	HARBOR SAUSAGE	04/06/2022	\$259.84
00678071	V00503	HF&H CONSULTANTS, LLC	04/06/2022	\$7,413.75
00678072	V00711	HILL'S BROS LOCK & SAFE, INC	04/06/2022	\$772.84
00678073	OTV001952	ANITA HUTCHINSON	04/06/2022	\$86.40
00678074	V00531	IRV SEAVER MOTORCYCLES	04/06/2022	\$1,371.46
00678075	V02865	JACOB GREEN & ASSOCIATES, INC.	04/06/2022	\$17,468.50
00678076	V01486	JAMES PRODUCTIONS, INC	04/06/2022	\$23,939.79
00678077	V00720	JOHNSTONE SUPPLY	04/06/2022	\$535.51
00678078	V00322	PATI KENT	04/06/2022	\$20.79
00678079	V00724	KLEINFELDER WEST, INC	04/06/2022	\$1,776.25
00678080	V00725	KNORR SYSTEMS, INC	04/06/2022	\$3,078.95
00678081	OTV001955	BETSY KURIAKOSE	04/06/2022	\$32.19
00678082	OTV001889	PABLO LOBATO	04/06/2022	\$228.43
00678083	V01177	METROLINK TRAINS	04/06/2022	\$462.00
00678084	V00557	NATIONAL CONSTRUCTION RENTALS	04/06/2022	\$521.40
00678085	V01131	NATURE'S GROWERS NURSERY	04/06/2022	\$240.01
00678086	OTV001960	NGUYEN THANG CAO	04/06/2022	\$12.65
00678087	OTV001881	ANGELA NGUYEN	04/06/2022	\$4,029.00
00678088	OTV001958	BA NGUYEN	04/06/2022	\$128.50
00678089	OTV001886	CECILIA NGUYET NGUYEN	04/06/2022	\$4,029.00
00678090	OTV001957	LYNN NGUYEN	04/06/2022	\$31.91
00678091	OTV001946	VU PHAN NGUYEN	04/06/2022	\$99.98
00678092	OTV001945	JOHN NOWELL	04/06/2022	\$12.81
00678093	V00459	O'REILLY AUTO PARTS	04/06/2022	\$1,785.56
00678094	OTV001951	OPEN DOOR LABS INC	04/06/2022	\$50.98
00678095	V00560	ORANGE COUNTY FIRE PROTECTION	04/06/2022	\$1,600.40
00678096	V01530	ORANGE COUNTY SANITATION DIST, INC	04/06/2022	\$19,501.84
00678097	V00563	ORANGE COUNTY STRIPING SERV	04/06/2022	\$28,628.62
00678098	V01583	ORANGE COUNTY WINWATER WORKS, INC	04/06/2022	\$3,761.61
00678099	V00164	PACIFIC MEDICAL CLINIC	04/06/2022	\$1,640.00

CITY OF GARDEN GROVE
GGFEFM001 Warrant Register
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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00678100	V02619	PAULINE LIU	04/06/2022	\$1,000.00
00678101	V00764	PETTY CASH - HUMAN RESOURCES	04/06/2022	\$137.59
00678102	OTV001883	KELLY PHAM	04/06/2022	\$180.00
00678103	OTV001954	CHAU N PHAN	04/06/2022	\$34.55
00678104	V00767	POSTMASTER	04/06/2022	\$8,208.14
00678105	OTV001219	PRESTIGE ROOFING	04/06/2022	\$131.12
00678106	V00744	R J NOBLE COMPANY	04/06/2022	\$171,956.55
00678107	V00774	REFRIGERATION SUPPLIES DISTRIBUTOR	04/06/2022	\$184.86
00678108	V00015	RICHARD FISHER ASSOCIATES	04/06/2022	\$5,187.50
00678109	V00199	ROSS CREATIONS DJ	04/06/2022	\$5,900.00
00678110	V00850	SAFARILAND, LLC	04/06/2022	\$545.62
00678111	V00780	SAFETY 1st PEST CONTROL, INC	04/06/2022	\$575.00
00678112	OTV001887	LUIS SALDANA	04/06/2022	\$3,121.00
00678113	OTV001944	RODRIGO SANTANA	04/06/2022	\$17.06
00678114	OTV001948	JEAN MARIE SHRIVER	04/06/2022	\$16.29
00678115	OTV001959	CYNTHIA SIDDONS	04/06/2022	\$29.37
00678116	OTV001941	SIGN POST HOME INC.	04/06/2022	\$77.55
00678117	V00003	SIGNARAMA	04/06/2022	\$11,734.02
00678118	V00225	SITEONE LANDSCAPE SUPPLY HLDING	04/06/2022	\$435.66
00678119	V00787	SMITH PIPE & SUPPLY COMPANY, INC	04/06/2022	\$106.30
00678120	V01061	SOUTHERN CALIFORNIA EDISON	04/06/2022	\$5,556.15
00678121	V01961	SOUTHWEST WEAR PARTS CO	04/06/2022	\$6,318.27
00678122	V00795	SPARKLETTS	04/06/2022	\$186.84
00678123	OTV001890	SPECIALTY AC HEAT	04/06/2022	\$140.00
00678124	OTV001947	SRS INFRASTRUCTURE	04/06/2022	\$15.21
00678125	V01199	STANDARD INSURANCE COMPANY 00 643061 0001	04/06/2022	\$23,686.70
00678126	V02760	STANTEC CONSULTING SERVICES INC.	04/06/2022	\$32,379.00
00678127	V00019	ANDREW T STEIN	04/06/2022	\$7,981.58
00678128	V00570	STRADLING, YOCCA,CARLSON & RAUTH	04/06/2022	\$53,613.37
00678129	V01266	TARGET CORPORATION MAIL STOP NCB-O1PU	04/06/2022	\$7,450.00
00678130	V02455	THE HOME DEPOT	04/06/2022	\$17.60
00678131	V02455	THE HOME DEPOT	04/06/2022	\$104.49
00678132	V02455	THE HOME DEPOT	04/06/2022	\$66.91
00678133	OTV001882	DAM LY THI	04/06/2022	\$129.43

CITY OF GARDEN GROVE
GGFEFM001 Warrant Register
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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00678134	V00344	TIM HOGAN GRAPHICS	04/06/2022	\$570.94
00678135	OTV001950	HOA TRAN	04/06/2022	\$107.71
00678136	V00807	TRENCH PLATE RENTAL CO,INC	04/06/2022	\$11,788.51
00678137	V00812	UNIFIRST CORP	04/06/2022	\$3,873.12
00678138	V00818	VASILJ, INC	04/06/2022	\$340,955.00
00678139	V00398	VULCAN MATERIALS COMPANY WESTERN DIVISION	04/06/2022	\$6,689.67
00678140	V00824	WAXIE SANITARY SUPPLY	04/06/2022	\$776.37
00678141	V01044	WESTERN WATER WORKS	04/06/2022	\$14,476.15
00678142	V01730	WHITE CAP, L.P.	04/06/2022	\$34.58
00678143	V00473	WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC	04/06/2022	\$255.15
00678144	V02905	WORLD POWER WRESTLING	04/06/2022	\$7,500.00
			EFT: 28	\$287,663.13
			Check: 118	\$946,081.57
			Total: 146	\$1,233,744.70



City of Garden Grove
Certificate of Warrants
Register Dates:
4/13/2022

This is to certify the demands covered by EFT numbers 00022359 through 00022375, and check numbers 00678145 through 00678266 inclusive as listed on this register and have been verified by the Finance Division as properly issued and bear all proper signatures.

Note:

A handwritten signature in blue ink, appearing to read 'Patricia Song', written over a horizontal line.

Finance Director
Patricia Song

CITY OF GARDEN GROVE
GGFEFM001 Warrant Register
Check Dates Between Apr 7, 2022 and Apr 13, 2022
Bank(s): AP - Checking Account, WT - Checking Account

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AP - Checking Account

Check	Vendor #	Vendor Name	Issue Date	Check Amount
00022359	V02837	ALLIED UNIVERSAL SECURITY SERVICES	04/13/2022	\$58,179.01
00022360	V00489	BAY ALARM COMPANY	04/13/2022	\$969.96
00022361	V00657	CALIF FORENSIC PHLEBOTOMY, INC	04/13/2022	\$2,424.62
00022362	V00224	CDW-GOVERNMENT, INC	04/13/2022	\$336.34
00022363	V01305	FLEMING ENVIRONMENTAL, INC	04/13/2022	\$477.50
00022364	V00103	GARDEN GROVE AUTOMOTIVE	04/13/2022	\$4,000.00
00022365	V00218	GRAINGER	04/13/2022	\$4,286.07
00022366	V00713	HOTSY OF SOUTHERN CALIFORNIA	04/13/2022	\$1,666.71
00022367	V00716	INTERVAL HOUSE	04/13/2022	\$1,296.00
00022368	V00092	NATIONAL AUTO FLEET GROUP AND CHEVROLET OF WATSONV	04/13/2022	\$26,476.50
00022369	V00136	ORANGE COUNTY WELDING, INC	04/13/2022	\$7,011.20
00022370	V00384	STOMMEL, INC	04/13/2022	\$2,102.60
00022371	V01458	TOYOTA OF GARDEN GROVE	04/13/2022	\$11,000.00
00022372	V00591	U S ARMOR CORP	04/13/2022	\$2,008.66
00022373	V02803	VALLEY MAINTENANCE CORP.	04/13/2022	\$10,950.00
00022374	V00035	VERITIV OPERATING COMPANY	04/13/2022	\$3,949.80
00022375	V02851	MCKENZIE RICKS	04/13/2022	\$368.20
00678145	V00280	ACA COMPLIANCE SERVICES, INC	04/13/2022	\$1,047.75
00678146	V02594	AGA ENGINEERS, INC.	04/13/2022	\$16,403.00
00678147	V00573	ALAN'S LAWN AND GARDEN CENTER, INC	04/13/2022	\$441.71
00678148	V00635	ALL CITY MANAGEMENT SERVICES, INC	04/13/2022	\$13,383.75
00678149	V00507	AMERICAN ASPHALT SOUTH, INC	04/13/2022	\$9,542.50
00678150	V01113	AMERICAN RED CROSS HEALTH & SAFETY SERVICES	04/13/2022	\$300.00
00678151	V01162	SONIA LISA ASENCIO	04/13/2022	\$32.00
00678152	V00145	AUTONATION FORD TUSTIN	04/13/2022	\$271.03
00678153	V00959	ROBERT S BALDWIN	04/13/2022	\$42.00
00678154	V00645	BARR AND CLARK, INC	04/13/2022	\$370.00
00678155	V00644	BC WIRE ROPE & RIGGING	04/13/2022	\$597.10
00678156	OTV001901	MARY BECKLEY	04/13/2022	\$88.00
00678157	V00429	BEE REMOVERS	04/13/2022	\$145.00
00678158	V00162	BIG RON'S AUTO BODY & PAINT, INC	04/13/2022	\$10,812.09
00678159	V00150	BILL'S SOUND & SECURITY	04/13/2022	\$240.00

CITY OF GARDEN GROVE
GGFEFM001 Warrant Register
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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00678160	V01511	BITHELL, INC	04/13/2022	\$950.00
00678161	OTV001837	PHUONG BUI	04/13/2022	\$110.00
00678162	V01494	C G LANDSCAPE, INC	04/13/2022	\$1,714.08
00678163	V00455	CA DEPARTMENT OF TAX AND FEE ADMINISTRATION	04/13/2022	\$847.00
00678164	V00660	CAMERON WELDING SUPPLY	04/13/2022	\$301.80
00678165	V00554	CARL WARREN & CO	04/13/2022	\$7,588.35
00678166	V01059	CHEMEX INDUSTRIES	04/13/2022	\$941.93
00678167	V00596	CLEANSTREET	04/13/2022	\$3,199.80
00678168	V02947	CREATIVE PARTIES FOR KIDS	04/13/2022	\$425.00
00678169	OTV001891	FRANCIS CRUZ	04/13/2022	\$500.00
00678170	OTV001899	MISA DO	04/13/2022	\$100.00
00678171	OTV001860	THU LAN DO	04/13/2022	\$69.00
00678172	V01292	EBERHARD EQUIPMENT	04/13/2022	\$1,250.63
00678173	V00233	FACTORY MOTOR PARTS CO BIN 139107	04/13/2022	\$1,488.17
00678174	V01196	FASTENAL INDUSTRIAL CONSTRUCTION SUPPLY	04/13/2022	\$571.55
00678175	OTV001257	HEIDI KRISTINA FIELDEN	04/13/2022	\$52.00
00678176	V00114	FUN EXPRESS, INC	04/13/2022	\$40.25
00678177	V00054	GALLS LLC	04/13/2022	\$7,132.25
00678178	V01382	GARDEN GROVE NISSAN, LP	04/13/2022	\$5,000.00
00678179	V00140	GARDEN GROVE SECURED STORAGE	04/13/2022	\$250.00
00678180	OTV001755	GREENBRIER TERRACES CONDOMINIUM ASSOC.	04/13/2022	\$334.90
00678181	V00346	CINDY GRISWOLD	04/13/2022	\$170.10
00678182	V00544	HARRINGTON INDUSTRIAL PLASTICS, LLC	04/13/2022	\$836.31
00678183	V02951	KATHY HEPLER	04/13/2022	\$300.00
00678184	V00503	HF&H CONSULTANTS, LLC	04/13/2022	\$5,788.25
00678185	V00711	HILL'S BROS LOCK & SAFE, INC	04/13/2022	\$465.55
00678186	V02447	HUMAN OPTIONS	04/13/2022	\$9,415.57
00678187	OTV001896	MARIAM ILIAS IBRAHIM	04/13/2022	\$50.00
00678188	V00182	INFOSEND, INC	04/13/2022	\$10,703.60
00678189	V00471	INTEGRA CHEMICAL COMPANY	04/13/2022	\$2,007.20
00678190	V00860	INTERNATIONAL E-Z UP, INC	04/13/2022	\$178.76
00678191	V00531	IRV SEAVER MOTORCYCLES	04/13/2022	\$398.42
00678192	V00719	JAY'S CATERING	04/13/2022	\$395.85
00678193	OTV001154	JOHN PAUL ZEMPOALTECA	04/13/2022	\$42.00

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00678194	OTV001856	AMANDA XAN JOYA	04/13/2022	\$38.00
00678195	V00322	PATI KENT	04/13/2022	\$38.90
00678196	V00486	L N CURTIS & SONS	04/13/2022	\$5,411.79
00678197	OTV001895	ADAM LAHAM	04/13/2022	\$2.00
00678198	V00435	LANGUAGE LINE SERVICES	04/13/2022	\$103.40
00678199	V00728	LAWSON PRODUCTS, INC	04/13/2022	\$1,147.11
00678200	V02341	THAIHIEN DINHPHUONG LE	04/13/2022	\$41.00
00678201	V00769	LEGAL SHIELD	04/13/2022	\$744.45
00678202	OTV001894	JENNIFER L. LEPIRE	04/13/2022	\$30.00
00678203	V00402	LEXISNEXIS RISK SOLUTIONS ACCOUNT #1008503	04/13/2022	\$496.15
00678204	V01563	LIFE-ASSIST, INC	04/13/2022	\$587.25
00678205	V02860	LONG BEACH IRON WORKS	04/13/2022	\$1,960.25
00678206	OTV001836	MARIA GUADALUPE LUJANO	04/13/2022	\$16.00
00678207	H0958	WILLIAM T MACDONALD	04/13/2022	\$4,020.00
00678208	V00469	MAGIC JUMP RENTALS OC, LLC	04/13/2022	\$687.80
00678209	V00900	NGOC HA THI MAI	04/13/2022	\$61.00
00678210	V00365	MOMAR INC	04/13/2022	\$2,660.00
00678211	V00141	MWB COPY PRODUCTS, INC	04/13/2022	\$10,525.35
00678212	OTV001892	HIEU NGO	04/13/2022	\$1,000.00
00678213	V01987	AMY TU UYEN NGUYEN	04/13/2022	\$34.00
00678214	V01173	BECKY NGUYEN	04/13/2022	\$117.00
00678215	V02010	BINH V NGUYEN	04/13/2022	\$8.00
00678216	OTV001526	CO NGUYEN	04/13/2022	\$93.00
00678217	OTV001786	MICHELLE NGUYEN	04/13/2022	\$1,000.00
00678218	OTV001852	LINZE NICHOLS	04/13/2022	\$160.00
00678219	OTV001893	ANGELICA MARIA NIEVES	04/13/2022	\$19.00
00678220	OTV001902	NPG ASPHALT	04/13/2022	\$2,417.91
00678221	V02829	PACIFIC PRODUCTS AND SERVICES, LLC	04/13/2022	\$8,726.64
00678222	V01586	PACIFIC TRUCK EQUIPMENT INC	04/13/2022	\$19,386.98
00678223	OTV001834	MARIA ELISA R PEREZ TAPIA	04/13/2022	\$12.00
00678224	V00761	PETTY CASH - MUN SRVC CTR	04/13/2022	\$808.33
00678225	OTV001859	TAM VAN PHAM	04/13/2022	\$41.00
00678226	V00201	PRICON ENTERPRISE TECHNOLOGIES	04/13/2022	\$10,685.00
00678227	OTV001897	NHIEN JIMMY QUACH	04/13/2022	\$123.00

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00678228	OTV001898	PATRICIA PENA RODRIGUEZ	04/13/2022	\$43.00
00678229	OTV001839	EDGAR ROMAN	04/13/2022	\$36.00
00678230	V00199	ROSS CREATIONS DJ	04/13/2022	\$4,200.00
00678231	V01438	SEHI COMPUTER PRODUCTS	04/13/2022	\$23,475.63
00678232	V00784	SHOETERIA	04/13/2022	\$100.00
00678233	V00785	SHRED CONFIDENTIAL, INC	04/13/2022	\$52.50
00678234	V00225	SITEONE LANDSCAPE SUPPLY HLDING	04/13/2022	\$2,980.87
00678235	V00358	SO CAL INDUSTRIES	04/13/2022	\$1,577.24
00678236	V01415	SOCAL AUTO & TRUCK PARTS INC	04/13/2022	\$2,085.29
00678237	V00367	SOUTHERN COMPUTER WAREHOUSE	04/13/2022	\$10,792.30
00678238	V00474	SOUTHERN COUNTIES LUBRICANTS, LLC	04/13/2022	\$1,815.23
00678239	V01616	STERICYCLE, INC	04/13/2022	\$369.00
00678240	OTV001742	LEONOR HERNANDEZ SUAREZ	04/13/2022	\$63.00
00678241	V00414	SUPPLY SOLUTIONS	04/13/2022	\$749.46
00678242	OTV001793	TUONG VINH TA	04/13/2022	\$4.00
00678243	OTV001838	SABO THI THACH	04/13/2022	\$46.00
00678244	V01389	THE HOME DEPOT PRO	04/13/2022	\$615.31
00678245	V01389	THE HOME DEPOT PRO	04/13/2022	\$177.13
00678246	V02881	THOMCO CONSTRUCTION, INC.	04/13/2022	\$102,646.69
00678247	H1959	THOMSON EQUITIES	04/13/2022	\$1,335.00
00678248	H6710	THOMSON EQUITIES	04/13/2022	\$2,353.00
00678249	V00804	THOMSON REUTERS- WEST	04/13/2022	\$2,235.88
00678250	OTV001857	JENNIFER D. TILZER	04/13/2022	\$18.00
00678251	OTV001833	CHRISTINE THI TRAN	04/13/2022	\$52.00
00678252	OTV001694	DUNG KIM TRAN	04/13/2022	\$103.00
00678253	OTV001794	TONY TRAN	04/13/2022	\$24.00
00678254	V00800	TT TECHNOLOGIES, INC	04/13/2022	\$2,892.77
00678255	V02799	TUNNELWORKS SERVICES INC.	04/13/2022	\$486,502.95
00678256	V02948	UP UP AND AWAY FACE PAINT	04/13/2022	\$805.00
00678257	V01948	RENEE LYNN VICTOR	04/13/2022	\$23.00
00678258	V01465	VOLKSWAGEN OF GARDEN GROVE	04/13/2022	\$500.00
00678259	V00398	VULCAN MATERIALS COMPANY WESTERN DIVISION	04/13/2022	\$1,354.81
00678260	V00823	WATERLINE TECHNOLOGIES, INC	04/13/2022	\$270.40
00678261	V01452	WAUSAU TILE, INC	04/13/2022	\$163.18

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00678262	V00824	WAXIE SANITARY SUPPLY	04/13/2022	\$3,746.89	
00678263	V01469	WEST YOST ASSOCIATES	04/13/2022	\$299,118.90	
00678264	V00134	WILLIAMS & MAHER, INC	04/13/2022	\$6,575.30	
00678265	OTV001900	WYLAND FOUNDATION	04/13/2022	\$400.00	
00678266	V00039	XEROX CORPORATION	04/13/2022	\$5,785.20	
			EFT:	17	\$137,503.17
			Check:	122	\$1,156,624.49
			Total:	139	\$1,294,127.66



City of Garden Grove
Certificate of Warrants
Register Dates:
4/20/2022

This is to certify the demands covered by Wire number 00001017 through 00001030, EFT numbers 00022376 through 00022411, and check numbers 00678267 through 00678354 inclusive as listed on this register and have been verified by the Finance Division as properly issued and bear all proper signatures.

Note:

A handwritten signature in blue ink, appearing to read 'Patricia Song', written over a horizontal line.

Finance Director
Patricia Song

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00001017	V02087	DELTA CARE USA	04/20/2022	\$5,741.09
00001018	V02087	DELTA CARE USA	04/20/2022	\$5,722.84
00001019	V01539	DELTA DENTAL OF CALIFO	04/20/2022	\$27,406.90
00001020	V01539	DELTA DENTAL OF CALIFO	04/20/2022	\$2,590.50
00001021	V01579	ORANGE COUNTY FIRE AUT	04/20/2022	\$2,062,091.00
00001022	V01478	ANAHEIM ORANGE COUNTY	04/20/2022	\$193,699.44
00001023	V00732	THE LINCOLN NATIONAL L	04/20/2022	\$7,491.14
00001024	V00732	THE LINCOLN NATIONAL L	04/20/2022	\$7,344.05
00001025	V00732	THE LINCOLN NATIONAL L	04/20/2022	\$7,468.06
00001026	V00541	MUNICIPAL WATER DISTRI	04/20/2022	\$396,034.31
00001027	V01596	PUBLIC EMPLOYEES' RETI	04/20/2022	\$488,178.31
00001028	V01596	PUBLIC EMPLOYEES' RETI	04/20/2022	\$485,931.55
00001029	V01596	PUBLIC EMPLOYEES' RETI	04/20/2022	\$21,281.49
00001030	V02088	VISION SERVICE PLAN -	04/20/2022	\$6,953.34
00022376	V00133	2-1-1 ORANGE COUNTY	04/20/2022	\$10,851.65
00022377	V02836	A1 SECURITY CAMERAS	04/20/2022	\$395.11
00022378	V00585	ADMINSURE	04/20/2022	\$16,939.00
00022379	V02878	ADMIRAL PEST CONTROL, INC.	04/20/2022	\$1,498.00
00022380	V01479	AMAZON WEB SERVICES, INC	04/20/2022	\$2,815.02
00022381	V00489	BAY ALARM COMPANY	04/20/2022	\$881.58
00022382	V00657	CALIF FORENSIC PHLEBOTOMY, INC	04/20/2022	\$110.21
00022383	V00224	CDW-GOVERNMENT, INC	04/20/2022	\$492.57
00022384	V01042	CHARLES P CROWLEY CO, INC	04/20/2022	\$7,458.04
00022385	V02708	CHC: CREATING HEALTHIER COMMUNITIES	04/20/2022	\$45.00
00022386	V00305	EVIDENT CRIME SCENE PRODUCTS	04/20/2022	\$509.51
00022387	OTV000879	GARDEN GROVE POLICE ASSOCIATION	04/20/2022	\$16,027.45
00022388	V02707	GARDEN GROVE POLICE ASSOCIATION PAC	04/20/2022	\$3,505.00
00022389	V00218	GRAINGER	04/20/2022	\$1,341.90
00022390	V01779	GREENFIELDS OUTDOOR FITNESS	04/20/2022	\$293.50
00022391	V00283	JIG CONSULTANTS	04/20/2022	\$30,902.44
00022392	V00368	JOHNSON CONTROLS SECURITY SOLUTIONS	04/20/2022	\$111.85
00022393	V00722	KEYSER/MARSTON ASSOCIATES, INC	04/20/2022	\$4,471.25
00022394	V02866	MIND OC	04/20/2022	\$201,574.10

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00022395	V02941	NAMY, INC.	04/20/2022	\$1,847.97
00022396	V02205	OCAPICA	04/20/2022	\$2,676.36
00022397	V02602	OMEGA INDUSTRIAL SUPPLY INC	04/20/2022	\$1,378.96
00022398	V02706	ORANGE COUNTY EMPLOYEES ASSOCIATION	04/20/2022	\$3,570.11
00022399	V00136	ORANGE COUNTY WELDING, INC	04/20/2022	\$7,011.20
00022400	V02733	PITNEY BOWES GLOBAL FINANCIAL SERVICES	04/20/2022	\$1,732.67
00022401	V01319	PLAYPOWER LT FARMINGTON, INC	04/20/2022	\$2,314.45
00022402	V02809	SAFETY CENTER INCORPORATED	04/20/2022	\$1,700.00
00022403	V01775	SHI INTERNATIONAL CORP	04/20/2022	\$10,386.30
00022404	V00615	STRAY CAT ALLIANCE	04/20/2022	\$20,071.02
00022405	V02923	THE KOREA TIMES LOS ANGELES, INC.	04/20/2022	\$2,000.00
00022406	V02869	VOVINAM VIET VO DAO FEDERATION OF WESTERN US	04/20/2022	\$100.00
00022407	V00826	WEST COAST ARBORISTS, INC	04/20/2022	\$2,610.00
00022408	V00257	WEST GROVE VOLLEYBALL, LLC	04/20/2022	\$1,635.02
00022409	V00520	WESTERN EXTERMINATOR CO	04/20/2022	\$212.95
00022410	V00202	WIRELESS TELEMATICS, LLC	04/20/2022	\$360.00
00022411	V02089	SHANNON WAINWRIGHT	04/20/2022	\$553.85
00678267	V00532	A&A WIPING CLOTH, INC	04/20/2022	\$1,185.25
00678268	V00516	ACCO ENGINEERED SYSTEMS	04/20/2022	\$747.00
00678269	V00426	ALS GROUP USA CORP	04/20/2022	\$2,036.50
00678270	V00238	AMERINAT	04/20/2022	\$859.98
00678271	V00145	AUTONATION FORD TUSTIN	04/20/2022	\$2,534.37
00678272	OTV001903	OSCAR BENTEZ	04/20/2022	\$81.00
00678273	V00162	BIG RON'S AUTO BODY & PAINT, INC	04/20/2022	\$8,654.94
00678274	V00150	BILL'S SOUND & SECURITY	04/20/2022	\$480.00
00678275	V00548	BISHOP CO	04/20/2022	\$184.91
00678276	V00655	C WELLS PIPELINE MATERIALS, INC	04/20/2022	\$6,120.45
00678277	V00660	CAMERON WELDING SUPPLY	04/20/2022	\$200.16
00678278	V01135	CAMFIL, USA, INC	04/20/2022	\$720.09
00678279	V00714	CITY OF HUNTINGTON BEACH	04/20/2022	\$2,604.00
00678280	V00619	CITY OF TUSTIN HUMAN RESOURCES	04/20/2022	\$250.00
00678281	V00664	CIVILTEC ENGINEERING, INC	04/20/2022	\$10,974.13
00678282	V00546	COMMUNITY SENIORSERV	04/20/2022	\$10,000.00
00678283	V00666	COMMUNITY VETERINARY HOSPITAL INC	04/20/2022	\$2,932.25

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00678284	V00667	CONTINENTAL CONCRETE CUTTING	04/20/2022	\$2,920.00
00678285	V01134	COUNTY OF ORANGE TREAS REV RECOVERY-A/R UNIT	04/20/2022	\$33,585.50
00678286	V00481	DATA TICKET, INC	04/20/2022	\$879.00
00678287	V02871	DBS ADMINISTRATORS, INC.	04/20/2022	\$6,309.09
00678288	V01183	DEPARTMENT OF JUSTICE	04/20/2022	\$853.00
00678289	V00675	DUKE'S ROOT CONTROL, INC	04/20/2022	\$24,964.74
00678290	V00191	ENVIROCHECK	04/20/2022	\$4,895.00
00678291	V00336	EXCLUSIVE AUTO DETAIL	04/20/2022	\$474.00
00678292	V00233	FACTORY MOTOR PARTS CO BIN 139107	04/20/2022	\$122.24
00678293	V00623	FAIR HOUSING FOUNDATION	04/20/2022	\$3,473.87
00678294	V00412	FEDERAL EXPRESS CORP	04/20/2022	\$38.75
00678295	V00829	FERGUSON ENTERPRISES, INC 1350	04/20/2022	\$425.24
00678296	V00392	FIVE STAR TAEKWONDO	04/20/2022	\$386.32
00678297	V02257	FRANCHISE TAX BOARD	04/20/2022	\$1,390.55
00678298	V00054	GALLS LLC	04/20/2022	\$2,215.06
00678299	OTV001904	ISHA GHANI	04/20/2022	\$123.00
00678300	V00097	GOLDENWEST LAWNMOWERS & SCOOTERS	04/20/2022	\$235.36
00678301	OTV001905	RAFAEL GONZALEZ	04/20/2022	\$100.00
00678302	V00702	GRAFFITI PROTECTIVE COATINGS, INC	04/20/2022	\$59,140.00
00678303	V01386	GREEN HALO SYSTEMS	04/20/2022	\$2,184.00
00678304	V02116	HABITAT FOR HUMANITY OF ORANGE COUNTY, INC.	04/20/2022	\$5,993.29
00678305	V00602	HDL COREN & CONE	04/20/2022	\$5,625.00
00678306	V00503	HF&H CONSULTANTS, LLC	04/20/2022	\$6,054.75
00678307	V00711	HILL'S BROS LOCK & SAFE, INC	04/20/2022	\$2,936.16
00678308	V00712	HINDERLITER, DE LLAMAS & ASSOCIATES	04/20/2022	\$2,250.00
00678309	V00223	ICC INTERNATIONAL CODE COUNCIL	04/20/2022	\$850.00
00678310	V00135	IMPERIAL SPRINKLER SUPPLY, INC	04/20/2022	\$4,234.12
00678311	V00116	JOHNNY ALLEN TENNIS ACADEMY	04/20/2022	\$1,177.47
00678312	V00555	LIFECOM, INC	04/20/2022	\$447.99
00678313	OTV001906	MARRIOTT HOTEL SERVICES INC	04/20/2022	\$14,180.25
00678314	V00737	MERCHANTS BLDG MAINT, LLC	04/20/2022	\$4,503.97
00678315	V00151	MERCY HOUSE LIVING CENTERS	04/20/2022	\$11,372.50
00678316	V00270	MONTROSE ENVIRONMENTAL SOLUTIONS	04/20/2022	\$10,562.80
00678317	V02408	MOORE IACOFANO GOLTSMAN, INC	04/20/2022	\$2,027.55

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00678318	V00557	NATIONAL CONSTRUCTION RENTALS	04/20/2022	\$575.08
00678319	V01131	NATURE'S GROWERS NURSERY	04/20/2022	\$331.87
00678320	V00741	NIAGARA PLUMBING	04/20/2022	\$129.05
00678321	V00459	O'REILLY AUTO PARTS	04/20/2022	\$20.45
00678322	V01085	OC HUMAN RELATIONS COUNCIL	04/20/2022	\$7,301.00
00678323	V00209	WHJ OCN,IND	04/20/2022	\$340.00
00678324	V02882	PECHANGA RESORTS INCORPORATED	04/20/2022	\$12,700.36
00678325	V00762	PETTY CASH-SPEC INVESTIGATIONS	04/20/2022	\$8,639.00
00678326	V00584	PRES-TECH, PRES TECH EQUIPMENT COMPANY	04/20/2022	\$219.23
00678327	V00100	PRO LOGO	04/20/2022	\$114.19
00678328	V00770	PROACTIVE CONSULTING GROUP, LLC	04/20/2022	\$2,100.00
00678329	V00780	SAFETY 1st PEST CONTROL, INC	04/20/2022	\$875.00
00678330	V00592	SAXE-CLIFFORD, PH D, SUSAN	04/20/2022	\$450.00
00678331	V00003	SIGNARAMA	04/20/2022	\$866.23
00678332	V00225	SITEONE LANDSCAPE SUPPLY HLDING	04/20/2022	\$294.22
00678333	V00789	SO CALIF EDISON CO	04/20/2022	\$1,146.60
00678334	V01415	SOCAL AUTO & TRUCK PARTS INC	04/20/2022	\$2,427.46
00678335	V01442	SOCIALWISE CONSULTING, LLC	04/20/2022	\$3,550.00
00678336	V00788	SOUTH COAST AQMD	04/20/2022	\$1,719.11
00678337	V00160	SOUTHERN COUNTIES OIL COMPANY	04/20/2022	\$45,947.19
00678338	V01592	SPICERS PAPER, INC.	04/20/2022	\$814.49
00678339	V02206	STANDUP FOR KIDS, INC.	04/20/2022	\$14,247.01
00678340	V00213	STATE INDUSTRIAL PRODUCTS	04/20/2022	\$2,713.61
00678341	V02921	THE KOREA DAILY	04/20/2022	\$1,800.00
00678342	V00528	THE ORANGE COUNTY HUMANE SOCIETY	04/20/2022	\$75,382.48
00678343	V00808	TRUCK & AUTO SUPPLY, INC	04/20/2022	\$351.32
00678344	V00809	TURBO DATA SYSTEMS, INC	04/20/2022	\$5,596.24
00678345	V00811	UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA	04/20/2022	\$920.90
00678346	V00814	UNITED PARCEL SERVICE	04/20/2022	\$114.61
00678347	V02358	UNIVERSAL WASTE SYSTEMS	04/20/2022	\$1.30
00678348	V00301	USA BLUE BOOK	04/20/2022	\$1,604.57
00678349	V00398	VULCAN MATERIALS COMPANY WESTERN DIVISION	04/20/2022	\$3,990.30
00678350	V01285	WARD A GLASBY, INC GLASBY MAINTENANCE SUPPLY	04/20/2022	\$1,182.66

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00678351	V00823	WATERLINE TECHNOLOGIES, INC	04/20/2022	\$3,388.45
00678352	V00582	WOODRUFF, SPRADLIN & SMART, A PROFESSIONAL CORP	04/20/2022	\$42,949.37
00678353	V01208	YO-FIRE SUPPLIES	04/20/2022	\$20,899.61
00678354	V00115	YORBA LINDA FEED STORE, INC	04/20/2022	\$57.09
				EFT: 36 \$360,384.04
				Check: 102 \$4,251,189.67
				Total: 138 \$4,611,573.71

CITY OF GARDEN GROVE
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EF - Payroll EFT

Check	Vendor #	Vendor Name	Issue Date	Check Amount
00005844	E03973	AVILA, VERONICA	05/05/2022	\$2,331.93
00005845	E03982	BECKLES, CAROL E	05/05/2022	\$49.27
00005846	E04755	BRIETIGAM III, GEORGE S	05/05/2022	\$409.87
00005847	E04332	BUI, PHAT T	05/05/2022	\$443.63
00005848	E01338	CARRENO, SHAUNA J	05/05/2022	\$2,033.54
00005849	E02788	DAVIS, JEFFREY P	05/05/2022	\$1,628.85
00005850	E00803	HADDAD, PAMELA M	05/05/2022	\$1,988.03
00005851	E04750	HO, VY D	05/05/2022	\$1,788.99
00005852	E04096	HUYNH, DANNY	05/05/2022	\$3,858.50
00005853	E03612	JONES, STEVEN R	05/05/2022	\$353.48
00005854	E04131	KIM, NOELLE N	05/05/2022	\$2,835.03
00005855	E02612	KLOESS, VILMA C	05/05/2022	\$2,669.05
00005856	E04536	KLOPFENSTEIN, STEPHANIE L	05/05/2022	\$226.08
00005857	E01949	LE, IVY	05/05/2022	\$2,163.52
00005858	E01280	LE, TAMMY	05/05/2022	\$1,642.60
00005859	E04920	MENDIOLA, RACHEL	05/05/2022	\$413.20
00005860	E05828	MIDDENDORF, LINDA	05/05/2022	\$3,066.37
00005861	E02787	MORAN, MARIE L	05/05/2022	\$2,645.29
00005862	E02539	NAVARRO, MARIA A	05/05/2022	\$2,550.37
00005863	E04535	NGUYEN, DIEDRE THU HA	05/05/2022	\$410.41
00005864	E04948	NGUYEN, HOAI THUONG H	05/05/2022	\$1,394.92
00005865	E04537	NGUYEN, KIM B	05/05/2022	\$414.80
00005866	E03255	NGUYEN, PHUONG VIEN T	05/05/2022	\$2,171.63
00005867	E02560	NGUYEN, QUANG	05/05/2022	\$2,814.83
00005868	E01286	NGUYEN, TINA T	05/05/2022	\$2,033.48
00005869	E04534	ONEILL, JOHN R	05/05/2022	\$443.64
00005870	E04528	PARK, SHAWN S	05/05/2022	\$2,877.23
00005871	E03541	PHI, THYANA T	05/05/2022	\$2,768.49
00005872	E04443	POLLOCK, AMANDA M	05/05/2022	\$1,862.93
00005873	E06945	POMEROY, TERESA L	05/05/2022	\$3,828.08
00005874	E01964	PULIDO, ANA E	05/05/2022	\$4,019.96
00005875	E01356	RAMOS, MARIA	05/05/2022	\$2,449.79
00005876	E04387	STILES, SCOTT C	05/05/2022	\$5,616.12
00005877	E00564	STIPE, MARIA A	05/05/2022	\$7,200.93

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00005878	E03715	THAI, KRISTY H	05/05/2022	\$2,426.76
00005879	E02543	TO, TANYA L	05/05/2022	\$1,503.12
00005880	E01971	TRAN, CUONG K	05/05/2022	\$2,285.57
00005881	E02056	TRUONG, ELAINE	05/05/2022	\$1,689.80
00005882	E03983	VASQUEZ, LIZABETH C	05/05/2022	\$2,390.88
00005883	E04971	VITAL, ANDREA	05/05/2022	\$1,665.01
00005884	E02562	VO, THANH-NGUYEN	05/05/2022	\$1,630.16
00005885	E04944	ANDERSON CAMBA, ASHLEIGH R	05/05/2022	\$2,061.83
00005886	E04764	BRADLEY, JANNA K	05/05/2022	\$3,698.75
00005887	E03766	CERDA, MARY C	05/05/2022	\$2,145.87
00005888	E04673	HART, BRANDI M	05/05/2022	\$698.32
00005889	E04363	KWAN, LIANE Y	05/05/2022	\$3,459.82
00005890	E01985	LEE, JANY H	05/05/2022	\$3,724.06
00005891	E05007	NGUYEN, LE V	05/05/2022	\$1,021.76
00005892	E03420	PROCTOR, SHERRILL A	05/05/2022	\$2,409.07
00005893	E04726	RICHARDS, STEPHANIE E	05/05/2022	\$2,086.09
00005894	E04417	STEPHENSON, CAITLYN M	05/05/2022	\$2,721.47
00005895	E02115	STOVER, LAURA J	05/05/2022	\$5,615.41
00005896	E04580	ATIN RAMOS, MARISA	05/05/2022	\$1,359.56
00005897	E04445	BROWN, KAREN J	05/05/2022	\$683.44
00005898	E03313	BUI, AI N	05/05/2022	\$1,659.70
00005899	E04961	CHAO, VICTORIA	05/05/2022	\$1,480.62
00005900	E03686	CHAVEZ, JAIME F	05/05/2022	\$1,739.13
00005901	E03760	CHUNG, JANET J	05/05/2022	\$2,903.26
00005902	E04957	CURTSEIT, MARIA	05/05/2022	\$1,766.35
00005903	E03352	EIFERT, ANN C	05/05/2022	\$12,983.73
00005904	E04960	FUKAZAWA, KEISUKE	05/05/2022	\$1,499.63
00005905	E03134	GARCIA, SYLVIA	05/05/2022	\$851.04
00005906	E03429	GULLEY, SUSAN J	05/05/2022	\$946.34
00005907	E04638	HARRIS, KAREN M	05/05/2022	\$1,435.13
00005908	E03016	HERNANDEZ, GARY F	05/05/2022	\$1,798.54
00005909	E04569	HOFFMAN, CORINNE L	05/05/2022	\$2,426.29
00005910	E04968	HONG, SEUNGBUM	05/05/2022	\$1,658.63
00005911	E04959	LE, KENNETH H	05/05/2022	\$1,179.96
00005912	E00057	MANALANSAN, NEAL M	05/05/2022	\$2,076.24

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00005913	E01668	MAY, ROBERT W	05/05/2022	\$1,620.06
00005914	E01393	MENDEZ, ANGELA M	05/05/2022	\$2,008.60
00005915	E03628	MENDOZA, CHRISTI C	05/05/2022	\$2,136.64
00005916	E04958	NGO, TINA	05/05/2022	\$2,478.53
00005917	E04838	NIGATU, SELAMAWIT	05/05/2022	\$2,207.63
00005918	E01362	PETERSON, JENNIFER L	05/05/2022	\$2,065.55
00005919	E02429	PHAM, ANH	05/05/2022	\$1,663.95
00005920	E03610	RAMIREZ, EVA	05/05/2022	\$2,031.76
00005921	E05008	RAMOS, ASHLEY	05/05/2022	\$1,138.30
00005922	E04973	RAMOS, NANCY	05/05/2022	\$2,728.73
00005923	E04993	RESHMIN, TRISHITA	05/05/2022	\$1,659.87
00005924	E03539	SEGAWA, SANDRA E	05/05/2022	\$3,665.31
00005925	E04780	SONG, YUAN	05/05/2022	\$5,226.14
00005926	E04859	VO, MY TRA	05/05/2022	\$3,050.45
00005927	E03433	WESTON, RETA J	05/05/2022	\$1,045.56
00005928	E04674	WHITTAKER DEGEN, HELEN E	05/05/2022	\$724.59
00005929	E04527	YOO, MEENA	05/05/2022	\$2,293.29
00005930	E04493	ANDREWS, STEVEN F	05/05/2022	\$2,409.81
00005931	E00845	CHANG, TERENCE S	05/05/2022	\$2,784.59
00005932	E03498	ESPINOZA, VERNA L	05/05/2022	\$6,219.91
00005933	E04523	GALLO, CESAR	05/05/2022	\$3,362.86
00005934	E04415	GOLD, ANNA L	05/05/2022	\$2,031.33
00005935	E04713	HINGCO, ERNIE E	05/05/2022	\$2,027.00
00005936	E02617	KLOESS, GEOFFREY A	05/05/2022	\$4,101.47
00005937	E03571	MORAGRAAN, RACHOT	05/05/2022	\$4,044.16
00005938	E01277	PROFFITT, NOEL J	05/05/2022	\$3,063.79
00005939	E01901	RAO, ANAND V	05/05/2022	\$6,550.69
00005940	E03384	SCHULZE, KATRENA J	05/05/2022	\$2,480.21
00005941	E04395	SWANSON, MATTHEW T	05/05/2022	\$1,780.31
00005942	E01674	VALENZUELA, ANTHONY	05/05/2022	\$1,789.33
00005943	E00809	VICTORIA, ROD T	05/05/2022	\$2,143.44
00005944	E03014	WILDER, CANDY G	05/05/2022	\$2,122.37
00005945	E03509	WINSTON, TERREL KEITH	05/05/2022	\$3,158.90
00005946	E03725	ABU HAMDIYYAH, AMEENAH	05/05/2022	\$2,068.60
00005947	E02996	ASHLEIGH, JULIE A	05/05/2022	\$2,017.76

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00005948	E03161	AUSTIN, MICHAEL G	05/05/2022	\$2,734.05
00005949	E00740	BLODGETT, GREG	05/05/2022	\$3,846.71
00005950	E03808	CHENG, ALANA R	05/05/2022	\$2,840.70
00005951	E03601	CHUNG, CHRISTOPHER	05/05/2022	\$2,720.82
00005952	E03353	COVARRUBIAS, MONICA	05/05/2022	\$3,573.45
00005953	E00128	CRAMER, RITA M	05/05/2022	\$2,449.39
00005954	E04394	DAHLHEIMER, BRYSON T	05/05/2022	\$2,275.44
00005955	E04879	DAKE, RYAN J	05/05/2022	\$2,162.23
00005956	E04578	DENT, DAVID A	05/05/2022	\$4,959.72
00005957	E03697	GUERRERO, PAUL	05/05/2022	\$2,776.68
00005958	E03600	HARTWIG, TODD C	05/05/2022	\$2,768.34
00005959	E03531	HERNANDEZ, RALPH V	05/05/2022	\$2,292.59
00005960	E04855	HERRERA JR, ARMANDO	05/05/2022	\$596.38
00005961	E03410	HODSON, AARON J	05/05/2022	\$2,281.31
00005962	E04716	KASKLA, PRIIT J	05/05/2022	\$2,085.22
00005963	E04442	KIM, LISA L	05/05/2022	\$4,770.85
00005964	E03617	LEE, GRACE E	05/05/2022	\$2,545.80
00005965	E04490	LY, HUONG Q	05/05/2022	\$2,126.65
00005966	E03412	MARINO, LEE W	05/05/2022	\$4,488.57
00005967	E04194	MARTINEZ, MARIA L	05/05/2022	\$2,622.32
00005968	E03044	MOORE, JUDITH A	05/05/2022	\$2,111.47
00005969	E02895	MOURE, SVETLANA	05/05/2022	\$2,323.21
00005970	E04635	NGUYEN, PHU T	05/05/2022	\$3,848.41
00005971	E02842	PARRA, MARIA C	05/05/2022	\$3,182.29
00005972	E04894	REFUERZO JR., ORLINO CAMPOS	05/05/2022	\$588.71
00005973	E04992	ROBLES, ALFONSO	05/05/2022	\$2,361.84
00005974	E04408	THRONE, TIMOTHY E	05/05/2022	\$2,026.02
00005975	E04862	TRAN, JAKE P	05/05/2022	\$1,912.51
00005976	E03643	ALVARADO, YOLANDA A	05/05/2022	\$1,685.67
00005977	E04390	AMBRIZ, STEPHANIE	05/05/2022	\$620.16
00005978	E04978	AVINA, MIKAYLA M	05/05/2022	\$633.72
00005979	E04771	BAILOR, REBECCA J	05/05/2022	\$426.55
00005980	E04988	BAUTISTA, BRENDA	05/05/2022	\$1,934.69
00005981	E04262	BEARD, ALEX C	05/05/2022	\$182.85
00005982	E02658	CAMARENA, RACHEL M	05/05/2022	\$2,201.56

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00005983	E01588	CAMARENA, RENE	05/05/2022	\$2,196.31
00005984	E01902	CASILLAS, VICTORIA M	05/05/2022	\$1,916.16
00005985	E04949	CEDILLO PADILLA, JESSICA	05/05/2022	\$902.36
00005986	E03304	CHUMACERO, DEANNA M	05/05/2022	\$1,028.39
00005987	E04611	CROSS, AMANDA D	05/05/2022	\$1,903.22
00005988	E02956	CUMMINGS, KENNETH E	05/05/2022	\$68.68
00005989	E04688	DELGADO CHAVEZ, MARLY	05/05/2022	\$311.71
00005990	E04653	DIAZ, GABRIELA	05/05/2022	\$723.48
00005991	E04791	DOWNS, KELDEN A	05/05/2022	\$290.63
00005992	E04679	FREEMAN, MARK C	05/05/2022	\$3,370.26
00005993	E04481	GARCIA, JARED D	05/05/2022	\$544.46
00005994	E04253	GARCIA, VANESSA L	05/05/2022	\$500.13
00005995	E03337	GODDARD, JENNIFER DANIELLE	05/05/2022	\$2,677.18
00005996	E03877	GOMEZ, STEVEN E	05/05/2022	\$835.33
00005997	E00940	GRANT, JACOB R	05/05/2022	\$4,204.24
00005998	E04967	HASHEMI, SETAREH	05/05/2022	\$504.03
00005999	E04682	LOPEZ, KALYSTA N	05/05/2022	\$159.16
00006000	E03603	MA AE, ELAINE M	05/05/2022	\$2,944.86
00006001	E01552	MEDINA, JESUS	05/05/2022	\$5,172.99
00006002	E00455	MEDINA, JUAN	05/05/2022	\$2,262.63
00006003	E04925	MENDOZA, JESSICA	05/05/2022	\$381.98
00006004	E02808	MONTANCHEZ, JOHN A	05/05/2022	\$5,267.95
00006005	E04173	NAKAISHI, KIRSTEN K	05/05/2022	\$44.90
00006006	E04947	NGUYEN, ALEXANDER H	05/05/2022	\$348.07
00006007	E04391	NICHOLAS, NOEL N	05/05/2022	\$1,362.18
00006008	E04931	NODAL, NATALIE	05/05/2022	\$559.58
00006009	E00785	OCADIZ HERNANDEZ, GABRIELA	05/05/2022	\$3,233.69
00006010	E04965	ORDUNO, SAMANTHA	05/05/2022	\$491.21
00006011	E03881	PANGAN, CHRISTIAN	05/05/2022	\$175.74
00006012	E03361	PELAYO, JANET E	05/05/2022	\$3,776.33
00006013	E04777	PHAN, EDOUARD T	05/05/2022	\$327.57
00006014	E03893	PICKRELL, ARIELLE	05/05/2022	\$721.27
00006015	E04463	PUAILOA, SHADY S	05/05/2022	\$415.77
00006016	E04932	RAYO, ALONDRA	05/05/2022	\$27.68
00006017	E02754	REYNOSO, SUGEIRY	05/05/2022	\$2,411.88

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Check	Vendor #	Vendor Name	Issue Date	Check Amount
00006018	E04966	RIOS, GRAYSON M	05/05/2022	\$425.56
00006019	E03362	ROMERO, MARINA Y	05/05/2022	\$728.73
00006020	E04684	ROSALES, MARIA D	05/05/2022	\$289.94
00006021	E04614	ROSAS, TANYA	05/05/2022	\$539.79
00006022	E04620	SALDIVAR, DIANA	05/05/2022	\$308.92
00006023	E01893	SAUCEDO, DANA MARIE	05/05/2022	\$2,415.27
00006024	E00925	SCHLUMBERGER, EMERON J	05/05/2022	\$1,040.26
00006025	E04926	SERNA, SAMANTHA M	05/05/2022	\$124.56
00006026	E04795	SIEVE, MYCHAELLA J	05/05/2022	\$333.79
00006027	E03895	SMITH, REBECCA S	05/05/2022	\$599.54
00006028	E01396	VALDIVIA, CLAUDIA	05/05/2022	\$3,237.99
00006029	E00015	VAN SICKLE, JEFFREY	05/05/2022	\$2,497.11
00006030	E04687	VARGAS, SAMANTHA B	05/05/2022	\$184.58
00006031	E04118	VENCES, DAISY O	05/05/2022	\$180.65
00006032	E04478	VENCES, JOSHUA	05/05/2022	\$228.10
00006033	E03085	VICTORIA, PAUL E	05/05/2022	\$1,256.80
00006034	E04609	VIRAMONTES, JACOB D	05/05/2022	\$377.31
00006035	E04274	WILMES, DAVID M	05/05/2022	\$529.48
00006036	E04734	ACOSTA, GIOVANNI	05/05/2022	\$2,414.14
00006037	E03819	ALAMILLO, MARCOS R	05/05/2022	\$5,646.17
00006038	E03712	ALARCON, CLAUDIA	05/05/2022	\$3,530.25
00006039	E03616	ALCARAZ, MARIA A	05/05/2022	\$2,050.80
00006040	E00121	ALLISON, WILLIAM	05/05/2022	\$4,925.03
00006041	E04873	ALVARADO, MADELINE M	05/05/2022	\$1,782.67
00006042	E04080	ALVAREZ BROWN, RICHARD A	05/05/2022	\$3,167.47
00006043	E03011	ANDERSON, BOBBY B	05/05/2022	\$3,193.78
00006044	E01234	ARELLANO, PEDRO R	05/05/2022	\$6,209.28
00006045	E04875	ARROYO, SANDRA M	05/05/2022	\$2,225.96
00006046	E04497	ASHBAUGH, TIMOTHY R	05/05/2022	\$2,861.43
00006047	E03397	ASHBY, PAUL W	05/05/2022	\$3,533.08
00006048	E04719	ATWOOD, MARIA S	05/05/2022	\$1,958.28
00006049	E04613	AVALOS JR, FRANCISCO	05/05/2022	\$2,771.05
00006050	E01965	BACKOURIS, KRISTEN A	05/05/2022	\$1,759.04
00006051	E04550	BAEK, SHARON S	05/05/2022	\$2,178.62
00006052	E04209	BAINTO, JUDY A	05/05/2022	\$546.31

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00006053	E04778	BAKER, COLLIN E	05/05/2022	\$2,407.62
00006054	E03005	BANKSON, JOHN F	05/05/2022	\$3,979.90
00006055	E04645	BARRAZA, RENE	05/05/2022	\$3,336.00
00006056	E04432	BEHZAD, JOSHUA K	05/05/2022	\$2,608.39
00006057	E04951	BELLO, ANGELICA	05/05/2022	\$1,607.95
00006058	E03006	BELTHIUS, LISA A	05/05/2022	\$325.04
00006059	E04753	BERENGER, BEAU A	05/05/2022	\$3,472.52
00006060	E03296	BERESFORD, EVAN S	05/05/2022	\$3,613.05
00006061	E01604	BERLETH, RYAN S	05/05/2022	\$2,258.53
00006062	E03443	BLUM, JAMES A	05/05/2022	\$3,769.79
00006063	E04149	BOGUE, SUMMER A	05/05/2022	\$2,186.99
00006064	E03363	BOWEN, GENA M	05/05/2022	\$2,001.47
00006065	E04767	BOWMAN, TROY F	05/05/2022	\$2,588.42
00006066	E04963	BOYENS III, ROBERT	05/05/2022	\$3,426.22
00006067	E00946	BRAME, KAREN D	05/05/2022	\$1,992.87
00006068	E04803	BRANTNER, BRITTANEE N	05/05/2022	\$1,912.33
00006069	E03380	BROWN, JEFFREY A	05/05/2022	\$4,539.47
00006070	E03968	BRUNICK, CARISSA L	05/05/2022	\$2,228.70
00006071	E02031	BURILLO, RICHARD O	05/05/2022	\$5,463.30
00006072	E03972	BUSTILLOS, RYAN V	05/05/2022	\$3,974.71
00006073	E03964	CAMARA, DANIEL A	05/05/2022	\$2,818.24
00006074	E04074	CAMPOS, JESENIA	05/05/2022	\$2,067.08
00006075	E03739	CAPPS, THOMAS A	05/05/2022	\$3,196.80
00006076	E02372	CENTENO, JUAN C	05/05/2022	\$5,236.15
00006077	E03607	CHANG, DAVID Y H	05/05/2022	\$108.67
00006078	E04867	CHAPPELL, SHYLER R.D.	05/05/2022	\$2,047.44
00006079	E03481	CHAURAN HAIRGROVE, TAMMY L	05/05/2022	\$2,570.80
00006080	E04498	CHEATHAM, JEROME L	05/05/2022	\$3,082.37
00006081	E03606	CHISM, KENNETH L	05/05/2022	\$1,871.98
00006082	E01541	CHO, HAN J	05/05/2022	\$3,691.94
00006083	E03423	CHOWDHURY, JACINTA F	05/05/2022	\$1,908.55
00006084	E04414	CHUNG, RANDY G	05/05/2022	\$367.40
00006085	E00003	CIBOSKY, COURTNEY P	05/05/2022	\$3,128.37
00006086	E04539	CLASBY JR, BRIAN M	05/05/2022	\$3,468.24
00006087	E04062	COOPMAN, AARON J	05/05/2022	\$4,207.52

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00006088	E04872	CORNETT, KRISTINA L	05/05/2022	\$1,723.35
00006089	E04832	CORTEZ JR, DARRYL B	05/05/2022	\$2,807.11
00006090	E04666	CORTEZ, JULIO C	05/05/2022	\$2,796.07
00006091	E01796	COULTER, GARY L	05/05/2022	\$2,917.69
00006092	E04555	CRUZ, REYNA	05/05/2022	\$1,999.73
00006093	E01364	DALTON, BRIAN D	05/05/2022	\$3,551.08
00006094	E04874	DANG, JOHN	05/05/2022	\$850.04
00006095	E00126	DANIELEY III, CHARLIE	05/05/2022	\$3,342.62
00006096	E01951	DANIELSON, PAUL E	05/05/2022	\$2,002.30
00006097	E01968	DARE, THOMAS R	05/05/2022	\$6,393.45
00006098	E04503	DAVILA, ISAAC	05/05/2022	\$2,769.41
00006099	E04431	DE ALMEIDA LOPES, NICHOLAS A	05/05/2022	\$3,488.78
00006100	E04731	DE PADUA, TANNER C	05/05/2022	\$2,864.47
00006101	E03691	DELGADO JR, JUAN L	05/05/2022	\$4,308.67
00006102	E03395	DIX, JENNIFER A	05/05/2022	\$2,556.79
00006103	E02313	DOSCHER, RONALD A	05/05/2022	\$3,052.43
00006104	E04586	DOVEAS, CHRISTOPHER C	05/05/2022	\$305.57
00006105	E04281	DRISCOLL, RUSSELL B	05/05/2022	\$1,897.72
00006106	E04844	DUARTE, TAYLOR M	05/05/2022	\$2,361.85
00006107	E04720	DUDLEY, BROD D	05/05/2022	\$2,358.62
00006108	E03625	EARLE, CHRISTOPHER M	05/05/2022	\$3,355.22
00006109	E03740	EL FARRA, AMIR A	05/05/2022	\$6,672.65
00006110	E03927	ELHAMI, MICHAEL K	05/05/2022	\$3,195.34
00006111	E03933	ELIZONDO, BENJAMIN M	05/05/2022	\$3,350.21
00006112	E04016	ELIZONDO, FLOR DE LIS	05/05/2022	\$2,546.00
00006113	E01598	ELSOUSOU, HELENA	05/05/2022	\$2,684.56
00006114	E02734	ESCALANTE, OTTO J	05/05/2022	\$6,337.58
00006115	E04334	ESCOBEDO, JOSHUA N	05/05/2022	\$3,364.32
00006116	E02724	ESTLOW, STEPHEN C	05/05/2022	\$3,043.73
00006117	E04358	ESTRADA MONSANTO, MICHELLE N	05/05/2022	\$3,182.34
00006118	E04748	FAJARDO, JESUS	05/05/2022	\$2,475.87
00006119	E04303	FERREIRA JR, HECTOR	05/05/2022	\$3,183.57
00006120	E01663	FERRIN, KORY C	05/05/2022	\$4,133.41
00006121	E03976	FIGUEREDO, GEORGE R	05/05/2022	\$4,139.96
00006122	E02838	FISCHER, JAMES D	05/05/2022	\$1,032.24

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00006123	E04774	FLINN, PATRICIA C	05/05/2022	\$2,762.60
00006124	E02887	FOSTER, VICTORIA M	05/05/2022	\$1,864.00
00006125	E04033	FRANCISCO, KATHERINE M	05/05/2022	\$2,595.12
00006126	E02963	FRANKS, JAMES D	05/05/2022	\$3,208.07
00006127	E04747	FRESENIUS, ROBERT D	05/05/2022	\$2,368.81
00006128	E00903	FRUTOS, VERONICA	05/05/2022	\$1,537.24
00006129	E04729	GARCIA, JOSEPH A	05/05/2022	\$1,783.66
00006130	E03086	GARCIA, PETE	05/05/2022	\$3,919.76
00006131	E03659	GARNER, AMANDA B	05/05/2022	\$1,011.91
00006132	E02606	GEORGE, DAVID L	05/05/2022	\$2,113.94
00006133	E04351	GERDIN, MICHAEL E	05/05/2022	\$2,971.68
00006134	E04542	GIFFORD, ROBERT J	05/05/2022	\$3,699.17
00006135	E01981	GILDEA, PATRICK E	05/05/2022	\$3,324.78
00006136	E04658	GIRGENTI, BRIAN C	05/05/2022	\$3,421.81
00006137	E04401	GLEASON, SEAN M	05/05/2022	\$2,705.74
00006138	E04917	GOMEZ, JESUS	05/05/2022	\$2,146.23
00006139	E04863	GONZALEZ JR, GONZALO	05/05/2022	\$3,110.56
00006140	E04732	HADDEN, TRAVIS J	05/05/2022	\$2,454.75
00006141	E04787	HALEY, KYLE N	05/05/2022	\$1,790.99
00006142	E03527	HALLER, TROY	05/05/2022	\$5,017.00
00006143	E03402	HEINE, STEVEN H	05/05/2022	\$4,688.45
00006144	E02469	HERRERA, JOSE D	05/05/2022	\$3,704.71
00006145	E04244	HINGCO, PINKY C	05/05/2022	\$2,956.72
00006146	E03713	HOLLOWAY, WILLIAM T	05/05/2022	\$4,095.69
00006147	E04739	HOWARD, JASON A	05/05/2022	\$3,259.12
00006148	E04654	HURLEY, KIRK P	05/05/2022	\$2,300.57
00006149	E04089	HUTCHINS, DONALD J	05/05/2022	\$3,737.66
00006150	E03815	HUYNH, AI KELLY	05/05/2022	\$2,750.87
00006151	E03559	HUYNH, THI A	05/05/2022	\$2,611.36
00006152	E04915	ITURRALDE, JENNIFER L	05/05/2022	\$1,028.09
00006153	E04583	JENSEN, MICHAEL J	05/05/2022	\$4,181.76
00006154	E02935	JENSEN, NICKOLAS K	05/05/2022	\$3,851.31
00006155	E04587	JIMENEZ JR, EFRAIN A	05/05/2022	\$2,944.89
00006156	E04781	JIMENEZ TAVAREZ, SERGIO J	05/05/2022	\$2,224.62
00006157	E04655	JOHNSON, CODY M	05/05/2022	\$2,917.02

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00006158	E03368	JOHNSON, JASON L	05/05/2022	\$7,029.88
00006159	E03831	JORDAN, GERALD F	05/05/2022	\$2,969.86
00006160	E04610	JORDAN, VICTORIA A	05/05/2022	\$183.89
00006161	E04444	JULIENNE, PATRICK R	05/05/2022	\$3,242.05
00006162	E04559	KELLEY, KRISTOFER D	05/05/2022	\$3,798.52
00006163	E04353	KEUILIAN, SHELBY	05/05/2022	\$2,081.68
00006164	E04663	KIM, CHAD B	05/05/2022	\$2,407.20
00006165	E04538	KIMBERLY, ALLYSON L	05/05/2022	\$1,683.52
00006166	E03932	KIVLER, ROBERT J	05/05/2022	\$2,771.84
00006167	E03389	KOLANO, JOSEPH L	05/05/2022	\$2,804.80
00006168	E03294	KOVACS, LEA K	05/05/2022	\$3,085.85
00006169	E05000	KOVACS, TIMOTHY M	05/05/2022	\$3,608.74
00006170	E04669	KOVACS, TIMOTHY P	05/05/2022	\$3,876.64
00006171	E03484	KUNKEL, PETER M	05/05/2022	\$3,630.10
00006172	E04804	LADD, LAUREN M	05/05/2022	\$2,480.24
00006173	E04857	LANG, MICHAEL J	05/05/2022	\$3,094.02
00006174	E03511	LAZENBY, NICHOLAS A	05/05/2022	\$3,197.84
00006175	E04877	LE, BAO TINH THI	05/05/2022	\$1,898.17
00006176	E04021	LEE, RAPHAEL M	05/05/2022	\$4,680.48
00006177	E04970	LEIVA, EDUARDO C	05/05/2022	\$5,845.91
00006178	E03488	LEYVA, ERICK	05/05/2022	\$4,215.07
00006179	E04541	LINK, DEREK M	05/05/2022	\$4,225.94
00006180	E00030	LOERA JR, RAFAEL	05/05/2022	\$4,849.61
00006181	E05033	LOFFLER, CHARLES H	05/05/2022	\$4,416.09
00006182	E02645	LOPEZ, DAVID	05/05/2022	\$3,520.74
00006183	E05066	LORD, MARK A	05/05/2022	\$4,306.73
00006184	E04581	LOWEN, BRADLEY A	05/05/2022	\$2,948.78
00006185	E04761	LUCATERO, JESSE A	05/05/2022	\$2,568.49
00006186	E00027	LUKAS, STEVEN W	05/05/2022	\$2,040.73
00006187	E04048	LUX, ROBERT D	05/05/2022	\$2,255.42
00006188	E03663	LUX, RYAN M	05/05/2022	\$5,784.82
00006189	E04772	LY, LINDALINH THU	05/05/2022	\$1,746.98
00006190	E04661	MACHUCA, ROBERTO	05/05/2022	\$3,662.49
00006191	E03752	MACY, TAYLOR A	05/05/2022	\$22,006.83
00006192	E04532	MANIACI, GIANLUCA F	05/05/2022	\$3,422.70

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00006193	E04435	MARCHAND, MATTHEW P	05/05/2022	\$3,691.02
00006194	E01359	MARTINEZ JR, MARIO	05/05/2022	\$5,868.11
00006195	E04974	MARTINEZ, JUANITA PATRICIA	05/05/2022	\$2,629.87
00006196	E02792	MATA, RAQUEL D	05/05/2022	\$966.77
00006197	E04656	MAZON, JORGE L	05/05/2022	\$2,557.39
00006198	E02796	MCFARLANE, MARIA C	05/05/2022	\$2,315.71
00006199	E06761	MEEKS, REBECCA S	05/05/2022	\$4,614.58
00006200	E03826	MEERS, BRYAN J	05/05/2022	\$4,215.36
00006201	E02655	MENDOZA CAMPOS, MELISSA	05/05/2022	\$2,467.59
00006202	E04402	MERRILL, KENNETH E	05/05/2022	\$448.73
00006203	E03965	MIHALIK, DANNY J	05/05/2022	\$3,549.47
00006204	E04840	MONTOYA, DAWN M	05/05/2022	\$1,904.40
00006205	E04865	MORIN, LINDA M	05/05/2022	\$3,966.09
00006206	E04352	MORSE, JEREMY N	05/05/2022	\$3,161.74
00006207	E01940	MORTON, NATHAN D	05/05/2022	\$3,574.48
00006208	E04454	MOSER, MICHAEL A	05/05/2022	\$2,399.06
00006209	E04330	MOSSER, MITCHEL S	05/05/2022	\$3,339.77
00006210	E03929	MURILLO JR, RAUL	05/05/2022	\$4,286.37
00006211	E04626	MURO, JASON M	05/05/2022	\$3,513.45
00006212	E03579	MURPHY, PATRICK W	05/05/2022	\$4,368.93
00006213	E04577	MUSCHETTO, PATRICK J	05/05/2022	\$2,856.06
00006214	E03422	NADOLSKI, THOMAS R	05/05/2022	\$1,770.30
00006215	E04111	NEELY, JACOB J	05/05/2022	\$2,329.92
00006216	E04436	NGUYEN, JEFFREY C	05/05/2022	\$3,526.14
00006217	E02813	NGUYEN, TRINA T	05/05/2022	\$1,883.80
00006218	E04540	NIKOLIC, ADAM C	05/05/2022	\$3,570.25
00006219	E03367	OJEISEKHOBBA, JOHN O	05/05/2022	\$139.30
00006220	E03350	OLIVO, JOSHUA T	05/05/2022	\$4,006.59
00006221	E04035	ORTIZ, STEVEN TRUJILLO	05/05/2022	\$2,965.11
00006222	E03427	PANELLA, JOSEPH N	05/05/2022	\$2,244.05
00006223	E04910	PAQUA, BRANDON J	05/05/2022	\$2,243.07
00006224	E01948	PARK, BRANDY J	05/05/2022	\$2,822.31
00006225	E02995	PAYAN, CRISTINA V	05/05/2022	\$2,348.29
00006226	E00824	PAYAN, LUIS A	05/05/2022	\$4,365.89
00006227	E04843	PEREZ, EMMANUEL	05/05/2022	\$2,563.03

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00006228	E01657	PEREZ, OMAR F	05/05/2022	\$3,142.51
00006229	E00145	PERKINS, JASON S	05/05/2022	\$5,915.07
00006230	E04429	PHAM, PHILLIP H	05/05/2022	\$3,394.19
00006231	E06938	PLUARD, DOUGLAS A	05/05/2022	\$4,228.21
00006232	E03299	POLOPEK, COREY T	05/05/2022	\$3,655.02
00006233	E04788	QUIROZ, LUIS A	05/05/2022	\$2,610.80
00006234	E03967	RAMIREZ OROZCO, SINDY	05/05/2022	\$4,304.57
00006235	E04955	RAMIREZ, KAYLYN C	05/05/2022	\$1,681.65
00006236	E03390	RAMIREZ, LUIS F	05/05/2022	\$3,660.07
00006237	E05021	RAMIREZ, TERRA M	05/05/2022	\$3,023.36
00006238	E04914	RAMOS, RODOLFO B	05/05/2022	\$497.42
00006239	E03217	RANEY, JOHN E	05/05/2022	\$3,231.74
00006240	E04941	RASMUSSEN, TRENTON L	05/05/2022	\$2,109.86
00006241	E04659	REED, THOMAS S	05/05/2022	\$2,503.77
00006242	E03486	REYES, RON A	05/05/2022	\$3,267.91
00006243	E04911	RICHARDS, BRYANT D	05/05/2022	\$2,293.75
00006244	E04437	RICHMOND, RYAN R	05/05/2022	\$2,878.27
00006245	E04860	ROCHA, RUDY A	05/05/2022	\$249.11
00006246	E04738	RODRIGUEZ, DANIEL	05/05/2022	\$2,829.68
00006247	E04082	RODRIGUEZ, JENNIFER M	05/05/2022	\$2,800.97
00006248	E04438	ROGERS, CHRISTIN E	05/05/2022	\$3,323.18
00006249	E04385	ROJAS, ASHLEY C	05/05/2022	\$1,830.84
00006250	E04507	ROMBOUGH, JENNIFER V	05/05/2022	\$2,049.23
00006251	E04552	RUZIECKI, ERIC T	05/05/2022	\$3,622.03
00006252	E02845	SALAZAR, SEAN M	05/05/2022	\$3,038.11
00006253	E04845	SALGADO JR., ALFREDO	05/05/2022	\$2,291.47
00006254	E03297	SAMOFF, TANYA L	05/05/2022	\$4,707.02
00006255	E02646	SANTANA, LINO G	05/05/2022	\$7,288.89
00006256	E03035	SEYMOUR, SUSAN A I	05/05/2022	\$2,526.31
00006257	E04282	SHELGRIN, CHRISTOPHER M	05/05/2022	\$2,834.68
00006258	E04616	SHIPLEY, AARON T	05/05/2022	\$2,375.58
00006259	E02937	SHORROW, NICOLE D	05/05/2022	\$2,338.64
00006260	E04864	SILVA, LEVI JOENIEL	05/05/2022	\$2,920.50
00006261	E04576	SIMONS, SHAYLEN L	05/05/2022	\$2,578.67
00006262	E04934	SLETTVET, HEATHER P	05/05/2022	\$1,915.03

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00006263	E02587	SOSEBEE, DANNY J	05/05/2022	\$2,296.19
00006264	E03563	SPELLMAN, MARSHA D	05/05/2022	\$2,662.89
00006265	E04500	STAAL, GAREY D	05/05/2022	\$3,574.77
00006266	E03218	STARNES, CHARLES W	05/05/2022	\$3,166.58
00006267	E03761	STEPHENSON III, ROBERT M	05/05/2022	\$4,536.75
00006268	E04584	STROUD, BRIAN T	05/05/2022	\$4,260.21
00006269	E02979	TESSIER, PAUL M	05/05/2022	\$3,743.30
00006270	E04449	TRAN, SPENCER T	05/05/2022	\$2,472.87
00006271	E02982	VAICARO, VINCENTE J	05/05/2022	\$4,374.42
00006272	E03053	VALENCIA, EDGAR	05/05/2022	\$3,555.18
00006273	E04667	VAUGHN, CALEB I	05/05/2022	\$383.52
00006274	E04434	VELLANOWETH, KIMBRA S	05/05/2022	\$2,116.44
00006275	E04903	VIGIL, DANIEL C	05/05/2022	\$3,112.09
00006276	E03022	VU, TUONG-VAN NGUYEN	05/05/2022	\$2,427.85
00006277	E04730	VU, TYLER D	05/05/2022	\$497.42
00006278	E01905	WAINWRIGHT, JONATHAN B	05/05/2022	\$3,838.84
00006279	E03220	WARDLE, DENNIS	05/05/2022	\$3,647.44
00006280	E03213	WARDLE, SANTA	05/05/2022	\$2,136.92
00006281	E04758	WEYKER, CHRYSTAL L	05/05/2022	\$1,892.40
00006282	E03930	WHITNEY, CHERYL L	05/05/2022	\$2,316.21
00006283	E03305	WIMMER, ROYCE C	05/05/2022	\$4,153.54
00006284	E04762	WREN, DANIELLE E	05/05/2022	\$2,742.03
00006285	E04763	WRIGHT, SARAH A	05/05/2022	\$2,606.43
00006286	E04856	XU, DUO	05/05/2022	\$1,443.56
00006287	E03543	YELENSKY, SHANNON M	05/05/2022	\$1,790.20
00006288	E04156	YERGLER, JOHN J	05/05/2022	\$3,148.77
00006289	E04722	YNIGUEZ, COLE A	05/05/2022	\$3,167.28
00006290	E09942	YOUNG, DAVID C	05/05/2022	\$4,245.21
00006291	E01978	ZMIJA, ADAM D	05/05/2022	\$4,167.79
00006292	E04517	AGUIRRE, ALFRED J	05/05/2022	\$3,416.05
00006293	E01626	AGUIRRE, ANSELMO	05/05/2022	\$2,055.32
00006294	E04451	AGUIRRE, ANTHONY U	05/05/2022	\$290.70
00006295	E04631	ANDREI, IOAN	05/05/2022	\$1,095.20
00006296	E04678	BABINSKI IV, SYLVESTER A	05/05/2022	\$1,927.80
00006297	E04336	BECERRA, RODOLPHO M	05/05/2022	\$2,128.36

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00006298	E04972	BECERRA-SAMANIEGO JR, GABRIEL	05/05/2022	\$1,482.32
00006299	E04770	BELL, DONEISHA L	05/05/2022	\$815.15
00006300	E01255	BOS, MICHAEL C	05/05/2022	\$2,167.81
00006301	E04650	BUCHLER, RAYMOND A	05/05/2022	\$1,415.19
00006302	E01584	CANDELARIA, DANIEL J	05/05/2022	\$4,127.76
00006303	E04300	CANO, EDGAR A	05/05/2022	\$1,990.46
00006304	E03828	CANTRELL, JEFFREY G	05/05/2022	\$2,558.07
00006305	E03811	CARRISOZA, ALBERT J	05/05/2022	\$2,191.91
00006306	E00916	CARTER, PHILLIP J	05/05/2022	\$3,141.66
00006307	E04869	CHAVEZ, DAMIAN JESUS	05/05/2022	\$701.72
00006308	E04551	CONTRERAS, GABRIELA R	05/05/2022	\$2,783.58
00006309	E03518	COTTON, JULIE T	05/05/2022	\$1,748.60
00006310	E03807	DE LA ROSA, VINCENT L	05/05/2022	\$3,006.78
00006311	E03736	DIBAJ, KAMYAR	05/05/2022	\$3,656.94
00006312	E04989	DOCHERTY, PAUL	05/05/2022	\$722.42
00006313	E02515	DUVALL, RICK L	05/05/2022	\$3,137.56
00006314	E04514	ESPINOZA, ERIC M	05/05/2022	\$2,053.66
00006315	E03733	ESPINOZA, JULIA	05/05/2022	\$1,282.86
00006316	E03190	EURS II, ALBERT R	05/05/2022	\$2,712.58
00006317	E03405	FERNANDEZ, CECILIA A	05/05/2022	\$1,258.58
00006318	E04990	FLORES, MITCHELL C	05/05/2022	\$713.67
00006319	E04491	FRANCO, ROBERT J	05/05/2022	\$770.50
00006320	E00558	FREGOSO, ALICE K	05/05/2022	\$2,032.50
00006321	E05010	GALVAN, EDGAR	05/05/2022	\$894.79
00006322	E04754	GARCIA, ALICIA R	05/05/2022	\$1,516.50
00006323	E04677	GIROUARD, CASEY G	05/05/2022	\$1,674.01
00006324	E04629	GOMEZ, DIANA	05/05/2022	\$941.33
00006325	E03341	GONZALEZ, JORGE	05/05/2022	\$1,213.86
00006326	E04473	GOUNTOUMA, SOUMELIA K	05/05/2022	\$2,348.17
00006327	E03400	GREENE, MICHAEL R	05/05/2022	\$2,062.52
00006328	E03685	GUZMAN, JESSE	05/05/2022	\$751.78
00006329	E04299	HANSEN, AARON R	05/05/2022	\$1,558.06
00006330	E03523	HARO, GLORIA A	05/05/2022	\$1,204.07
00006331	E03759	HERNANDEZ, HERMILO	05/05/2022	\$1,954.26
00006332	E04622	HOFER, ALICIA M	05/05/2022	\$2,032.62

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00006336	E04831	ILFELD, MATTHEW D	05/05/2022	\$1,413.95
00006337	E01907	JACOT, ROSEMARIE	05/05/2022	\$2,127.93
00006338	E04296	JOHNSON, ERIC W	05/05/2022	\$1,872.36
00006339	E04979	JURADO, MICHAEL	05/05/2022	\$1,815.39
00006340	E04470	KAYLOR, BRENT	05/05/2022	\$2,276.69
00006341	E04728	KHALIL, MARK M	05/05/2022	\$2,153.44
00006342	E04382	KWIATKOWSKI, BRYAN D	05/05/2022	\$2,023.32
00006343	E02852	LADNEY, MARK W	05/05/2022	\$2,794.41
00006344	E04769	LAMAS, LEONEL A	05/05/2022	\$976.03
00006345	E03813	LEWIS, SHAN L	05/05/2022	\$2,635.43
00006346	E03301	LEYVA, RAUL	05/05/2022	\$5,058.14
00006347	E05006	MARQUEZ, STEVEN ADAM	05/05/2022	\$1,271.35
00006348	E05364	MARU, NAVIN B	05/05/2022	\$4,855.95
00006349	E04665	MEJIA, DIEGO A	05/05/2022	\$2,124.93
00006350	E03493	MENDEZ, RIGOBERTO	05/05/2022	\$2,352.62
00006351	E04998	MENDOZA, LAURA	05/05/2022	\$937.71
00006352	E04724	MOORE, DOUGLAS A	05/05/2022	\$2,247.87
00006353	E04827	MORELAND, ANDREW J	05/05/2022	\$1,719.87
00006354	E01243	MURRAY JR, WILLIAM E	05/05/2022	\$6,550.01
00006355	E04634	NAVARRO, JUAN C	05/05/2022	\$2,978.90
00006356	E00084	NGUYEN, KHUONG	05/05/2022	\$1,273.87
00006357	E04969	ORNELLAS, MICHAEL	05/05/2022	\$1,158.59
00006358	E03378	ORTIZ, STEVEN T	05/05/2022	\$2,464.94
00006359	E04779	PHAM, PHILLIP Q	05/05/2022	\$591.67
00006360	E03754	PINKSTON, RICHARD L	05/05/2022	\$2,494.08
00006361	E04567	POWELL, AUSTIN H	05/05/2022	\$2,650.56
00006362	E03799	QUIROZ, ROLANDO	05/05/2022	\$1,894.77
00006363	E04572	REED, MELVIN P	05/05/2022	\$1,722.24
00006364	E02058	REYES, DELFRADO C	05/05/2022	\$1,273.87
00006365	E04295	ROBLES, RAFAEL	05/05/2022	\$1,831.82
00006366	E04563	RODRIGUEZ, ADRIANNA M	05/05/2022	\$1,038.17
00006367	E05004	RUELAS, SERGIO	05/05/2022	\$748.78

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00006370	E04215	SMOUSE, TREVOR G	05/05/2022	\$2,724.48
00006371	E04836	SOTO, WILLIAM A	05/05/2022	\$1,566.71
00006372	E03091	SUDDUTH, STEPHEN D	05/05/2022	\$2,706.14
00006373	E01625	TAPIA, LUIS A	05/05/2022	\$2,552.14
00006374	E04756	TARIN, ALEXIS P	05/05/2022	\$2,558.95
00006375	E03239	TAUANU U, STEVE J	05/05/2022	\$2,011.99
00006376	E08661	THOMPSON, MICHAEL W	05/05/2022	\$3,328.17
00006377	E04773	THURMAN JR, EDWIN O	05/05/2022	\$996.67
00006378	E08679	THURMAN, RODERICK	05/05/2022	\$1,802.18
00006379	E03480	TRIMBLE, EMILY H	05/05/2022	\$2,426.31
00006380	E04825	TRUJILLO, JOSEPH E	05/05/2022	\$1,453.20
00006381	E02482	UPHUS, MARK P	05/05/2022	\$4,259.93
00006382	E03681	VASQUEZ, JOSE A	05/05/2022	\$3,011.38
00006383	E02942	VERA, EVARISTO	05/05/2022	\$1,959.13
00006384	E03727	VERGARA NEAL, ANA G	05/05/2022	\$2,827.74
00006385	E01580	VU, DAI C	05/05/2022	\$4,232.66
00006386	E04362	VU, KHANG L	05/05/2022	\$3,194.02
00006387	E04896	WESTON, SHAQUANNA D	05/05/2022	\$584.58
00006388	E01619	WHITE, WILLIAM J	05/05/2022	\$2,317.03
00006389	E03414	WILLIAMS, HILLARD J	05/05/2022	\$3.11
00006390	E04006	WILLIAMS, RICHARD L	05/05/2022	\$2,594.50
00006391	E03436	ZIEGLER, RICK S	05/05/2022	\$676.58
00006392	E03917	ALLEN, CHRISTOPHER L	05/05/2022	\$67.98
00006393	E04163	AMBRIZ GARCIA, EDWARD D	05/05/2022	\$5,532.09
00006394	E03338	ARIONUS, JOSHUA	05/05/2022	\$0.00
00006395	E04784	BANUELOS, ALEJANDRO	05/05/2022	\$2,234.11
00006396	E04063	BERGER, JAN	05/05/2022	\$2,350.32
00006397	E00651	BERMUDEZ, ROBERT P	05/05/2022	\$3,231.50
00006398	E03495	BLAS, VICTOR T	05/05/2022	\$2,391.70
00006399	E00070	CANNON, TIM P	05/05/2022	\$3,022.88
00006400	E04365	DAN, CARINA M	05/05/2022	\$2,334.99
00006401	E04440	DAVIS, RYAN H	05/05/2022	\$1,847.27
00006402	E03145	DE LA ROSA, FRANK X	05/05/2022	\$3,423.28

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00006403	E03051	DIEMERT, RONALD W	05/05/2022	\$2,437.58
00006404	E02718	ESCOBAR, CHRIS N	05/05/2022	\$2,505.50
00006405	E03688	GLENN, JEREMY J	05/05/2022	\$1,617.44
00006406	E01618	GOMEZ, JOSE	05/05/2022	\$2,481.48
00006407	E02701	GONZALEZ, ALEJANDRO	05/05/2022	\$3,057.77
00006408	E01652	GRAY, MICHAEL J	05/05/2022	\$3,585.69
00006409	E03763	GRIFFIN, LARRY	05/05/2022	\$2,571.41
00006410	E04828	GUERRERO, MICHAEL V	05/05/2022	\$1,808.81
00006411	E04018	HAENDIGES, ROBERT A	05/05/2022	\$3,784.00
00006412	E03575	HART, RYAN S	05/05/2022	\$2,022.52
00006413	E03701	HAYES, BRENT W	05/05/2022	\$3,302.39
00006414	E03399	HOWENSTEIN, FRANK D	05/05/2022	\$2,486.70
00006415	E03406	HUY, EDWARD A	05/05/2022	\$2,214.16
00006416	E04782	JIN, LIYAN	05/05/2022	\$2,360.27
00006417	E03534	KIM, SAMUEL K	05/05/2022	\$3,725.27
00006418	E03254	KIRZHNER, ALLEN G	05/05/2022	\$3,431.78
00006419	E03988	LI, REBECCA PIK KWAN	05/05/2022	\$4,124.27
00006420	E02063	MA AE, DAVID	05/05/2022	\$2,011.20
00006421	E03249	MANSON, RAQUEL K	05/05/2022	\$2,723.68
00006422	E04837	MARTINEZ, ALFREDO	05/05/2022	\$1,917.56
00006423	E02124	MEISLAHN, TYLER	05/05/2022	\$1,631.52
00006424	E04403	MONTGOMERY, JESSE K	05/05/2022	\$2,248.95
00006425	E04707	MORRIS, JUSTIN M	05/05/2022	\$4,077.99
00006426	E03590	MOYA JR, STEVEN J	05/05/2022	\$2,376.98
00006427	E03519	MURAD, BASIL G	05/05/2022	\$2,859.97
00006428	E03144	NATLAND, KIRK L	05/05/2022	\$1,465.15
00006429	E04291	NGUYEN, DUC TRUNG	05/05/2022	\$2,206.33
00006430	E04904	NGUYEN, LISA	05/05/2022	\$416.56
00006431	E03221	NICOLAE, CORNELIU	05/05/2022	\$3,083.79
00006432	E04210	NUNES, BRANDON S	05/05/2022	\$1,704.96
00006433	E03923	ORNELAS, ANDREW I	05/05/2022	\$2,822.06
00006434	E03582	ORTEGA, DAVID A	05/05/2022	\$2,690.62
00006435	E03578	PASILLAS, CELESTINO J	05/05/2022	\$2,833.76
00006436	E03170	PEARSON, WILLIAM F	05/05/2022	\$2,503.89
00006437	E04950	PHAM ADA, DYLLAN TUAN ANH	05/05/2022	\$274.92

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00006439	E02500	PORRAS, STEPHEN	05/05/2022	\$3,523.14
00006440	E04489	PRUDHOMME, CHRISTOPHER B	05/05/2022	\$1,432.34
00006441	E07590	RUITENSCHILD, LES A	05/05/2022	\$3,365.22
00006442	E03926	RUIZ, JONATHAN	05/05/2022	\$2,248.35
00006443	E07690	SANTOS, ALEXIS	05/05/2022	\$1,833.55
00006444	E07692	SARMIENTO, ADRIAN M	05/05/2022	\$2,486.45
00006445	E04956	SON, TOMMY T	05/05/2022	\$2,221.45
00006446	E04301	TALAMANTES JR, ALBERT	05/05/2022	\$2,148.89
00006447	E04121	TRAN, MINH K	05/05/2022	\$2,349.55
00006448	E00151	VALENZUELA JR, ALEJANDRO	05/05/2022	\$0.00
00006449	E08881	VALENZUELA, ALEJANDRO N	05/05/2022	\$3,766.46
00006450	E01882	VIRAMONTES, JESSE	05/05/2022	\$1,841.25
00006451	E04195	WOLLAND, RONALD J	05/05/2022	\$1,545.74
00006452	E09940	YERGENSEN, VICTOR K	05/05/2022	\$3,305.43
00006453	E09954	ZAVALA, JOHN	05/05/2022	\$2,380.00
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00184964	E04994	GREENUP, BREANNA C	05/05/2022	\$667.58
00184965	E00977	BELAIR, DIANE	05/05/2022	\$2,021.77
00184966	E05009	ALVAREZ, CYNTHIA	05/05/2022	\$952.66
00184967	E04982	GONZALEZ, KATHERYN	05/05/2022	\$596.10
00184968	E04824	PACHECO, LAURA M	05/05/2022	\$395.96
00184969	E04938	TAING, BRANDON J	05/05/2022	\$117.64
00184970	E04976	BELTHIUS, TYLER E	05/05/2022	\$497.42
00184971	E05002	CARBALLO, MILTON A	05/05/2022	\$3,243.52
00184972	E05003	HA, DANNY	05/05/2022	\$4,221.27
00184973	E05001	RODRIGUEZ, RYAN ELIJAH	05/05/2022	\$2,395.34
00184974	E04977	VAZQUEZ, BRIAN M	05/05/2022	\$497.42
00184975	E04997	FLORES, ANTHONY	05/05/2022	\$713.67
00184976	E04222	MOSS, DANIEL C	05/05/2022	\$1,055.44
00184977	E03529	ROCHA, MICHAEL F	05/05/2022	\$2,066.37
00184978	E03670	VITALI, SUSAN	05/05/2022	\$711.37
00184979	E03446	JIMENEZ, VIDAL	05/05/2022	\$3,520.25
Check: 16				\$23,673.78
Total: 16				\$23,673.78



5/5/2022

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To:	Scott C. Stiles	From:	Lisa L. Kim
Dept.:	City Manager	Dept.:	Community and Economic Development
Subject:	Introduction and first reading Date: 5/10/2022 of an ordinance approving Amendment No. A-034-2022		

OBJECTIVE

To transmit a recommendation from the Planning Commission to the City Council to approve an Ordinance to amend Section 9.18.020 (Uses Permitted) of Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code to allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone to effectuate approval of an automobile fleet storage project on a vacant lot (Assessor's Parcel No. 132-402-20) located on the north side of Chapman Avenue, east side of Gilbert Street, near the intersection of Chapman Avenue and Gilbert Street. Specifically, the City Council is requested to take the following action: To introduce and conduct the first reading of an Ordinance approving Amendment No. A-034-2022, a zoning text amendment to allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone in conjunction with an existing new car dealership located within the City of Garden Grove, subject to specified Special Operating Conditions and Development Standards.

BACKGROUND

The subject site is a 1.7-acre vacant lot, oriented diagonally, with frontage along the north side of Chapman Avenue and along the east side of Gilbert Street, located near the intersection of Chapman Avenue and Gilbert Street. The site was a portion of a former Pacific Electric Right-of-Way, which bisected the City of Garden Grove running through, or along, major commercial centers and residential areas. Since its abandonment as an operating rail line in the early 1970s, the right-of-way had presented a linear void to the community, which had created areas of blight along the corridor. The right-of-way was purchased by the Orange County Transit District (now known today as the Orange County Transit Authority (OCTA)) in 1982 as a component in an overall transit network with future plans to link areas in Los Angeles County with Orange County cities. In 1990, the Orange County Transit District, and the former Garden Grove Agency for Community Development, had entered into an agreement for the purchase and joint use development of portions of the right-of-way running through Garden Grove. The agreement was made in part,

at the time, to facilitate various areas of development in Garden Grove that ran along, or near the right-of-way, corridor such as commercial centers near Garden Grove Boulevard and Euclid Street, and Chapman Avenue and Brookhurst Street. The agreement provided for permanent underground, and above-ground, easements for transit purposes within the right-of-way while allowing for restricted surface development. Any future development, including parking lots, would be subject to removal or modification during the construction phase of a future transit system. The intent of the agreement, in part, was to assure the long term development of the corridor for transit-related purposes would not be precluded by any future uses.

In 2000, an easement was recorded to allow a thirty-foot (30'-0") wide private road, located at the southern end of the subject property, fronting Chapman Avenue, with adjoining landscaping and signage improvements, to provide additional vehicular access to the adjacent shopping center located to the north/east. This private road access easement area will remain as-is as part of the proposed project with no proposed modifications.

In 2005, the property owner purchased the subject property from the Garden Grove Agency for Community Development. The property has since been vacant. In 2012, the City of Garden Grove completed a comprehensive re-zoning effort throughout various areas of the City by establishing new mixed use zoning, in part, to spur additional development opportunities and flexibility. Even with the new mixed use zoning in effect, the property owner has had difficulty finding a long-term, and suitable use, for the property, due primarily to the surface development restrictions on the property (e.g., inability to develop the property with permanent buildings).

The site is zoned NMU (Neighborhood Mixed Use) and has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2. The property abuts NMU zoned properties to the north, east, and across Chapman Avenue, to the south, and O-S (Open Space) and R-3 (Multiple-Family Residential) zoned properties, across Gilbert Street, to the west.

The applicant has requested the City take land use actions necessary for it to develop an automobile fleet storage lot on the subject vacant lot (Assessor's Parcel No. 132-402-20) located on the north side of Chapman Avenue, east side of Gilbert Street, near the intersection of Chapman Avenue and Gilbert Street.

On April 7, 2022, the Planning Commission held a public hearing to consider Amendment No. A-034-2022, Site Plan No. SP-108-2022, and Conditional Use Permit No. CUP-218-2022 for approval of the following: (1) a zoning text amendment to allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone in conjunction with an existing new car dealership located within the City of Garden Grove, subject to specified Special Operating Conditions and Development Standards; (2) Site Plan approval to improve an existing vacant property (Assessor's Parcel No. 132-402-20) with a new automobile fleet storage lot; and (3) Conditional Use Permit approval to allow the use of a new automobile fleet storage lot, operated by the existing Chevrolet dealership in Garden Grove (located at 10150 Trask Avenue), on the vacant property for the temporary storage of new automobiles. There were no speakers from the public who came forward to speak in favor of or in opposition to the project. The

Planning Commission included a minor modification to subsection E, of the proposed Special Operating Conditions and Development Standards for "automobile fleet storage" uses in the NMU zone, as follows (new additions in ***bold-italics***) "Perimeter fencing shall not include the use of barbed wire, "Constantine" wire, razor wire, or other similar fence treatment ***that is visible from the public street or located on top of the fence***". By a vote of 4-0 (with 3 commissioners absent), the Planning Commission adopted Resolutions (6038-22 and 6039-22) to approve SP-108-2022 and CUP-218-2022 and to recommend that the City Council approve A-034-2022. The approval of SP-108-2022 and CUP-218-2022, along with the related Conditions of Approval, are contingent upon City Council's adoption of an ordinance approving A-034-2022, for a zoning text amendment to allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone in conjunction with an existing new car dealership located within the City of Garden Grove, subject to specified Special Operating Conditions and Development Standards.

DISCUSSION

Project Summary

The applicant is proposing to develop a portion of the existing vacant property with a new automobile fleet storage lot. "Automobile Fleet Storage" is defined as a paved area(s), enclosed or open, for the storage or maintaining of automobiles for a period of time in excess of 72 hours. "Automobile Fleet Storage" is currently permitted in the following zones: the C-3 (Heavy Commercial) zone as a conditionally permitted use (Conditional Use Permit required); and the M-1 (Light Industrial) zone as an automatically permitted use (No Conditional Use Permit required).

Currently, "Automobile Fleet Storage" is not a listed permitted use (whether automatically permitted or conditionally permitted) in the NMU (Neighborhood Mixed Use) zone (or in any other mixed use zones). In order to facilitate the development of the proposed automobile fleet storage lot, text amendments to Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code are necessary to establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU zone, as well as to establish Special Operating Conditions and Development Standards applicable to said use.

The proposed amendment would allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone for the storage of new automobiles, provided the use is conducted only in conjunction with an existing new car dealership within the City of Garden Grove. Automobile fleet storage uses would also be subject to the following special operating conditions and development standards:

A. Automobile fleet storage shall only be permitted on sites zoned NMU (Neighborhood Mixed Use) that are also within the Pacific Electric/OCTA (Orange County Transportation Authority) Right-of-Way.

B. Automobile fleet storage shall not be located directly adjacent to, or abutting, residentially zoned and developed properties.

C. A Site Plan and Conditional Use Permit shall be required, pursuant to Municipal Code Section 9.32.030.

D. On-site vehicle storage or maintenance shall be limited to new automobiles. There shall be no storing or maintaining of used automobiles, inoperable automobiles, or automobiles in a wrecked or dismantled condition.

E. The automobile fleet storage lot shall be secured by a perimeter fence or wall with a minimum height of six feet, but not to exceed eight feet, and shall also include a vehicular access gate(s) providing access to a public street(s). Site access, for vehicular ingress and egress, shall be limited to principal, major, primary, or secondary arterial streets, as identified in the City's Master Plan of Streets and Highways. There shall be no access to residential streets or adjacent properties. The perimeter fence/wall and the location of any vehicular access gate(s) shall be subject to review and approval by the Planning Division and the Public Works Department, Engineering Division. Perimeter fencing shall not include the use of barbed wire, "Constantine" wire, razor wire, or other similar fence treatment that is visible from the public street or located on top of the fence.

F. The perimeter fence or wall for the site shall maintain a minimum setback of 15 feet to any property line (as measured from the ultimate right-of-way) along a public street. All required setbacks shall be fully landscaped with automatic irrigation and shall comply with the City's Water Efficiency Ordinance, pursuant to Municipal Code Section 9.18.120.020, Water Efficiency Requirements. All landscaped areas, within required setbacks, shall be planted with an effective combination of trees, grass berms, ground cover, lawn, shrubbery, and/or approved dry decorative landscaping material.

G. All on-site lighting shall comply with the City's lighting standards, pursuant to Municipal Code Section 9.18.140.070, Parking Design Standards.

H. No site signage shall be permitted.

I. There shall be no loading or unloading of automobiles (e.g., via semi-truck) on-site or within any public right-of-way. All automobiles that access the automobile fleet storage lot shall be driven individually by authorized employees of the new car dealership, within the City of Garden Grove, that the lot is serving.

J. All parking spaces, driveways and maneuvering areas shall be fully paved and maintained with asphalt, concrete, or other City approved material.

The Special Operating Conditions and Development Standards, as well as any additional site-specific Conditions of Approval required through the Site Plan and Conditional Use Permit process, will ensure that the proposed automobile fleet storage use, including any other future automobile fleet storage uses in the NMU zone, will be compatible with the physical, functional, and visual quality of the neighboring uses and desirable neighborhood characteristics. Furthermore, such uses will not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and

pedestrian access.

In conjunction with the Amendment request, the applicant is requesting concurrent Site Plan approval to improve the existing vacant property with a new automobile fleet storage lot.

Pursuant to the proposed development plan, the project would improve an existing 1.7-acre vacant lot with an enclosed automobile fleet storage parking lot consisting of 144 parking spaces, two gated access points, perimeter fencing ranging between six feet (6'-0") to eight feet (8'-0"), enhanced new landscaping, site lighting, and new paving.

The applicant has indicated that vehicle deliveries, via semi-truck, will initially be offloaded at the Chevrolet dealership site, located at 10150 Trask Avenue. Subsequently, vehicles to be stored at the proposed automobile fleet storage site will be driven individually from the Chevrolet dealership location. There will be no on-site semi-truck unloading of vehicles on the subject property or within any public right-of-way.

Aesthetically, the applicant has been sensitive to ensuring compatibility with neighboring uses, and has designed the project accordingly, with the end result of the project appearing like-kind to a standard commercial parking lot area. The proposed automobile fleet storage lot will provide enhanced landscaped setbacks, including landscaping maintained within the areas immediately adjacent to and outside the southern access gate.

In conjunction with the Amendment and Site Plan request, the applicant is requesting concurrent Conditional Use Permit approval to allow the use and operation of a new automobile fleet storage lot, operated by the existing Chevrolet dealership in Garden Grove (located at 10150 Trask Avenue), on the vacant property for the storage of new automobiles. As mentioned prior, the project will be subject to Special Operating Conditions and Development Standards, including additional site-specific Conditions of Approval, which will minimize potential impacts to the adjoining area. Provided the Conditions of Approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area. City Staff has reviewed the proposed plans associated with the site improvement to ensure that adequate site circulation, access, and parking are maintained.

FINANCIAL IMPACT

None.

RECOMMENDATION

It is recommended that the City Council:

- Conduct a Public Hearing;
- Introduce and conduct the first reading of an Ordinance approving Amendment No. A-034-2022 for a zoning text amendment to allow "Automobile Fleet

Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone in conjunction with an existing new car dealership located within the City of Garden Grove, subject to specified Special Operating Conditions and Development Standards.

ATTACHMENTS:

Description	Upload Date	Type	File Name
Planning Commission Staff Report dated April 7, 2022	4/18/2022	Backup Material	Planning_Commission_Staff_Report_dated_April_7__2022.DOC
Planning Commission Resolution No. 6038-22	4/18/2022	Backup Material	Planning_Commission_Resolution_No._6038-22.DOC
Planning Commission Resolution No. 6039-22	4/18/2022	Backup Material	Planning_Commission_Resolution_No._6039-22.DOC
Exhibit "A" Conditions of Approval	4/18/2022	Backup Material	Exhibit_"A"_Conditions_of_Approval.DOC
Planning Commission Minutes of April 7, 2022	4/18/2022	Backup Material	Planning_Commission_Minutes_of_April_7__2022.docx
Proposed Plans for the Project	4/18/2022	Backup Material	Proposed_Plans_for_the_Project.pdf
Draft City Council Ordinance approving Amendment No. A-034-2022	4/18/2022	Ordinance	Draft_City_Council_Ordinance_approving_Amendment_No._A-034-2022.DOCX

COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

AGENDA ITEM NO.: C.1.	SITE LOCATION: North side of Chapman Avenue, east side of Gilbert Street, near the intersection of Chapman Avenue and Gilbert Street
HEARING DATE: April 7, 2022	GENERAL PLAN LAND USE DESIGNATION: Residential/Commercial Mixed Use 2
CASE NO: Amendment No. A-034-2022, Site Plan No. SP-108-2022, Conditional Use Permit No. CUP-218-2022	ZONING: NMU (Neighborhood Mixed Use)
APPLICANT: Andresen Architecture Inc.	CEQA DETERMINATION: Exempt
PROPERTY OWNER(S): Hewson/Howard G.C., LLC	APNs: 132-402-20

REQUEST:

A request for (1) a zoning text amendment to allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone in conjunction with an existing new car dealership located within the City of Garden Grove, subject to specified Special Operating Conditions and Development Standards; (2) Site Plan approval to improve an existing vacant property (Assessor's Parcel No. 132-402-20) with a new automobile fleet storage lot; and (3) Conditional Use Permit approval to allow the use of a new automobile fleet storage lot, operated by the existing Chevrolet dealership in Garden Grove (located at 10150 Trask Avenue), on the vacant property for the temporary storage of new automobiles.

BACKGROUND:

The subject site is a 1.7-acre vacant lot, oriented diagonally, with frontage along the north side of Chapman Avenue and along the east side of Gilbert Street, located near the intersection of Chapman Avenue and Gilbert Street. The site was a portion of a former Pacific Electric Right-of-Way, which bisected the City of Garden Grove running through, or along, major commercial centers and residential areas. Since its abandonment as an operating rail line in the early 1970s, the right-of-way had presented a linear void to the community, which had created areas of blight along the corridor. The right-of-way was purchased by the Orange County Transit District (now known today as the Orange County Transit Authority (OCTA)) in 1982 as a component in an overall transit network with future plans to link areas in Los

Angeles County with Orange County cities. In 1990, the Orange County Transit District, and the former Garden Grove Agency for Community Development, had entered into an agreement for the purchase and joint use development of portions of the right-of-way running through Garden Grove. The agreement was made in part, at the time, to facilitate various areas of development in Garden Grove that ran along, or near the right-of-way, corridor such as commercial centers near Garden Grove Boulevard and Euclid Street, and Chapman Avenue and Brookhurst Street. The agreement provided for permanent underground, and above-ground, easements for transit purposes within the right-of-way while allowing for restricted surface development. Any future development, including parking lots, would be subject to removal or modification during the construction phase of a future transit system. The intent of the agreement, in part, was to assure the long term development of the corridor for transit-related purposes would not be precluded by any future uses.

In 2000, an easement was recorded to allow a thirty-foot (30'-0") wide private road, located at the southern end of the subject property, fronting Chapman Avenue, with adjoining landscaping and signage improvements, to provide additional vehicular access to the adjacent shopping center located to the north/east. This private road access easement area will remain as-is as part of the proposed project with no proposed modifications.

In 2005, the property owner purchased the subject property from the Garden Grove Agency for Community Development. The property has since been vacant. In 2012, the City of Garden Grove completed a comprehensive re-zoning effort throughout various areas of the City by establishing new mixed use zoning, in part, to spur additional development opportunities and flexibility. Even with the new mixed use zoning in effect, the property owner has had difficulty finding a long-term, and suitable use, for the property, due primarily to the surface development restrictions on the property (e.g., inability to develop the property with permanent buildings).

The site is zoned NMU (Neighborhood Mixed Use) and has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2. The property abuts NMU zoned properties to the north, east, and across Chapman Avenue, to the south, and O-S (Open Space) and R-3 (Multiple-Family Residential) zoned properties, across Gilbert Street, to the west.

DISCUSSION:

AMENDMENT:

The applicant is proposing to develop a portion of the existing vacant property with a new automobile fleet storage lot. "Automobile Fleet Storage" is defined as a paved area(s), enclosed or open, for the storage or maintaining of automobiles for a period of time in excess of 72 hours. "Automobile Fleet Storage" is currently permitted in the following zones: the C-3 (Heavy Commercial) zone as a

conditionally permitted use (Conditional Use Permit required); and the M-1 (Light Industrial) zone as an automatically permitted use (No Conditional Use Permit required).

Currently, "Automobile Fleet Storage" is not a listed permitted use (whether automatically permitted or conditionally permitted) in the NMU (Neighborhood Mixed Use) zone (or in any other mixed use zones). In order to facilitate the development of the proposed automobile fleet storage lot, text amendments to Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code are necessary to establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU zone, as well as to establish Special Operating Conditions and Development Standards applicable to said use.

The proposed amendment would allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone for the storage of new automobiles, provided the use is conducted only in conjunction with an existing new car dealership within the City of Garden Grove. Automobile fleet storage uses would also be subject to the following special operating conditions and development standards:

- A. *Automobile fleet storage shall only be permitted on sites zoned NMU (Neighborhood Mixed Use) that are also within the Pacific Electric/OCTA (Orange County Transportation Authority) Right-of-Way.*
- B. *Automobile fleet storage shall not be located directly adjacent to, or abutting, residentially zoned and developed properties.*
- C. *A Site Plan and Conditional Use Permit shall be required, pursuant to Municipal Code Section 9.32.030.*
- D. *On-site vehicle storage or maintenance shall be limited to new automobiles. There shall be no storing or maintaining of used automobiles, inoperable automobiles, or automobiles in a wrecked or dismantled condition.*
- E. *The automobile fleet storage lot shall be secured by a perimeter fence or wall with a minimum height of six feet, but not to exceed eight feet, and shall also include a vehicular access gate(s) providing access to a public street(s). Site access, for vehicular ingress and egress, shall be limited to principal, major, primary, or secondary arterial streets, as identified in the City's Master Plan of Streets and Highways. There shall be no access to residential streets or adjacent properties. The perimeter fence/wall and the location of any vehicular access gate(s) shall be subject to review and approval by the Planning Division and the Public Works Department, Engineering Division. Perimeter fencing shall not include the use of barbed wire, "Constantine" wire, razor wire, or other similar fence treatment.*

- F. The perimeter fence or wall for the site shall maintain a minimum setback of 15 feet to any property line (as measured from the ultimate right-of-way) along a public street. All required setbacks shall be fully landscaped with automatic irrigation and shall comply with the City's Water Efficiency Ordinance, pursuant to Municipal Code Section 9.18.120.020, Water Efficiency Requirements. All landscaped areas, within required setbacks, shall be planted with an effective combination of trees, grass berms, ground cover, lawn, shrubbery, and/or approved dry decorative landscaping material.*
- G. All on-site lighting shall comply with the City's lighting standards, pursuant to Municipal Code Section 9.18.140.070, Parking Design Standards.*
- H. No site signage shall be permitted.*
- I. There shall be no loading or unloading of automobiles (e.g., via semi-truck) on-site or within any public right-of-way. All automobiles that access the automobile fleet storage lot shall be driven individually by authorized employees of the new car dealership, within the City of Garden Grove, that the lot is serving.*
- J. All parking spaces, driveways and maneuvering areas shall be fully paved and maintained with asphalt, concrete, or other City approved material.*

The Special Operating Conditions and Development Standards, as well as any additional site-specific Conditions of Approval required through the Conditional Use Permit process, will ensure that the proposed automobile fleet storage use, including any other future automobile fleet storage uses in the NMU zone, will be compatible with the physical, functional, and visual quality of the neighboring uses and desirable neighborhood characteristics. Furthermore, such uses will not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access.

SITE PLAN:

In conjunction with the Amendment request, the applicant is requesting concurrent Site Plan approval to improve the existing vacant property with a new automobile fleet storage lot.

Site Design and Circulation

The subject site is a 1.7-acre vacant lot, oriented diagonally, with frontage along the north side of Chapman Avenue and along the east side of Gilbert Street, located near the intersection of Chapman Avenue and Gilbert Street. Primary access to the site will be via Chapman Avenue and through the existing drive aisle, which runs

through the southern portion of the property. A thirty-foot (30'-0") wide electric sliding gate, fitted with a Knox box for emergency access, set back 23'-9" from the adjacent drive aisle, will provide vehicular access to the enclosed automobile fleet storage lot. A secondary access gate, setback fifteen feet (15'-0") from the public right-of-way, will be provided at the northern end of the property, fronting Gilbert Street. This secondary access will remain locked, serving only as emergency access, and will provide a manual sliding gate fitted with a Knox box.

The vacant property will be improved with a new automobile fleet storage lot consisting of a paved parking lot area with associated site improvements including striped parking stalls, perimeter fencing, parking lot lighting, and landscaping. A 26'-0" wide two-way drive aisle will run diagonally through the center of the property, with rows of parking spaces on each side. The southern side of the property will provide 96 tandem parking spaces. The northern side of the property will provide 48 parking spaces. The proposed automobile fleet storage lot will provide a total of 144 parking spaces. A ten-foot by twenty-foot (10' x 20') "No Parking" hatched area will be located just outside the southerly gate, to provide a turnaround area for vehicles.

The applicant has indicated that vehicle deliveries, via semi-truck, will initially be offloaded at the Chevrolet dealership site, located at 10150 Trask Avenue. Subsequently, vehicles to be stored at the proposed automobile fleet storage site will be driven individually from the Chevrolet dealership location. There will be no on-site semi-truck unloading of vehicles on the subject property or within any public right-of-way.

Perimeter Walls and Landscaping

Aesthetically, the applicant has been sensitive to ensuring compatibility with neighboring uses, and has designed the project accordingly, with the end result of the project appearing like-kind to a standard commercial parking lot area. The proposed automobile fleet storage lot will provide enhanced landscaped setbacks, including landscaping maintained within the areas immediately adjacent to and outside the southern access gate. All landscaped areas will be fitted with automatic irrigation and will comply with the City's Water Efficiency Ordinance, pursuant to Municipal Code Section 9.18.120.020, Water Efficiency Requirements. All landscaped areas, within required setbacks, will be planted with an effective combination of trees, grass berms, ground cover, lawn, shrubbery, and/or approved dry decorative landscaping material.

The project will provide eight-foot (8'-0") high vehicular access gates (wrought iron) at the northerly and southerly access points. The remaining perimeter of the site will maintain six-foot (6'-0") high fencing.

CONDITIONAL USE PERMIT:

In conjunction with the Amendment and Site Plan request, the applicant is requesting concurrent Conditional Use Permit approval to allow the use and operation of a new automobile fleet storage lot, operated by the existing Chevrolet dealership in Garden Grove (located at 10150 Trask Avenue), on the vacant property for the storage of new automobiles. As mentioned prior, the project will be subject to Special Operating Conditions and Development Standards, including additional site-specific Conditions of Approval, which will minimize potential impacts to the adjoining area. Provided the Conditions of Approval are adhered to for the life of the project, the use will be harmonious with the persons who work and live in the area. City Staff has reviewed the proposed plans associated with the site improvement to ensure that adequate site circulation, access, and parking are maintained.

CEQA Environmental Review:

The proposed development is exempt from the California Environmental Quality Act ("CEQA") pursuant to CEQA's Class 1 Exemption, Existing Facilities (CEQA Guidelines §15301) and Review for Exemption (CEQA Guidelines §15061(b)(3)).

RECOMMENDATION:

Staff recommends that the Planning Commission:

- Adopt the attached Resolution No. 6038-22 recommending that the Garden Grove City Council approve Amendment No. A-034-2022 to allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone, and to establish related Special Operating Conditions and Development Standards; and
- Adopt the attached Resolution No. 6039-22 approving Site Plan No. SP-108-2022 and Conditional Use Permit No. CUP-218-2022, subject to the recommended Conditions of Approval, and contingent upon City Council adoption of an Ordinance approving Amendment No. A-034-2022.

Lee Marino
Planning Services Manager



By: Chris Chung
Urban Planner

RESOLUTION NO. 6038-22

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE RECOMMENDING THAT THE CITY COUNCIL APPROVE AMENDMENT NO. A-034-2022, A TEXT AMENDMENT TO CHAPTER 9.18 (MIXED USE REGULATIONS AND DEVELOPMENT STANDARDS) OF TITLE 9 OF THE CITY OF GARDEN GROVE MUNICIPAL CODE TO ALLOW "AUTOMOBILE FLEET STORAGE" AS A CONDITIONALLY PERMITTED USE IN THE NMU (NEIGHBORHOOD MIXED USE) ZONE, AND TO ESTABLISH RELATED SPECIAL OPERATING CONDITIONS AND DEVELOPMENT STANDARDS.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on April 7, 2022, does hereby recommend that the City Council approve Amendment No. A-034-2022 and adopt the draft Ordinance attached hereto as Exhibit "A".

BE IT FURTHER RESOLVED in the matter of Amendment No. A-034-2022, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The case was initiated by Andresen Architecture, Inc., the applicant, with authorization from the property owner, Hewson/Howard G.C., LLC.
2. The applicant has requested that the City adopt a zoning text amendment to allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone in conjunction with an existing new car dealership located within the City of Garden Grove, subject to specified Special Operating Conditions and Development Standards. The proposed text amendment is referred to as Amendment No. A-034-2022.
3. In conjunction with this request, the applicant has also requested approval of Site Plan No. SP-108-2022 to improve an existing vacant property with a new automobile fleet storage lot, and Conditional Use Permit No. CUP-218-2022 to allow the use of a new automobile fleet storage lot, operated by the existing Chevrolet dealership in Garden Grove (located at 10150 Trask Avenue), on the vacant property for the temporary storage of new automobiles. The site of the proposed automobile fleet storage lot is located on the north side of Chapman Avenue, east side of Gilbert Street, near the intersection of Chapman Avenue and Gilbert Street, and is identified as Assessor's Parcel No. 132-402-20. Approval of the requested Site Plan and Conditional Use Permit is contingent upon City Council approval of Amendment No. A-034-2022.
4. Concurrent with its adoption of this Resolution, the Planning Commission adopted Resolution No. 6039-22 approving Site Plan No. SP-108-2022 and Conditional Use Permit No. CUP-218-2022, subject to the City Council's adoption of an Ordinance approving Amendment No. A-034-2022.
5. Amendment No. A-034-2022, and the establishment of an automobile fleet storage lot, pursuant to Site Plan No. SP-108-2022 and Conditional Use Permit

No. CUP-218-2022, are collectively referred to herein as the "Project." The Planning Commission recommends the City Council find that the proposed Project is categorically exempt from review under the California Environmental Quality Act ("CEQA"), Cal. Pub. Resources Code Section 21000 et seq., pursuant to Sections 15061(b)(3), Common Sense, and 15301, Existing Facilities, of the State CEQA Guidelines (14 Cal. Code Regs., §15061 and §15301).

6. Pursuant to legal notice, a public hearing was held on April 7, 2022, and all interested persons were given an opportunity to be heard.
7. Report submitted by City staff was reviewed.
8. The Planning Commission gave due and careful consideration to the matter during its meeting of April 7, 2022.

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030, are as follows:

FACTS:

The former Pacific Electric Right-of-Way bisects the City of Garden Grove running through, or along, major commercial centers and residential areas. Since its abandonment as an operating rail line in the early 1970s, the right-of-way had presented a linear void to the community, which had created areas of blight along the corridor. The right-of-way was purchased by the Orange County Transit District (now known today as the Orange County Transit Authority (OCTA)) in 1982 as a component in an overall transit network with future plans to link areas in Los Angeles County with Orange County cities. In 1990, the Orange County Transit District, and the former Garden Grove Agency for Community Development, had entered into an agreement for the purchase and joint use development of portions of the right-of-way running through Garden Grove. The agreement was made in part, at the time, to facilitate various areas of development in Garden Grove that ran along, or near, the right-of-way corridor such as commercial centers near Garden Grove Boulevard and Euclid Street, and Chapman Avenue and Brookhurst Street. The agreement provided for permanent underground, and above-ground, easements for transit purposes within the right-of-way while allowing for restricted surface development. Any future development, including parking lots, would be subject to removal or modification during the construction phase of a future transit system. The intent of the agreement, in part, was to assure the long term development of the corridor for transit-related purposes would not be precluded by any future uses.

The proposed amendment to Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code would establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU zone,

subject to certain Special Operating Conditions and Development Standards. Pursuant to the proposed Operating Conditions and Development Standards, automobile fleet storage would only be permitted on sites located within the Pacific Electric / OCTA right-of-way and in conjunction with an existing new car dealership located within the City. The proposed standards would also prohibit fleet storage lots from being located directly adjacent to or abutting residentially zoned and developed properties, would prohibit signage, and would limit the use of such lots to the storage/maintenance of new automobiles and prohibit the storage or maintenance of used, inoperable, or wrecked/dismantled automobiles. Loading or unloading of automobiles (e.g., via semi-truck) also would not be permitted on-site or within any public right-of-way. Perimeter fencing set back a minimum of 15 feet (15'-0") from any public right-of-way, with enhanced landscaping to buffer the lot from surrounding uses, would be required for all automobile fleet storage lots. Standards for lighting and paving would also be imposed. Pursuant to the proposed amendment, approval of both a Site Plan and a Conditional Use Permit would be required for any automobile fleet storage use.

FINDINGS AND REASONS:

Amendment:

1. The proposed Amendment is internally consistent with the goals, policies, and elements of the General Plan.

Under the proposed Amendment No. A-034-2022, text amendments to Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code would establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU zone, subject to certain Special Operating Conditions and Development Standards for said use.

Policy LU-2.1 of the General Plan Land Use Element strives to protect residential areas from the effects of potentially incompatible uses and provides that, where new commercial or industrial development is allowed adjacent to residentially zoned districts, standards for circulation, noise, setbacks, buffer areas, landscaping and architecture, which ensure compatibility between the uses, should be maintained. Special Operating Conditions and Development Standards established through the proposed amendment, as well as site specific Conditions of Approval required through the Site Plan and Conditional Use Permit process, will mitigate any potential impacts to nearby uses. Standards and requirements imposed through the proposed Amendment include, but are not limited to, the following: automobile fleet storage may only be conducted in conjunction with an existing new car dealership located within the City; automobile fleet storage shall only be permitted on sites located within the Pacific Electric / OCTA right-of-way; automobile fleet storage uses shall not be located directly adjacent to or abutting residentially zoned and developed properties; automobile fleet storage uses will only be permitted to store new automobiles

and will be prohibited from storing used, inoperable, or wrecked/dismantled automobiles; automobile fleet storage lots must be secured by a perimeter fence; minimum setbacks of 15 feet (15'-0") will be required from any public right-of-way with enhanced landscaping to buffer the lot from surrounding uses; and loading or unloading of automobiles (e.g., via semi-truck) will not be permitted on-site or within any public right-of-way.

Policy LU-2.4 of the General Plan Land Use Element strives to assure that the type and intensity of land use shall be consistent with that of the immediate neighborhood. Special Operating Conditions and Development Standards, as well as site specific Conditions of Approval required through the Site Plan and Conditional Use Permit process, will mitigate any potential impacts to nearby uses, and ensure that automobile fleet storage uses will be designed in a manner that maintains consistency with the type and intensity of existing land uses in the immediate neighborhood area.

Policy LU-4.5 of the General Plan Land Use Element requires that commercial and industrial developments adjoining residential uses be adequately screened and buffered from residential areas. The Special Operating Conditions and Development Standards established through the proposed amendment would prohibit automobile fleet storage uses in the NMU zone from being located directly adjacent to residentially zoned and developed properties, would require perimeter fencing, and would require a minimum 15-foot landscaped setback from any property line.

2. The proposed Amendment will promote the public interest, health, safety and welfare.

The proposed Amendment will promote public interest, health, safety, and welfare by establishing Special Operating Conditions and Development Standards and requiring the approval of a Site Plan and Conditional Use Permit for any proposed automobile fleet storage lot. The Special Operating Conditions and Development Standards, as well as site specific Conditions of Approval required through the Site Plan and Conditional Use Permit process, will collectively mitigate any potential impacts to nearby uses. Standards and requirements established through the proposed Amendment include, but are not limited to, the following: automobile fleet storage may only be conducted in conjunction with an existing new car dealership located within the City; automobile fleet storage shall only be permitted on sites located within the Pacific Electric / OCTA right-of-way; automobile fleet storage uses shall not be located directly adjacent to or abutting residentially zoned and developed properties; automobile fleet storage uses will only be permitted to store new automobiles and will be prohibited from storing used, inoperable, or wrecked/dismantled automobiles; automobile fleet storage lots must be secured by a perimeter fence; minimum setbacks of 15 feet (15'-0") will be required from any public right-of-way with enhanced landscaping to buffer the

lot from surrounding uses; and loading or unloading of automobiles (e.g., via semi-truck) will not be permitted on-site or within any public right-of-way.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. Amendment No. A-034-2022 possesses characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.32.030.D.1 (Code Amendment).
2. The Planning Commission recommends that the City Council approve Amendment No. A-034-2022 and adopt the draft Ordinance attached hereto as Exhibit "A".

Adopted this 7th day of April 2022

ATTEST:

/s/ JOHN RAMIREZ
CHAIR

/s/ JUDITH MOORE
RECORDING SECRETARY

STATE OF CALIFORNIA)
COUNTY OF ORANGE) SS:
CITY OF GARDEN GROVE)

I, JUDITH MOORE, Secretary of the City of Garden Grove Planning Commission, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Garden Grove, California, at a meeting held on April 7, 2022, by the following vote:

AYES:	COMMISSIONERS:	(4)	CUNNINGHAM, LINDSAY, RAMIREZ, SOEFFNER
NOES:	COMMISSIONERS:	(0)	NONE
ABSENT:	COMMISSIONERS:	(3)	ARESTEGUI, LEHMAN, PEREZ

/s/ JUDITH MOORE
RECORDING SECRETARY

PLEASE NOTE: Any request for court review of this decision must be filed within 90 days of the date this decision was final (See Code of Civil Procedure Section 1094.6).

A decision becomes final if it is not timely appealed to the City Council. Appeal deadline is April 28, 2022.

RESOLUTION NO. 6039-22

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING SITE PLAN NO. SP-108-2022 AND CONDITIONAL USE PERMIT NO. CUP-218-2022, FOR A PROPERTY LOCATED ON THE NORTH SIDE OF CHAPMAN AVENUE, EAST SIDE OF GILBERT STREET, NEAR THE INTERSECTION OF CHAPMAN AVENUE AND GILBERT STREET, ASSESSOR'S PARCEL NO. 132-402-20.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on April 7, 2022, does hereby approve Site Plan No. SP-108-2022 and Conditional Use Permit No. CUP-218-2022, for land located on the north side of Chapman Avenue, east side of Gilbert Street, near the intersection of Chapman Avenue and Gilbert Street, Assessor's Parcel No. 132-402-20, subject to (i) the Conditions of Approval attached hereto as "Exhibit A"; and (ii) Garden Grove City Council adoption of an Ordinance approving Amendment No. A-034-2022.

BE IT FURTHER RESOLVED in the matter of Site Plan No. SP-108-2022, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Andresen Architecture, Inc., the applicant, with authorization from the property owner, Hewson/Howard G.C., LLC.
2. The applicant has requested that the City adopt a zoning text amendment to allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone in conjunction with an existing new car dealership located within the City of Garden Grove, subject to specified Special Operating Conditions and Development Standards. The proposed text amendment is referred to as Amendment No. A-034-2022. In conjunction with this request, the applicant has also requested approval of Site Plan No. SP-108-2022 to improve an existing vacant property with a new automobile fleet storage lot and Conditional Use Permit No. CUP-218-2022 to allow the use of a new automobile fleet storage lot, operated by the existing Chevrolet dealership in Garden Grove (located at 10150 Trask Avenue), on the vacant property for the temporary storage of new automobiles. The site of the proposed automobile fleet storage lot is located on the north side of Chapman Avenue, east side of Gilbert Street, near the intersection of Chapman Avenue and Gilbert Street, and is identified as Assessor's Parcel No. 132-402-20. Approval of the requested Site Plan and Conditional Use Permit is contingent upon City Council approval of Amendment No. A-034-2022.
3. Concurrently with its adoption of this Resolution, the Planning Commission adopted Resolution No. 6038-22 recommending that the City Council approve Amendment No. A-034-2022, to amend Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code to establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU zone,

and to establish related Special Operating Conditions and Development Standards.

4. Amendment No. A-034-2022, and the establishment of an automobile fleet storage lot, pursuant to Site Plan No. SP-108-2022 and Conditional Use Permit No. CUP-218-2022, are collectively referred to herein as the "Project." Pursuant to Resolution No. 6038-22, the Planning Commission recommended the City Council find that the proposed Project is categorically exempt from review under the California Environmental Quality Act ("CEQA"), Cal. Pub. Resources Code Section 21000 et seq., pursuant to Sections 15061(b)(3), Common Sense, and 15301, Existing Facilities, of the State CEQA Guidelines (14 Cal. Code Regs., §15061 and §15301).
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on April 7, 2022, and all interested persons were given an opportunity to be heard.
8. The Planning Commission gave due and careful consideration to the matter during its meeting of April 7, 2022, and considered all oral and written testimony presented regarding the Project.

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Section 9.32.030, are as follows:

FACTS:

The subject site is a 1.7-acre vacant lot, oriented diagonally, with frontage along the north side of Chapman Avenue and along the east side of Gilbert Street, located near the intersection of Chapman Avenue and Gilbert Street. The site was a portion of a former Pacific Electric Right-of-Way, which bisected the City of Garden Grove running through, or along, major commercial centers and residential areas. Since its abandonment as an operating rail line in the early 1970s, the right-of-way had presented a linear void to the community, which had created areas of blight along the corridor. The right-of-way was purchased by the Orange County Transit District (now known today as the Orange County Transit Authority (OCTA)) in 1982 as a component in an overall transit network with future plans to link areas in Los Angeles County with Orange County cities. In 1990, the Orange County Transit District, and the former Garden Grove Agency for Community Development, had entered into an agreement for the purchase and joint use development of portions of the right-of-way running through Garden Grove. The agreement was made in

part, at the time, to facilitate various areas of development in Garden Grove that ran along or near the right-of-way corridor such as commercial centers near Garden Grove Boulevard and Euclid Street, and Chapman Avenue and Brookhurst Street. The agreement provided for permanent underground, and above-ground, easements for transit purposes within the right-of-way while allowing for restricted surface development. Any future development, including parking lots, would be subject to removal or modification during the construction phase of a future transit system. The intent of the agreement, in part, was to assure the long term development of the corridor for transit related purposes would not be precluded by any future uses.

In 2000, an easement was recorded to allow a thirty-foot (30'-0") wide private road, located at the southern end of the subject property, fronting Chapman Avenue, with adjoining landscaping and signage improvements, to provide additional vehicular access to the adjacent shopping center located to the north/east. This private road access easement area will remain as-is as part of the proposed project with no proposed modifications.

In 2005, the property owner purchased the subject property from the Garden Grove Agency for Community Development. The property has since been vacant. In 2012, the City of Garden Grove completed a comprehensive re-zoning effort throughout various areas of the City by establishing new mixed use zoning, in part, to spur additional development opportunities and flexibility. Even with the new mixed use zoning in effect, the property owner has had difficulty finding a long-term and suitable use for the property, due primarily to the surface development restrictions on the property (e.g., inability to develop the property with permanent buildings).

The site is zoned NMU (Neighborhood Mixed Use) and has a General Plan Land Use Designation of Residential/Commercial Mixed Use 2. The property abuts NMU zoned properties to the north, east, and across Chapman Avenue, to the south, and O-S (Open Space) and R-3 (Multiple-Family Residential) zoned properties, across Gilbert Street, to the west.

The proposed amendment to Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code would establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU zone, as well as establish Special Operating Conditions and Development Standards. The proposed Site Plan approval would allow improvement of an existing vacant property (Assessor's Parcel No. 132-402-20) with a new automobile fleet storage lot, and Conditional Use Permit approval would allow the use of a new automobile fleet storage lot, operated by the existing Chevrolet dealership in Garden Grove (located at 10150 Trask Avenue), on the vacant property for the temporary storage of new automobiles.

Pursuant to the proposed development plan, the project would improve an existing 1.7-acre vacant lot with an enclosed automobile fleet storage parking lot consisting of 144 parking spaces, two gated access points, perimeter fencing ranging between six feet (6'-0") to eight feet (8'-0"), enhanced new landscaping, site lighting, and new paving.

FINDINGS AND REASONS:

Site Plan:

1. The Site Plan complies with the spirit and intent of the provisions, conditions and requirements of Title 9 and is consistent with the General Plan.

Under the proposed Amendment No. A-034-2022, text amendments to Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code would establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU zone, as well as establish Special Operating Conditions and Development Standards for said use, to facilitate the development of the vacant property with an automobile fleet storage lot. In conjunction with the Amendment request, the proposed Site Plan approval would allow improvement of the existing vacant property (Assessor's Parcel No. 132-402-20) with a new automobile fleet storage lot, and Conditional Use Permit approval would allow the use of a new automobile fleet storage lot, operated by the existing Chevrolet dealership in Garden Grove (located at 10150 Trask Avenue), on the vacant property for the temporary storage of new automobiles.

Policy LU-2.1 of the General Plan Land Use Element strives to protect residential areas from the effects of potentially incompatible uses, and provides that, where new commercial or industrial development is allowed adjacent to residentially zoned districts, standards for circulation, noise, setbacks, buffer areas, landscaping and architecture, which ensure compatibility between the uses, should be maintained. The Special Operating Conditions and Development Standards in the Code Amendment and the additional proposed site specific Conditions of Approval will ensure that the proposed automobile fleet storage use, including any other future automobile fleet storage uses in the NMU zone, will be compatible with the physical, functional, and visual quality of the neighboring uses and desirable neighborhood characteristics. Furthermore, such uses will not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access. The project has been designed to mitigate any potential impacts to nearby uses through elements that include, but are not limited to, the following: project site does not directly abut residentially developed properties; the use will only store new automobiles and will be prohibited from storing used, inoperable, or wrecked/dismantled automobiles; the automobile fleet storage lot will be secured by a perimeter fence; the automobile fleet storage lot is setback

a minimum of 15 feet (15'-0") from any public right-of-way with enhanced landscaping to buffer the lot from surrounding uses; and there will be no loading or unloading of automobiles (e.g., via semi-truck) on-site or within any public right-of-way.

Policy LU-2.4 of the General Plan Land Use Element strives to assure that the type and intensity of land use shall be consistent with that of the immediate neighborhood. The surrounding uses around the subject are most prominently improved with existing parking lot areas and commercial buildings. Aesthetically, the applicant has been sensitive to ensuring compatibility with neighboring uses, and has designed the project accordingly with the end result of the project appearing like-kind to a standard commercial parking lot area. Therefore, the type and intensity of the proposed use will be consistent with that of the immediate neighborhood.

Policy LU-4.5 of the General Plan Land Use Element requires that commercial and industrial developments adjoining residential uses be adequately screened and buffered from residential areas. The surrounding uses around the subject site are most prominently improved with existing parking lot areas and commercial buildings. Aesthetically, the applicant has been sensitive to ensuring compatibility with neighboring uses, and has designed the project accordingly with the end result of the project appearing like-kind to a standard commercial parking lot area. The proposed automobile fleet storage lot will provide enhanced landscaped setbacks, including landscaping maintained within the areas immediately adjacent to and outside the southern access gate. The project will provide eight-foot (8'-0") high vehicular access gates (wrought iron) at the northerly and southerly access points. The remaining perimeter of the site will maintain six-foot (6'-0") high fencing. Therefore, adequate landscape and fence screening, including minimum setbacks, will buffer the use from any nearby residential areas. Furthermore, the Special Operating Conditions and Development Standards and additional site specific Conditions of Approval will ensure that the proposed automobile fleet storage use, including any other future automobile fleet storage uses in the NMU zone, will be compatible with the physical, functional, and visual quality of the neighboring uses and desirable neighborhood characteristics.

Goal LU-6 of the General Plan Land Use Element strives to revitalize aging, underused or deteriorated commercial corridors, centers, and properties in the City. The subject site is part of an abandoned former Pacific Electric Right-of-Way which bisected the City of Garden Grove running through or along major commercial centers and residential areas. Since its abandonment as an operating rail line in the early 1970s, the right-of-way had presented a linear void to the community which had created areas of blight along the corridor. The property has since been vacant and unimproved. Existing surface development restrictions on the property limit the potential use of the property. The proposed

project intends to improve the blighted and vacant property with an automobile fleet storage use that is designed to be consistent and compatible with the existing surrounding uses in the area.

2. The proposed development will not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access.

The subject site is a 1.7-acre vacant lot, oriented diagonally, with frontage along the north side of Chapman Avenue and along the east side of Gilbert Street, located near the intersection of Chapman Avenue and Gilbert Street. Primary access to the site will be via Chapman Avenue and through the existing drive aisle which runs through the southern portion of the property. A thirty-foot (30'-0") wide electric sliding gate, fitted with a Knox box for emergency access, set back 23'-9" from the adjacent drive aisle, will provide vehicular access to the enclosed automobile fleet storage lot. A secondary access gate, setback fifteen feet (15'-0") from the public right-of-way, will be provided at the northern end of the property, fronting Gilbert Street. This secondary access will remain locked, serving only as emergency access, and will provide a manual sliding gate fitted with a Knox box.

The vacant property will be improved with a new automobile fleet storage lot consisting of a paved parking lot area with associated site improvements including striped parking stalls, perimeter fencing, parking lot lighting, and landscaping. A 26'-0" wide two-way drive aisle will run diagonally through the center of the property, with rows of parking spaces on each side. The southern side of the property will provide 96 tandem parking spaces. The northern side of the property will provide 48 parking spaces. The proposed automobile fleet storage lot will provide a total of 144 parking spaces. A ten-foot by twenty-foot (10' x 20') "No Parking" hatched area will be located just outside the southerly gate, to provide a turnaround area for vehicles.

The applicant has indicated that vehicle deliveries, via semi-truck, will initially be offloaded at the Chevrolet dealership site, located at 10150 Trask Avenue. Subsequently, vehicles to be stored at the proposed automobile fleet storage site will be driven individually from the Chevrolet dealership location. There will be no on-site semi-truck unloading of vehicles on the subject property or within any public right-of-way.

The project and site plan layout has been designed so as not to adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access.

3. The proposed development will not adversely affect essential public facilities such as streets and alleys, utilities and drainage channels.

The existing streets, utilities, and drainage facilities within the area are adequate to accommodate the project. The on-site circulation and parking are sufficient for the proposed development. The Public Works Department has reviewed the plans and all appropriate conditions of approval have been incorporated. The proposed development will provide landscaping and proper grading of the site to provide adequate on-site drainage. All other appropriate conditions of approval have been included, which will minimize any adverse impacts to surrounding streets.

4. The proposed development will not adversely impact the Public Works Department's ability to perform its required function.

The project has been reviewed by the Public Works Department, which has required various on- and off-site improvements, including curb and gutter, driveway access, and grading improvements. Issues raised by the project have been addressed in the project design and the conditions of approval.

5. The proposed development is compatible with the physical, functional and visual quality of the neighboring uses and desirable neighborhood characteristics.

The surrounding uses around the subject site are most prominently improved with existing parking lot areas and commercial buildings. Aesthetically, the applicant has been sensitive to ensuring compatibility with neighboring uses, and has designed the project accordingly with the end result of the project appearing like-kind to a standard commercial parking lot area. The proposed automobile fleet storage lot will provide enhanced landscaped setbacks, including landscaping maintained within the areas immediately adjacent to and outside the southern access gate. The project will provide eight-foot (8'-0") high vehicular access gates (wrought iron) at the northerly and southerly access points. The remaining perimeter of the site will maintain six-foot (6'-0") high fencing. Therefore, adequate landscape and fence screening, including minimum setbacks, will buffer the use from any nearby residential areas. Furthermore, the project complies with all requirements of the Municipal Code, including those development standards applicable to the NMU (Neighborhood Mixed Use) zone, ensuring that the proposed development is compatible, appropriate, and safe.

Conditional Use Permit:

1. The proposed use will be consistent with the City's adopted General Plan and redevelopment plan.

Under the proposed Amendment No. A-034-2022, text amendments to Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code would establish "Automobile Fleet Storage" as a conditionally

permitted use in the NMU zone, as well as establish Special Operating Conditions and Development Standards for said use, to facilitate the development of the vacant property with an automobile fleet storage lot. In conjunction with the Amendment request, the proposed Site Plan approval would allow improvement of the existing vacant property (Assessor's Parcel No. 132-402-20) with a new automobile fleet storage lot, and Conditional Use Permit approval would allow the use of a new automobile fleet storage lot, operated by the existing Chevrolet dealership in Garden Grove (located at 10150 Trask Avenue), on the vacant property for the temporary storage of new automobiles.

Policy LU-2.1 of the General Plan Land Use Element strives to protect residential areas from the effects of potentially incompatible uses and provides that, where new commercial or industrial development is allowed adjacent to residentially zoned districts, standards for circulation, noise, setbacks, buffer areas, landscaping and architecture, which ensure compatibility between the uses, should be maintained. The Special Operating Conditions and Development Standards and additional proposed site specific Conditions of Approval will ensure that the proposed automobile fleet storage use, including any other future automobile fleet storage uses in the NMU zone, will be compatible with the physical, functional, and visual quality of the neighboring uses and desirable neighborhood characteristics. Furthermore, such uses will not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access. The project has been designed to mitigate any potential impacts to nearby uses through elements that include, but are not limited to, the following: project site does not directly abut residentially developed properties; the use will only store new automobiles and will be prohibited from storing used, inoperable, or wrecked/dismantled automobiles; the automobile fleet storage lot will be secured by a perimeter fence; the automobile fleet storage lot is setback a minimum of 15 feet (15'-0") from any public right-of-way with enhanced landscaping to buffer the lot from surrounding uses; and there will be no loading or unloading of automobiles (e.g., via semi-truck) on-site or within any public right-of-way.

Policy LU-2.4 of the General Plan Land Use Element strives to assure that the type and intensity of land use shall be consistent with that of the immediate neighborhood. The surrounding uses around the subject are most prominently improved with existing parking lot areas and commercial buildings. Aesthetically, the applicant has been sensitive to ensuring compatibility with neighboring uses, and has designed the project accordingly with the end result of the project appearing like-kind to a standard commercial parking lot area. Therefore, the type and intensity of the proposed use will be consistent with that of the immediate neighborhood.

Policy LU-4.5 of the General Plan Land Use Element requires that commercial and industrial developments adjoining residential uses be adequately screened and buffered from residential areas. The surrounding uses around the subject site are most prominently improved with existing parking lot areas and commercial buildings. Aesthetically, the applicant has been sensitive to ensuring compatibility with neighboring uses, and has designed the project accordingly with the end result of the project appearing like-kind to a standard commercial parking lot area. The proposed automobile fleet storage lot will provide enhanced landscaped setbacks, including landscaping maintained within the areas immediately adjacent to and outside the southern access gate. The project will provide eight-foot (8'-0") high vehicular access gates (wrought iron) at the northerly and southerly access points. The remaining perimeter of the site will maintain six-foot (6'-0") high fencing. Therefore, adequate landscape and fence screening, including minimum setbacks, will buffer the use from any nearby residential areas. Furthermore, the Special Operating Conditions and Development Standards and additional proposed site specific Conditions of Approval will ensure that the proposed automobile fleet storage use, including any other future automobile fleet storage uses in the NMU zone, will be compatible with the physical, functional, and visual quality of the neighboring uses and desirable neighborhood characteristics.

Goal LU-6 of the General Plan Land Use Element strives to revitalize aging, underused or deteriorated commercial corridors, centers, and properties in the City. The subject site is part of an abandoned former Pacific Electric Right-of-Way, which bisected the City of Garden Grove running through, or along, major commercial centers and residential areas. Since its abandonment as an operating rail line in the early 1970s, the right-of-way had presented a linear void to the community which had created areas of blight along the corridor. The property has since been vacant and unimproved. Existing surface development restrictions on the property limit the potential use of the property. The proposed project intends to improve the blighted and vacant property with an automobile fleet storage use that is designed to be consistent and compatible with the existing surrounding uses in the area.

2. The requested use at the location proposed will not: adversely affect the health, peace, comfort, or welfare of the persons residing or working in the surrounding area, or unreasonably interfere with the use, enjoyment, or valuation of the property of other persons located in the vicinity of the site, or jeopardize, endanger, or otherwise constitute a menace to public health, safety, or general welfare.

The Special Operating Conditions and Development Standards and additional proposed site specific Conditions of Approval will ensure that the proposed automobile fleet storage use, including any other future automobile fleet storage uses in the NMU zone, will be compatible with the physical, functional, and visual

quality of the neighboring uses and desirable neighborhood characteristics. Furthermore, such uses will not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access. The project has been designed to mitigate any potential impacts to nearby uses through elements that include, but are not limited to, the following: project site does not directly abut residentially developed properties; the use will only store new automobiles and will be prohibited from storing used, inoperable, or wrecked/dismantled automobiles; the automobile fleet storage lot will be secured by a perimeter fence; the automobile fleet storage lot is setback a minimum of 15 feet (15'-0") from any public right-of-way with enhanced landscaping to buffer the lot from surrounding uses; and there will be no loading or unloading of automobiles (e.g., via semi-truck) on-site or within any public right-of-way.

3. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title or as is otherwise required in order to integrate such use with the uses in the surrounding area.

The surrounding uses around the subject site are most prominently improved with existing parking lot areas and commercial buildings. Aesthetically, the applicant has been sensitive to ensuring compatibility with neighboring uses, and has designed the project accordingly with the end result of the project appearing like-kind to a standard commercial parking lot area. The proposed automobile fleet storage lot will provide enhanced landscaped setbacks, including landscaping maintained within the areas immediately adjacent to and outside the southern access gate. The project will provide eight-foot (8'-0") high vehicular access gates (wrought iron) at the northerly and southerly access points. The remaining perimeter of the site will maintain six-foot (6'-0") high fencing. Therefore, adequate landscape and fence screening, including minimum setbacks, will buffer the use from any nearby residential areas. Furthermore, the project complies with all requirements of the Municipal Code, including those development standards applicable to the NMU (Neighborhood Mixed Use) zone, ensuring that the proposed development is compatible, appropriate, and safe.

The project has been designed to mitigate any potential impacts to nearby uses through elements that include, but are not limited to, the following: project site does not directly abut residentially developed properties; the use will only store new automobiles and will be prohibited from storing used, inoperable, or wrecked/dismantled automobiles; the automobile fleet storage lot will be secured by a perimeter fence; the automobile fleet storage lot is setback a minimum of 15 feet (15'-0") from any public right-of-way with enhanced landscaping to buffer the lot from surrounding uses; and there will be no loading or unloading of automobiles (e.g., via semi-truck) on-site or within any public right-of-way.

4. The proposed site is adequately served: by highways or streets or sufficient width and improved as necessary to carry the kind and quantity of traffic such as to be generated, and by other public or private service facilities as required.

The existing streets within the area are adequate to accommodate the project. The on-site circulation and parking are sufficient for the proposed development. The Public Works Department has reviewed the plans and all appropriate conditions of approval have been incorporated. The proposed development will provide landscaping and proper grading of the site to provide adequate on-site drainage. All other appropriate conditions of approval and mitigation measures have been included, which will minimize any adverse impacts to surrounding streets.

INCORPORATION OF FACTS AND FINDINGS SET FORTH IN THE STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Site Plan and Conditional Use Permit do possess characteristics that would indicate justification of the request in accordance with Municipal Code Sections 9.32.030 (Site Plan).
2. In order to fulfill the purpose and intent of the Municipal Code, and, thereby, promote the health, safety, and general welfare, the following Conditions of Approval, attached as "Exhibit A", shall apply to Site Plan No. SP-108-2022 and Conditional Use Permit No. CUP-218-2022.
3. Approval of this Site Plan and Conditional Use Permit shall be subject to the recommended Conditions of Approval, and contingent upon City Council adoption of an ordinance approving Amendment No. A-034-2022.

Adopted this 7th day of April 2022

ATTEST:

/s/ JOHN RAMIREZ
CHAIR

/s/ JUDITH MOORE
RECORDING SECRETARY

STATE OF CALIFORNIA)
COUNTY OF ORANGE) SS:
CITY OF GARDEN GROVE)

I, JUDITH MOORE, Secretary of the City of Garden Grove Planning Commission, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Garden Grove, California, at a meeting held on April 7, 2022, by the following vote:

AYES:	COMMISSIONERS:	(4)	CUNNINGHAM, LINDSAY, RAMIREZ, SOEFFNER
NOES:	COMMISSIONERS:	(0)	NONE
ABSENT:	COMMISSIONERS:	(3)	ARESTEGUI, LEHMAN, PEREZ

/s/ JUDITH MOORE
RECORDING SECRETARY

PLEASE NOTE: Any request for court review of this decision must be filed within 90 days of the date this decision was final (See Code of Civil Procedure Section 1094.6).

A decision becomes final if it is not timely appealed to the City Council. Appeal deadline is April 28, 2022.

EXHIBIT "A"

Site Plan No. SP-108-2022 Conditional Use Permit No. CUP-218-2022

(Assessor's Parcel No. 132-402-20)

CONDITIONS OF APPROVAL

General Conditions

1. The applicant and each owner of the property shall execute, and the applicant shall record against the property a "Notice of Agreement with Conditions of Approval and Discretionary Permit of Approval," as prepared by the City Attorney's Office. Proof of such recordation is required within 30 days of this approval. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, the developer of the project, the current owner of the Property, the future owner(s) and tenants(s) of the Property, and each of their respective successors and assigns. All Conditions of Approval are required to be adhered to for the life of the project, regardless of property ownership. Any changes of the Conditions of Approval require approval by the Planning Commission. All Conditions of Approval herein shall apply to Site Plan No. SP-108-2022 and Conditional Use Permit No. CUP-218-2022.
2. Approval of this Site Plan and Conditional Use Permit shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
3. Minor modifications to the Site Plan and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications to the project and/or these Conditions of Approval determined by the Community and Economic Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.
4. The approved site plan, floor plan, and use of the subject property, as represented by the Applicant, are an integral part of the decision approving this Site Plan and Conditional Use Permit. If major modifications are made to the approved floor plan, site plan, or other related changes that result in the intensification of the project or create impacts that have not been previously addressed, the proper entitlements shall be obtained reflecting such changes.
5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

Public Works Engineering Division

6. The applicant shall be subject to Traffic Mitigation Fees, Drainage Facilities Fees, Water Assessment Fees, and other applicable mitigation fees identified in Chapter 9.44 of the Garden Grove Municipal Code, along with all other applicable fees duly adopted by the City. The amount of said fees shall be calculated based on the City's current fee schedule at the time of permit issuance.
7. Prior to issuance of a grading permit, the applicant shall design overhead street lighting within the development in a manner meeting the approval of the City Engineer. Location of lighting poles shall be shown on the precise grading and street improvement plans.
8. A geotechnical study prepared by a registered geotechnical engineer is required. The report shall analyze the liquefaction potential of the site and make recommendations. The report shall analyze sub-surface issues related to the past uses of the site, including sub-surface tanks, infiltration and stormwater treatment structures, and basement and septic facilities. Any soil or groundwater contamination shall be remediated prior to the issuance of a building permit in a manner meeting the approval of the City Engineer in concert with the Orange County Health Department. The report shall make recommendations for pavement design of the interior streets and parking spaces. The report shall also test and analyze soil conditions for LID (Low Impact Development) principles and implementations, including potential infiltration alternatives, soil compaction, saturation, permeability and groundwater levels. Requirements for any "dewatering" will also need to be addressed in the report.
9. A separate street permit is required for work performed within the public right-of-way.
10. Grading plans prepared by a registered Civil Engineer are required. The grading plan shall be based on a current survey of the site, including a boundary survey, topography on adjacent properties up to 30 feet (30'-0") outside the boundary, and designed to preclude cross-lot drainage. Minimum grades shall be 0.50% for concrete flow lines and 1.25% for asphalt. The grading plan shall also include water and sewer improvements. The grading plan shall include a coordinated utility plan. All improvements within public right-of-way shall conform to all format and design requirements of the City Standard Drawings & Specifications. Special features, such as decorative pavers or other improvements, may be required to have an agreement prepared between the owner and the city to cover any encroachment limitations, responsibilities and maintenance requirements.
11. The grading plan shall depict an accessibility route for the ADA pathway in conformance with the requirements of the Department of Justice standards, latest edition and section 1110A of the California Building Code.

12. Grading fees shall be calculated based on the current fee schedule at the time of permit issuance.
13. In accordance with the Orange County Storm Water Program manual, the applicant and/or its contractors shall provide dumpsters on-site during construction unless an Encroachment Permit is obtained for placement in street.
14. Prior to the issuance of any grading or building permits or prior to recordation upon subdivision of land if determined applicable by the City Building Official, the applicant shall submit to the City for review and approval a Water Quality Management Plan that:
 - a. Addresses Site Design BMPs based upon the geotechnical report recommendations and findings such as infiltration minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas.
 - b. Incorporates the applicable Routine Source Control BMPs as defined in the DAMP.
 - c. Incorporates structural and Treatment Control BMPs as defined in the DAMP.
 - d. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.
 - e. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.
 - f. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
15. Prior to grading or building permit closeout and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
 - a. Demonstrate that all structural best management practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
 - b. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
 - c. Demonstrate that an adequate number of copies of the approved Project WQMP are available on-site.

- d. Submit for review and approval by the City an Operations and Maintenance (O&M) Plan for all structural BMPs.
16. The applicant and its contractor shall be responsible for protecting all existing horizontal and vertical survey controls, monuments, ties (centerline and corner) and benchmarks located within the limits of the project. If any of the above require removal; relocation or resetting, the Contractor shall, prior to any construction work, and under the supervision of a California licensed Land Surveyor, establish sufficient temporary ties and benchmarks to enable the points to be reset after completion of construction. Any ties, monuments and bench marks disturbed during construction shall be reset per Orange County Surveyor Standards after construction. Applicant and his contractor shall also re-set the tie monuments where curb or curb ramps are removed and replaced or new ramps are installed. The Applicant and his contractor shall be liable for, at its expense, any resurvey required due to his negligence in protecting existing ties, monuments, benchmarks or any such horizontal and vertical controls. Temporary Benchmarks shall not be used for vertical control. Benchmarks shall be to the National Geodetic Vertical Datum (NGVD).
17. Prior to the issuance of any grading or building permits for projects that will result in soil disturbance of one acre or more of land, the applicant shall demonstrate that coverage has been obtained under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP). A copy of the current SWPPP shall be kept at the project site and be available for City review on request.
18. Any new or required block walls and/or retaining walls shall be shown on the grading plans. Cross sections shall show vertical and horizontal relations of improvements and property line. Block walls shall be designed in accordance to City standards or designed by a professional registered engineer. In addition, the following shall apply:
 - a. The color and material of all proposed block walls, columns, and wrought iron fencing shall be reviewed and approved by the Planning Services Division prior to installation.
19. The applicant shall identify a temporary parking site(s) for construction crew prior to issuance of a grading permit. No construction parking is allowed on local streets.
20. Prior to issuance of a grading permit, the applicant shall submit and obtain approval of a worksite traffic control plan, satisfactory to the City Traffic Engineer.

21. Heavy construction truck traffic and hauling trips should occur outside peak travel periods. Peak travel periods are considered to be from 7 a.m. to 9 a.m. and 4 p.m. to 6 p.m.
22. Any required lane closures should occur outside of peak travel periods.
23. Construction vehicles should be parked off traveled roadways in a designated parking.
24. Prior to issuance of a grading permit, the applicant shall provide a hydrological analysis with scaled map and calculations and hydraulic calculations to size storm drains per the Orange County RDMD standards. Parkway culverts shall be designed per Orange County standard plan 1309, Type B. BMP's shall be sized per the requirements of the latest Technical Guidance Documents.
25. Prior to issuance of the building permit, the applicant shall design and construct street frontage improvements as identified below. All landscaping installed within the public rights-of-way shall be maintained by the applicant in a manner meeting the approval of the City Engineer and Planning Department.

Chapman Avenue

- a. Remove existing curb/gutter and construct new driveway approach to the site along the access road connecting the Promenade shopping mall to Chapman Avenue in accordance with City of Garden Grove Standard Plan B-120 (Option #1).
- b. Any proposed new landscaping in public right-of-way shall be approved by Planning Division and maintained by the owner.
- c. Applicant shall coordinate the location of all new water meters, backflow preventers and backflow devices to be placed in sidewalk area on Chapman Avenue with Planning Division and Water Division.

Gilbert Street

- a. Remove and replace existing substandard driveway approach to the site on Gilbert Street and construct new driveway approach in accordance with City of Garden Grove Standard Plan B-120 (Option #1).
- b. Construct new commercial sidewalk fronting the project on Gilbert Street per City of Garden Grove Standard Plan B-106.
- c. The applicant shall cold mill (grind) existing asphalt pavement 3-inch uniform depth and replace with 3-inches of fiber-reinforced asphalt

surface course from the edge of the easterly gutter to the center line of Gilbert Street along the property frontage per City specifications and per the direction of the City Engineer.

- d. Any proposed new landscaping in public right-of-way shall be approved by Planning Division and maintained by the owner.
- e. Applicant shall coordinate the location of all new water meters, backflow preventers and backflow devices to be placed in sidewalk area on Gilbert Street with Planning Division and Water Division.

Public Works Water Services Division

- 26. There is no existing water service for this property. New installation is required and is conditioned on the assignment of new address for the property.
- 27. New water service installations two inches (2") and smaller, shall be installed by the City of Garden Grove at applicant's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services three inches (3") and larger, shall be installed by applicant's contractor per City Standards.
- 28. Water meters shall be located within the City right-of-way. Fire services and large water services three inches (3") and larger, shall be installed by contractor with class A or C-34 license, per City water standards and inspected by approved Public Works inspection.
- 29. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross connection inspector shall be notified for inspection after the installation is completed. Owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.
- 30. It shall be the responsibility of applicant to abandon any existing private water well(s) per Orange County Health Department requirements. Abandonment(s) shall be inspected by Orange County Health Department inspector after permits have been obtained.
- 31. A composite utility site plan shall be part of the water plan approval.
- 32. Any new or existing water valve located within new concrete driveway or sidewalk construction shall be reconstructed per City Standard B-753.

33. Water meters and boxes shall be installed by City forces upon payment of applicable fees and after new water system (including water services) pass all bacteriological and pressure tests.
34. Location and number of fire hydrants shall be as required by Water Services Division and the Orange County Fire Authority (OCFA).
35. If needed, owner shall install new sewer lateral with clean out at right-of-way line. Lateral in public right-of-way shall be six-inch (6") minimum diameter, extra strength VCP with wedgelock joints.
36. Contractor shall abandon any existing unused sewer lateral(s) at street right-of-way on the property owner's side. The sewer pipe shall be capped with an expansion sewer plug and encased in concrete. Only one sewer connection per lot is allowed.
37. All perpendicular crossings of the sewer, including laterals, shall maintain a vertical separation of minimum twelve inches (12") below the water main, outer diameter to outer diameter. All exceptions to the above require a variance from the State Water Resources Control Board.
38. If water main is exposed during installation of sewer lateral, a 20-foot (20'-0") section of the water main shall be replaced with 20-foot (20'-0") PVC C-900 DR-14 Class 305 water pipe, size in kind and centered at the crossing.

Orange County Fire Authority

39. The applicant shall ensure that the project complies with all applicable life safety matters, as required by the Orange County Fire Authority.

Community and Economic Development Department

40. This Conditional Use Permit only authorizes the operation of an "automobile fleet storage" lot on the subject property, which, in addition to complying with the Conditions of Approval contained herein, shall further comply with all Special Operating Conditions and Development Standards pursuant to Municipal Code Section 9.18.030.075, Automobile Fleet Storage.
41. Exterior advertisements displays or exterior wall/fence advertisements shall not be allowed.
42. Hours and days of construction and grading shall be as set forth in the City of Garden Grove's Municipal Code Section 8.47.060 referred to as Noise Control, Special Noise Sources, for Construction of Buildings and Projects.
43. Construction activities shall adhere to SCAQMD Rule 403 (Fugitive Dust), which includes dust minimization measures, using electricity from power poles rather than diesel or gasoline powered generators, and using methanol,

natural gas, propane or butane vehicles instead of gasoline or diesel powered equipment, where feasible, using solar or low-emission water heaters, and using low-sodium parking lot lights, to ensure compliance with Title 24.

44. The applicant shall comply with the adopted City Noise Ordinance.
45. The construction plans, including grading and development plans and all construction activity shall comply with the current editions of the California Building Regulations as found in the California Code of Regulations (CCR), Title 24, Parts 2 through 12 as adopted by the City of Garden Grove.
46. As a part of the finalized working drawings for the Planning Division, Engineering Division, and Building and Safety Division, the developer shall submit a detailed and dimensioned plot plan, perimeter fence/wall design, and landscape plans that reflect the conditions of approval. The plans shall indicate landscape materials, and fence/wall materials proposed for the project.
47. All lighting structures shall be placed so as to confine direct rays to the subject property. All exterior lights shall be reviewed and approved by the Planning Division. Lighting shall be directed, positioned or shielded in such manner so as not to unreasonably illuminate the window area of nearby residences. Parking area lighting shall be provided during the hours of darkness the establishment is open at a minimum of two-foot candles of light, and one-foot candle of light during all other hours of darkness.
48. The applicant shall submit detailed plans showing the proposed location of utilities and mechanical equipment to the Community and Economic Development Department, Planning Division, for review and approval prior to submittal of plans for Building and Safety Division, Plan Check. The project shall also be subject to the following:
 - a. All above-ground utility equipment (e.g., electrical, gas, telephone) shall not be located in the street setbacks and shall be screened to the satisfaction of the Community and Economic Development Department, Planning Division.
49. The applicant shall submit a complete landscape plan governing the entire development for review and approval by the Community and Economic Development Department prior to building permit issuance. The landscaping plan shall comply with all the landscaping requirements as specified in Title 9 of the City of Garden Grove Municipal Code as well as provisions by the State of California concerning drought tolerant landscape measures (Landscape Water Efficiency Guidelines). Said plan shall include type, size, location and quality of all plant material. The plan shall include an irrigation plan, and staking and planting specification. The landscape plan is subject to the following:

- a. A complete, permanent, automatic remote control irrigation system shall be provided for all common area landscaping shown on the plan. The sprinklers shall be of low flow/precipitation sprinkler heads for water conservation.
 - b. All above-ground utilities (e.g., water backflow devices, electrical transformers, irrigation equipment, etc.) shall be shown on the landscape plan in order to ensure proper landscape screening and will be provided around each of these equipment/apparatus.
 - c. The applicant shall be responsible for the installation and maintenance of all landscaping on the property during and after the construction period. Said responsibility shall extend to within the public right-of-way.
 - d. The plan shall provide a mixture of a minimum of ten percent (10%) of the trees at 48-inch box, ten percent (10%) of the trees at 36-inch box, fifteen percent (15%) of the trees at 24-inch box and sixty percent (60%) of the trees at 15-gallon, the remaining five percent (5%) may be of any size. All proposed trees shall be non-fruit bearing, evergreen trees that require minimal maintenance.
 - e. No trees shall be planted closer than five feet (5') from the public right-of-way. Trees planted within fifteen feet (15') of any public right-of-way shall be planted in a root barrier shield. All landscaping along street frontages, adjacent to driveways, shall be of the low-height variety to ensure safe sight clearance.
50. During construction, if paleontological or archaeological resources are found, all attempts will be made to preserve in place or leave in an undisturbed state in compliance with all applicable laws and regulations.
 51. Any and all correction notice(s) generated through the plan check and/or inspection process is/are hereby incorporated by reference as conditions of approval and shall be fully complied with by the owner, applicant and all agents thereof.
 52. All on-site curbs, not associated with a parking space, shall be painted red.
 53. The site improvements and subsequent operation of the site/business(es) shall adhere to the following:
 - a. There shall be no business activities, or exterior storage permitted.
 - b. All drive aisles on the site are considered to be fire lanes and shall remain clear and free of any materials, and/or vehicles.

54. In the event the development cannot accommodate the parking demand, due to impacts generated by the development, at any given time, which causes a nuisance, hindrance, and/or problem with either on-site and off-site parking and circulation, as determined by the City's Community and Economic Development Director in his/her reasonable discretion, the applicant shall devise and implement a plan approved by the City to relieve the situation.

Upon written request by the City, the applicant shall submit a plan to manage parking issues for review and approval by the Community and Economic Development Department. The plan may include, but is not be limited to: restricting the hours of operation, instituting an off-site parking arrangement; having on-site parking control personnel; and/or others actions that may be deemed applicable to the situation.

If the City's Community and Economic Development Director deems such action is necessary to address parking and circulation problems, such action shall be implemented within 30 days of written notice. Failure to take appropriate action shall be deemed a violation of these Conditions of Approval and may result in the City restricting the overall use of the establishment.

55. A copy of the resolution approving Site Plan No. SP-108-2022 and Conditional Use Permit No. CUP-218-2022, including these Conditions of Approval, shall be kept on the premises at all times.
56. The applicant shall submit a signed letter acknowledging receipt of the decision approving Site Plan No. SP-108-2022 and Conditional Use Permit No. CUP-218-2022, and his/her agreement with all conditions of the approval.
57. The applicant shall, as a condition of project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Amendment No. A-034-2022, Site Plan No. SP-108-2022 and Conditional Use Permit No. CUP-218-2022. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall further pay any adverse financial award, which may issue against the City including, but not limited, to any award of attorney fees to a party challenging such project approval. The City shall retain the right to select its counsel of choice in any action referred to herein.

58. It shall be the applicant's responsibility to verify that any site improvements do not impermissibly interfere with any recorded easements on the subject property or the adjacent properties.
59. The Conditions of Approval set forth herein include certain development impact fees and other exactions. Pursuant to Government Code §66020(d), these Conditions of Approval constitute written notice of the amount of such fees. The applicant is hereby notified that the 90-day protest period, commencing from the effective date of approval of Site Plan No. SP-108-2022 and Conditional Use Permit No. CUP-218-2022, has begun.

GARDEN GROVE PLANNING COMMISSION
Community Meeting Center
11300 Stanford Avenue, Garden Grove, CA 92840

Meeting Minutes
Thursday, April 7, 2022

CALL TO ORDER: 7:04 p.m.

ROLL CALL:

Chair Ramirez
Vice Chair Lindsay
Commissioner Arestegui
Commissioner Cunningham
Commissioner Lehman
Commissioner Perez
Commissioner Soeffner

Absent: Arestegui, Lehman, Perez

PLEDGE OF ALLEGIANCE: Led by Vice Chair Lindsay.

ORAL COMMUNICATIONS – PUBLIC – None.

March 17, 2022 MINUTES:

Action: Received and filed.

Motion: Lindsay Second: Soeffner

Ayes: (4) Cunningham, Lindsay, Ramirez, Soeffner

Noes: (0) None

Absent: (3) Arestegui, Lehman, Perez

PUBLIC HEARING – AMENDMENT NO. A-034-2022, SITE PLAN NO. SP-108-2022, AND CONDITIONAL USE PERMIT NO. CUP-218-2022 FOR PROPERTY LOCATED ON THE NORTH SIDE OF CHAPMAN AVENUE, EAST SIDE OF GILBERT STREET, NEAR INTERSECTION OF CHAPMAN AVENUE AND GILBERT STREET

Applicant: ANDRESEN ARCHITECTURE, INC.

Date: April 7, 2022

Request: To amend the NMU (Neighborhood Mixed Use) zone to allow “Automobile Fleet Storage” as a conditionally permitted use, for the storage of new automobiles and conducted only in conjunction with an existing new car dealership within the City of Garden Grove. Also, a request for Site plan

approval to improve an existing vacant property (Assessor's Parcel No. 132-402-20) with a new automobile fleet storage lot, in conjunction with a request for Conditional Use permit approval to allow the use of a new automobile fleet storage lot, operated by the existing Chevrolet dealership in Garden Grove, on the vacant property for the temporary storage of new automobiles. The site is in the NMU (Neighborhood Mixed Use) zone. The project is exempt from CEQA pursuant to Government Code Sections 15061(b)(3) Review for Exemption and 15301 – Existing Facilities of the State CEQA Guidelines.

Action: Resolution Nos. 6038-22(A) and 6039-22 (SP/CUP) were approved with an amendment to the A-034-2022 Ordinance – 9.18.030.075 Automobile Fleet Storage, Item E (bold italics): The automobile fleet storage lot shall be secured by a perimeter fence or wall with a minimum height of six feet, but not to exceed eight feet, and shall also include a vehicular access gate(s) providing access to a public street(s). Site access, for vehicular ingress and egress, shall be limited to principal, major, primary, or secondary arterial streets, as identified in the City's Master Plan of Streets and Highways. There shall be no access to residential streets or adjacent properties. The perimeter fence/wall and the location of any vehicular access gate(s) shall be subject to review and approval by the Planning Division and the Public Works Department, Engineering Division. Perimeter fencing shall not include the use of barbed wire, "Constantine" wire, razor wire, or other similar fence treatment ***that is visible from the public street or located on the top of the fence.***

Motion: Lindsay Second: Soeffner

Ayes: (4) Cunningham, Lindsay, Ramirez, Soeffner

Noes: (0) None

Absent: (3) Arestegui, Lehman, Perez

ITEM FOR CONSIDERATION - REVIEW OF THE CODE OF ETHICS: Commissioners reviewed and acknowledged the Code of Ethics governing the Planning Commission.

STUDY SESSION - DISCUSSION REGARDING ADU GRANT: The Southern California Association of Governments (SCAG) presented the Accessory Dwelling Unit (ADU) Project, which was made possible by a grant awarded by SCAG, HCD (Housing and Community Development) and REAP (Regional Early Action Program). Goals of the program include an ADU brochure, handbook, calculator, fact sheet, and process review. The Project Arc includes learning, planning, and integrating the four phases of work. ADU statistics and a demographic analyses were included, as well as current California policy on ADU's and Senate Bill SB9. ADU best practices covered options for local ADU ordinance customizations, and in closing, the ADU project schedule was

presented. Questions touched on outreach, RHNA numbers (Regional Housing Numbers Assessment), Housing Element certification, ADU heights, local control, and health and safety for substandard dwellings.

MATTERS FROM COMMISSIONERS: Vice Chair Lindsay noted Open Streets was awesome and Commissioner Soeffner asked everyone to keep the people of Ukraine in mind as the war continues.

MATTERS FROM STAFF: Staff gave a brief description of future agenda items noting the May 5th meeting will be cancelled, added that the City is still working to have the Housing Element certified. Only seven cities in the SCAG region have been certified.

ADJOURNMENT: At 8:33 p.m. to the next Meeting of the Garden Grove Planning Commission on Thursday, April 21, 2022, at 7:00 p.m. in the Community Meeting Center, 11300 Stanford Avenue, Garden Grove.

Judith Moore
Recording Secretary

Proposed Parking For:
Simpson Chevrolet
Gilbert St. & Chapman Ave., Garden Grove, CA

ANDRESEN ARCHITECTURE INC.
17087 ORANGE WAY, FONTANA, CA 92335 (909) 355-6688

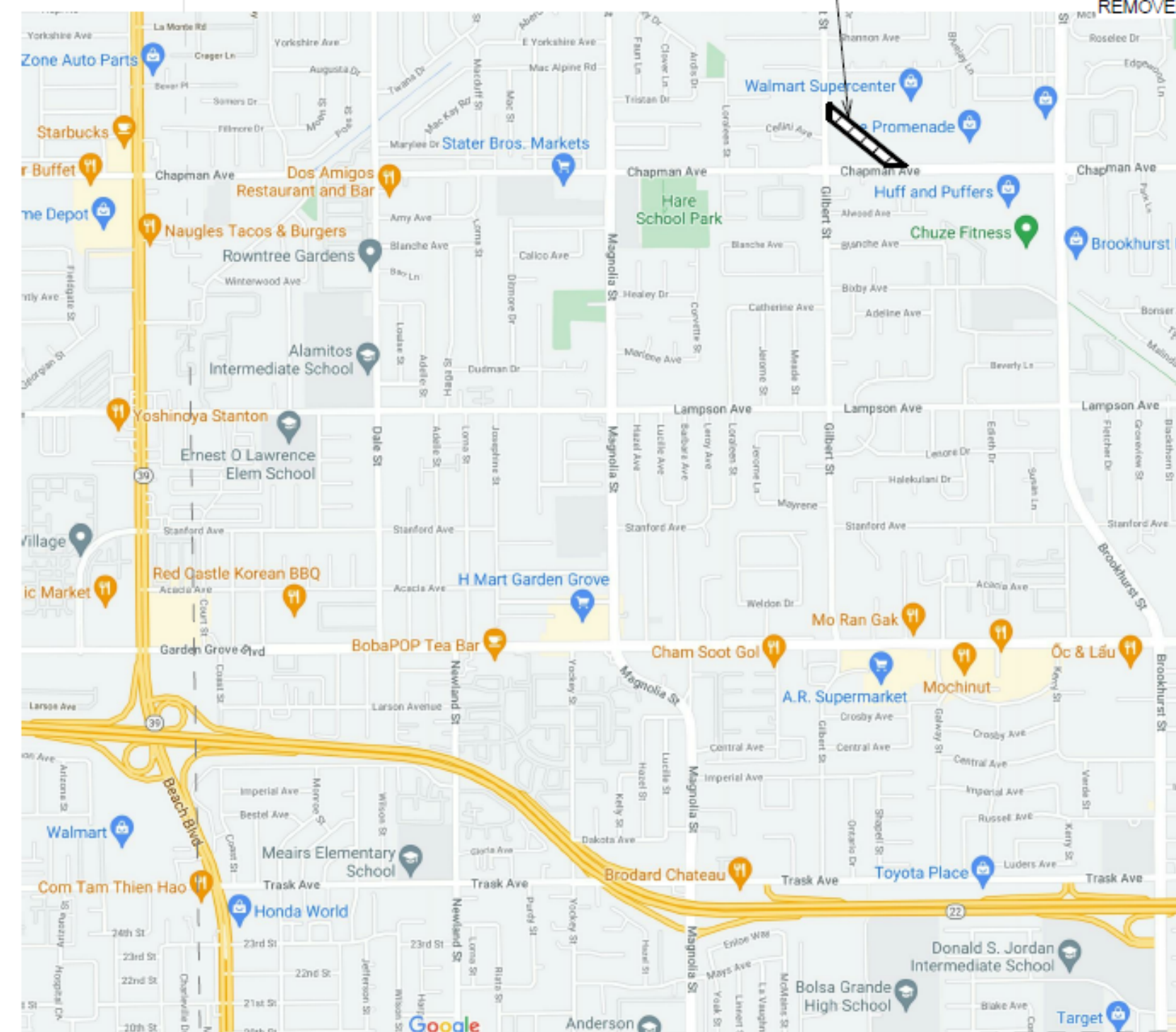
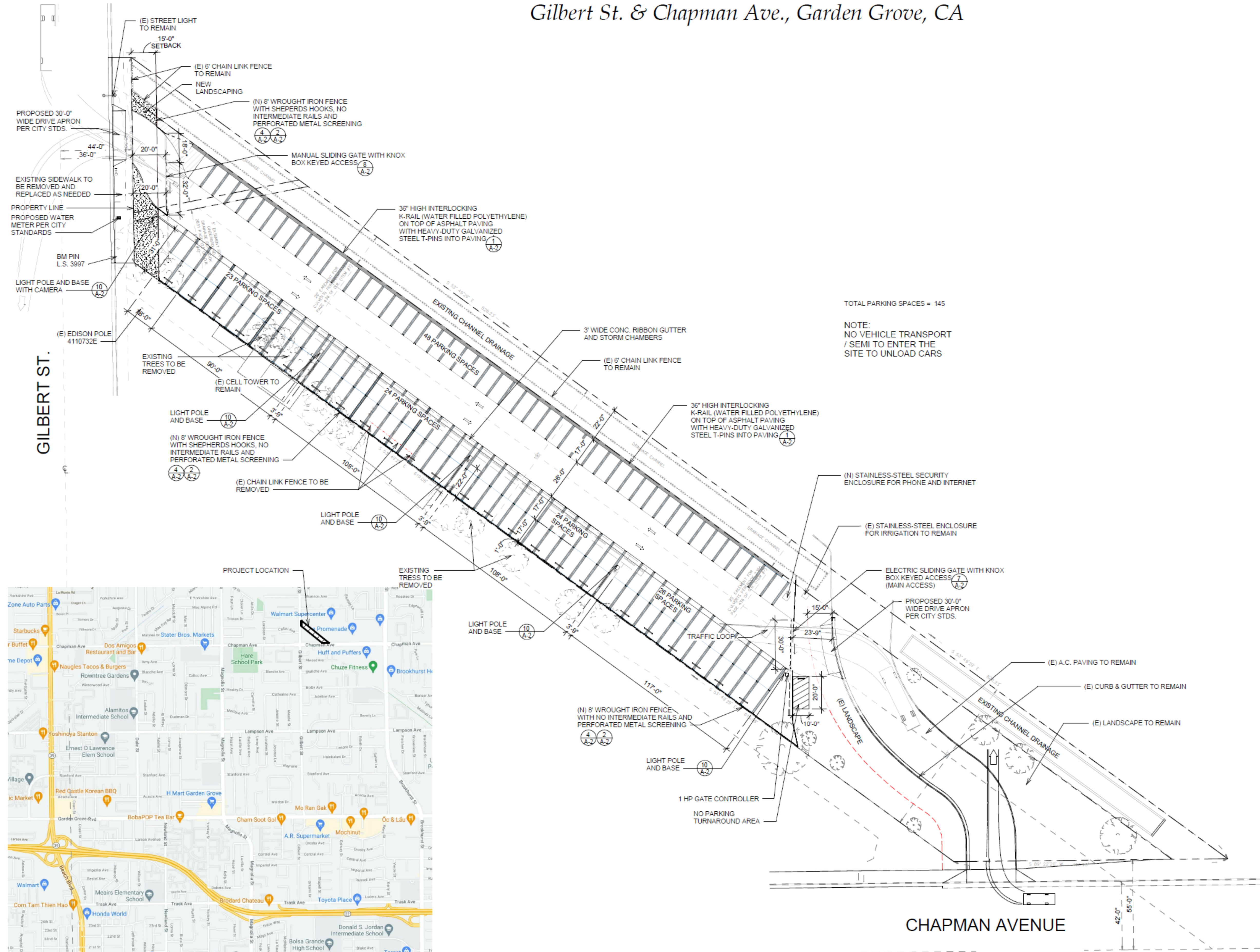
Project Information

OWNER: SIMPSON CHEVROLET OF GARDEN GROVE
PROJECT ADDRESS: 10150 TRASK AVENUE, GARDEN GROVE, CA 92843
CONTACT: DAVID SIMPSON (714) 705-0103, dsimpson@simpsongm.com
ARCHITECT: ANDRESEN ARCHITECTURE INC., 17087 ORANGE WAY, FONTANA, CA 92335, (909) 355-6688, doug.andresen@aafirm.com
CIVIL: JONES, CAHL & ASSOCIATES INC., 18090 BEACH BLVD., SUITE #12, HUNTINGTON BEACH, CA 92648, (714) 848-0566, jca@jonescahl.com
LANDSCAPE: LANDSCAPE DYNAMICS, GREG ZOLL, (951) 264-4839, gregzoll@landscapedynamics.net
ELECTRICAL: RPM ENGINEERS INC., 102 DISCOVERY, IRVINE, CA 92618, (949) 450-1229, lann@rpmpe.com
SOILS ENGINEER: ASSOCIATED SOILS ENGINEERING INC., 2860 WALNUT AVE., SIGNAL HILL, CA 90755, (562) 426-7990, ted@associatedsoils.com, 6985.21, DATED MAY 6, 2021
CONTACT: TED RIDDELL
PROJECT NO.: 132-402-20
APN: 132-402-20
ZONING: NEIGHBORHOOD MIXED USE (NMU)
OCCUPANCY: GROUP S-1

PROJECT DESCRIPTION:

EXISTING SITE TO BE CONVERTED INTO PARKING FOR DEALERSHIP OVERFLOW OF CARS. ADDING 145 PARKING SPACES TO THE SITE.

Sequence of Drawings	
Number	Description
A-1	Site Plan
A-2	Section & Details
N-1	General Notes
N-2	General Notes
E-1	Electrical Site Plan
E-2	Electrical Site Plan
E-3	Site Lighting Photometric Plan
1 OF 4	Preliminary Grading Plan
2 OF 4	Details and Sections
3 OF 4	Details and Sections
4 OF 4	Details and Sections
L-1	Cover Sheet
L-2	Irrigation Plans
L-3	Planting Plan
L-4	Irrigation Details
L-5	Irrigation and Planting Details



Vicinity Map

Site Plan
1" = 30'-0"



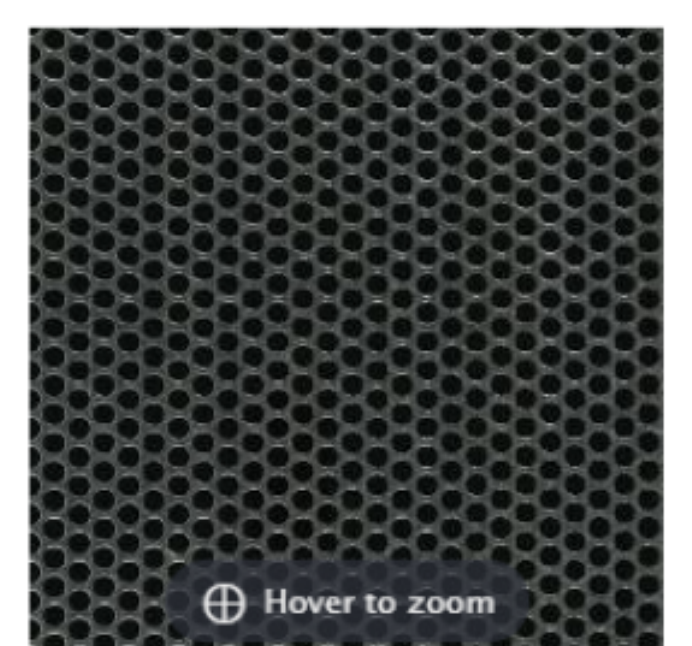
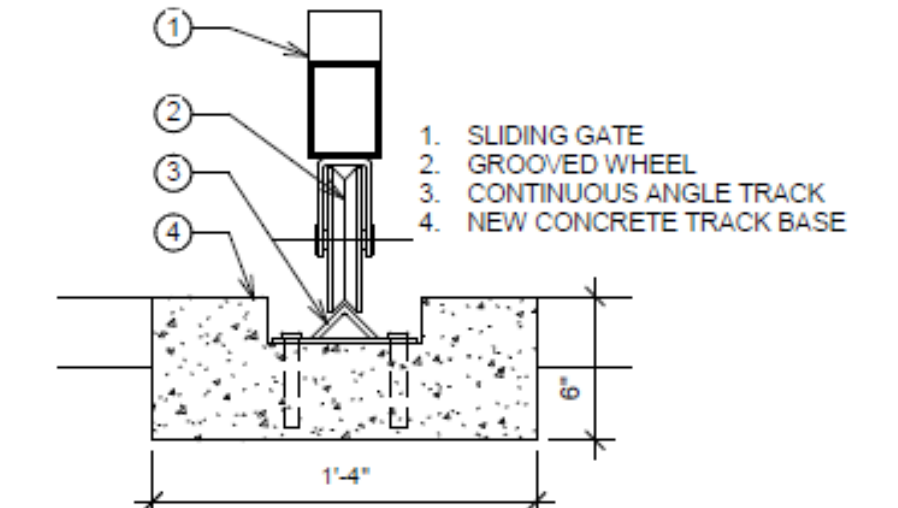
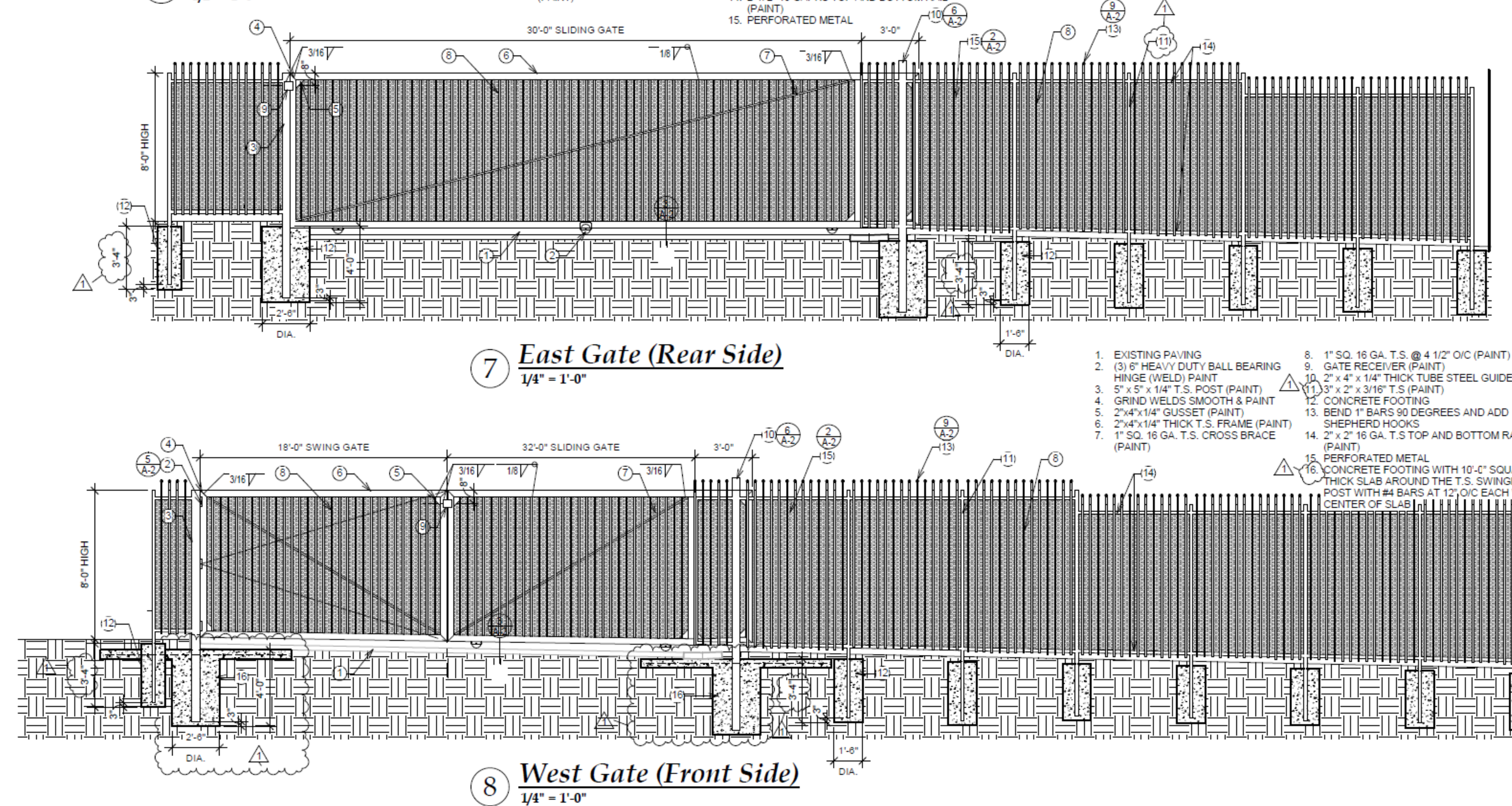
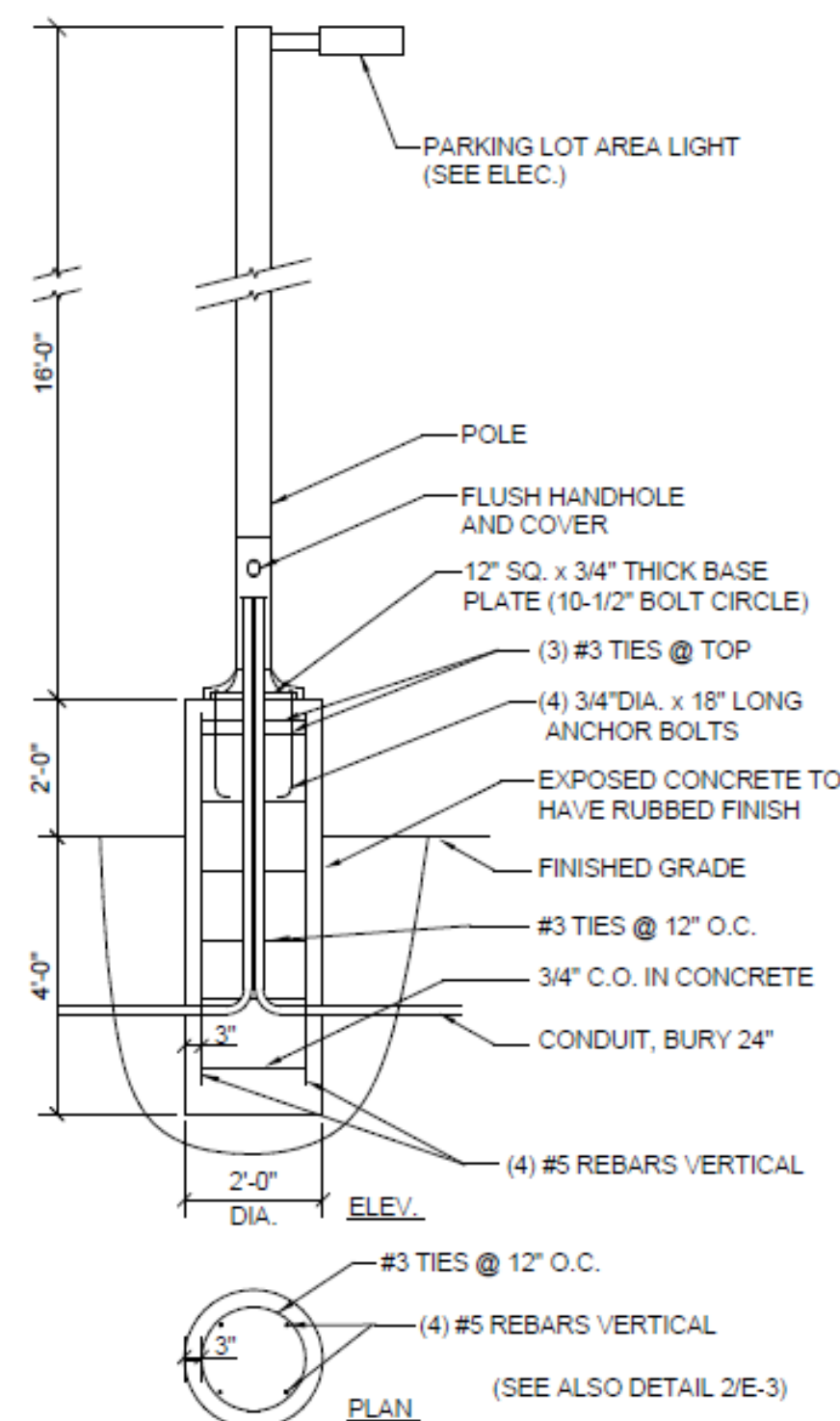
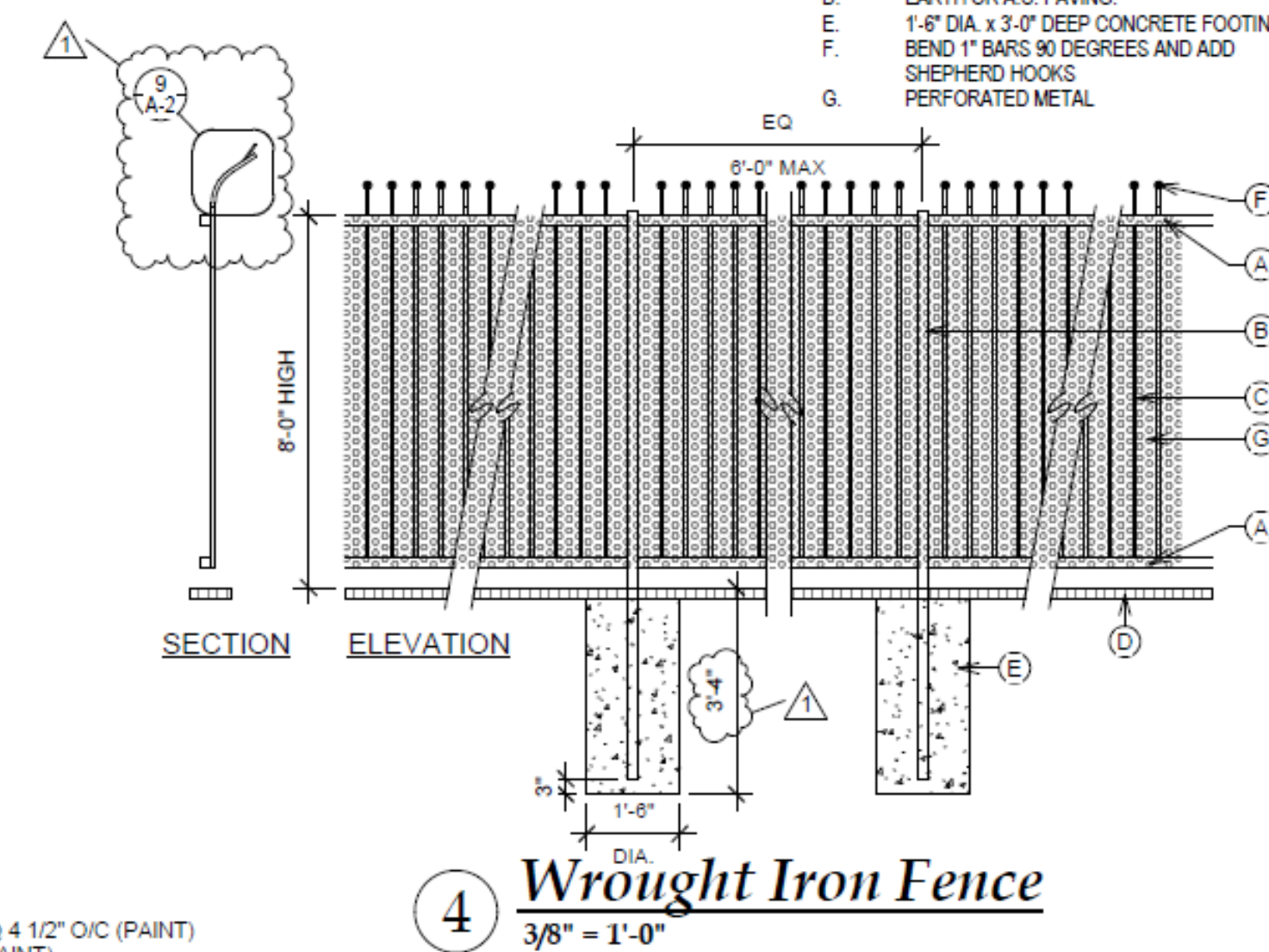
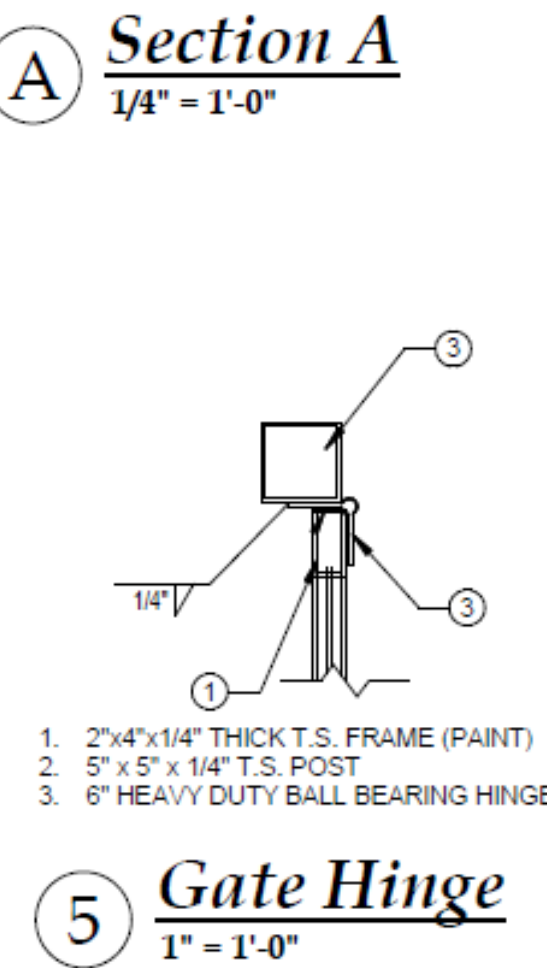
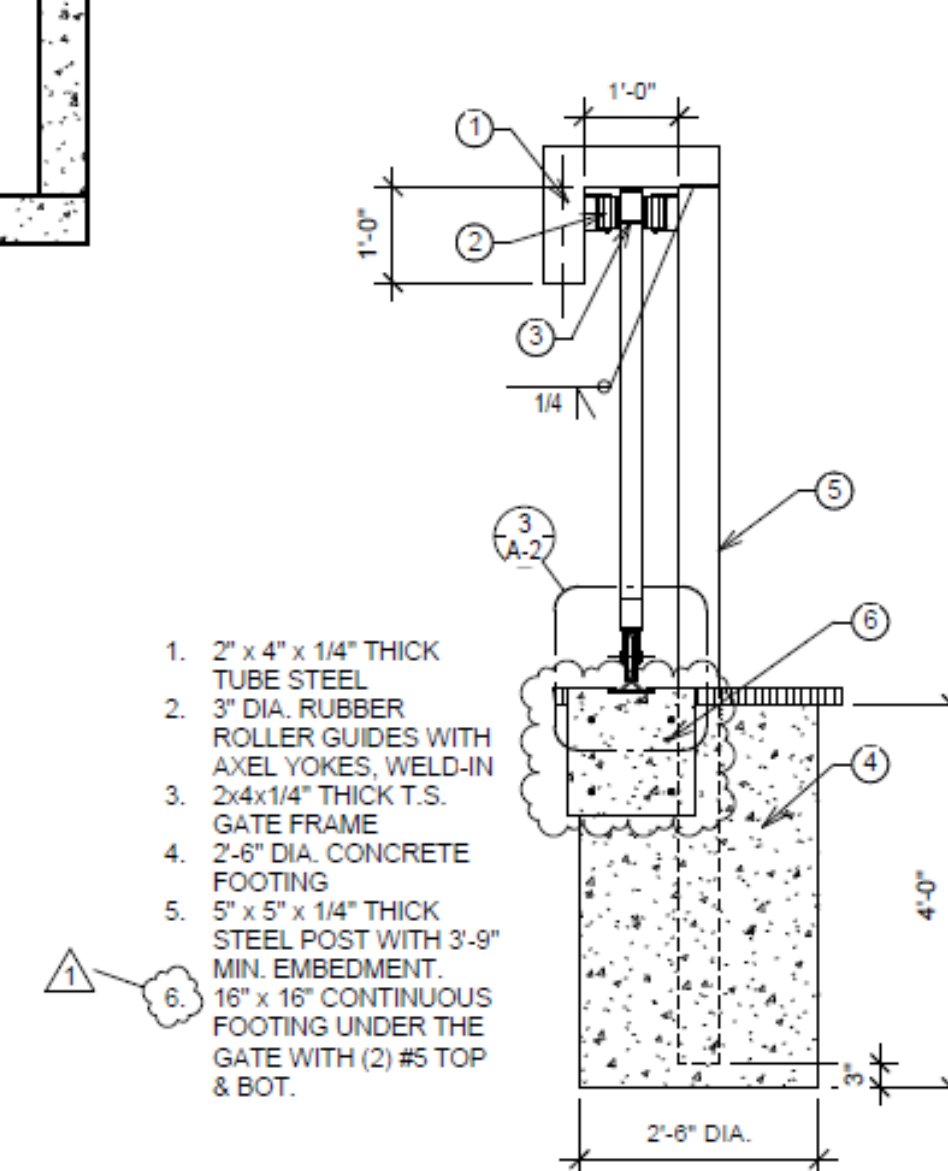
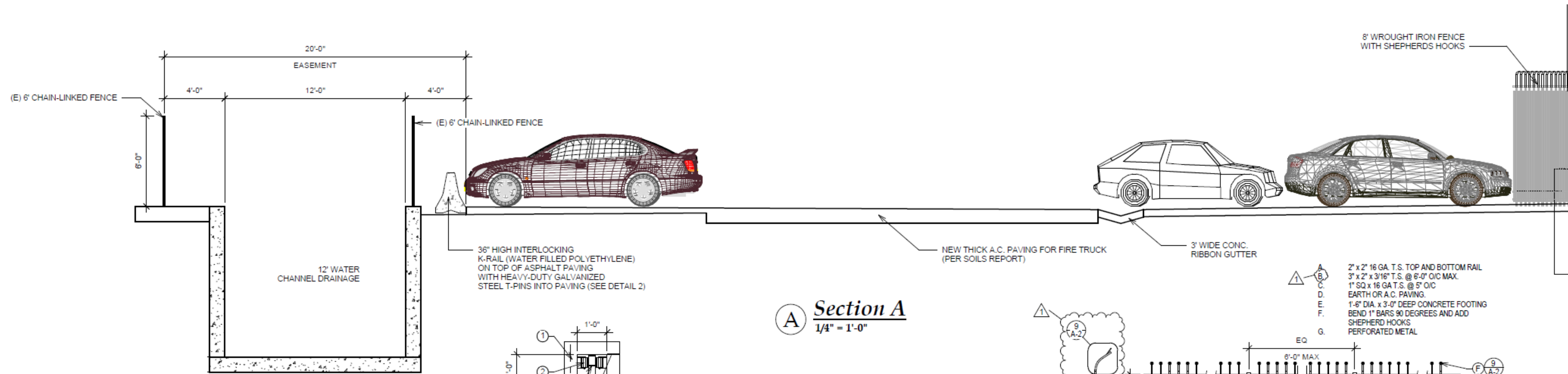
Proposed Parking For:
Simpson Chevrolet
Gilbert St. & Chapman Ave., Garden Grove, CA

13 Aug. 2021
20-3939

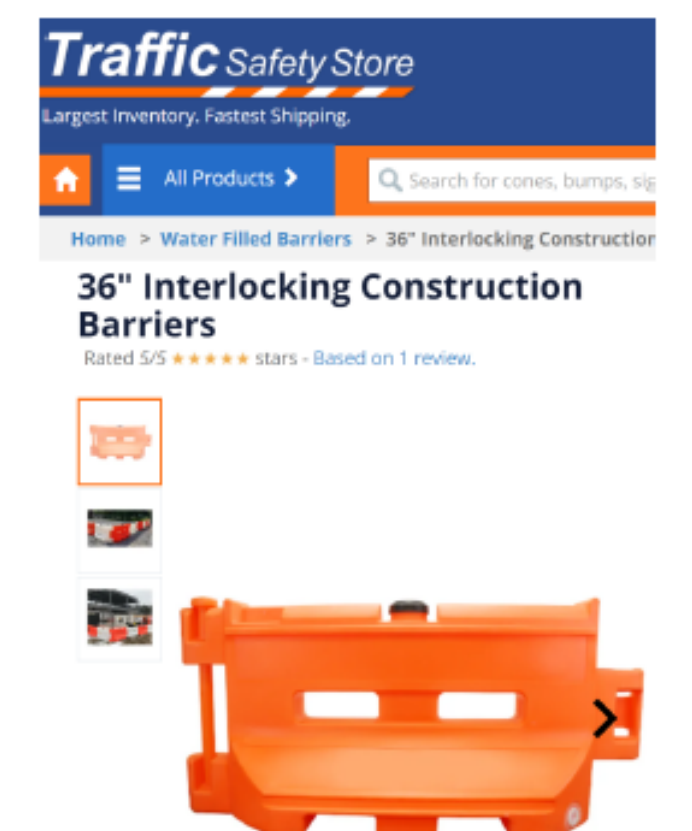


Site Plan

A-1



2 Perforated Metal Screening



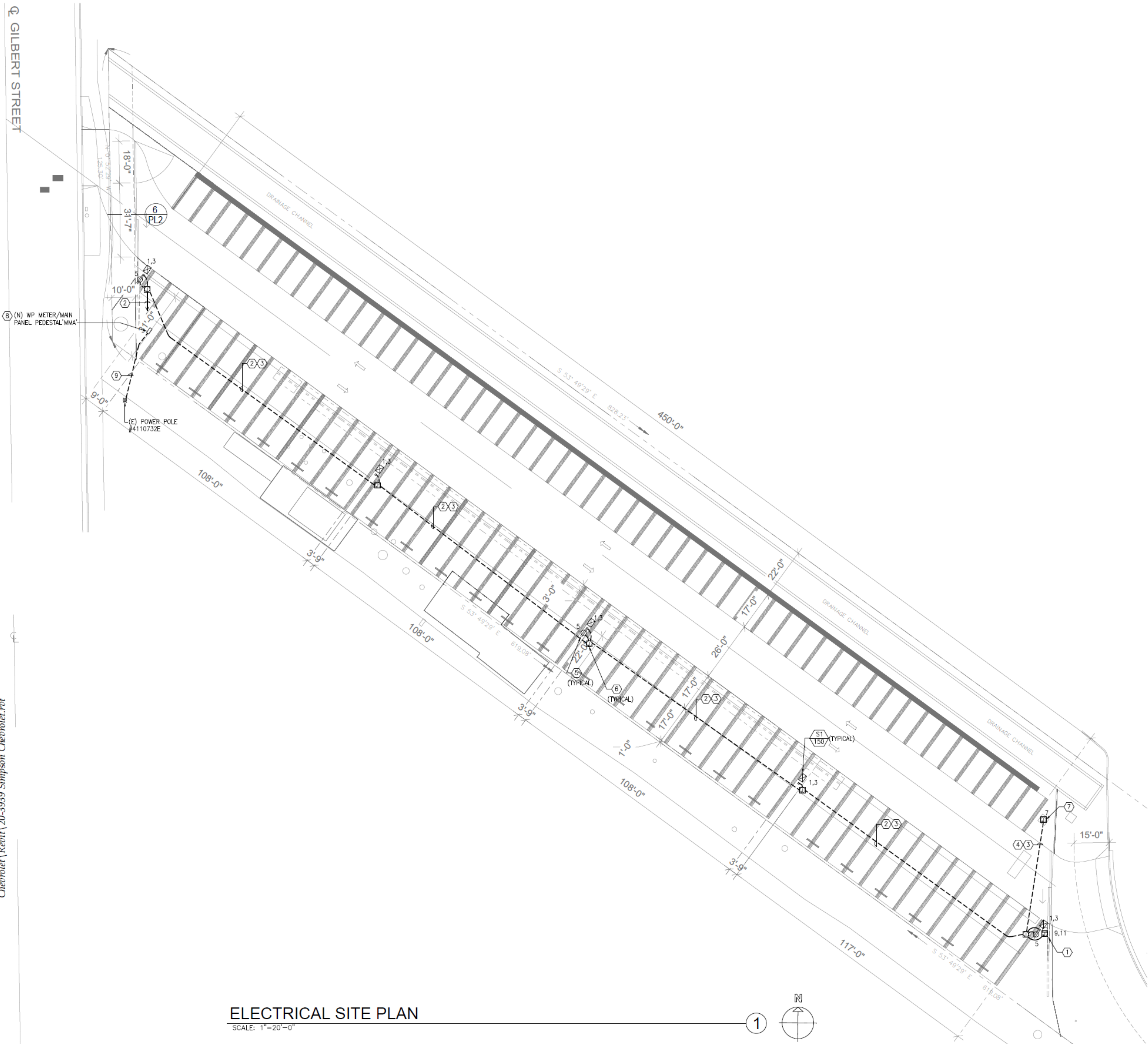
1 K-Rails

Proposed Parking For: Simpson Chevrolet Gilbert St. & Chapman Ave., Garden Grove, CA	
13 Aug. 2021	24 Jan. 2022
20-3939	



Section & Details A-2

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© 2020 DOUG ANDRESEN, ARCHITECT EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF DOUGLAS ANDRESEN, ARCHITECT.
Page 163 of 234



ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"

PLAN NOTES:

1. ALL EQUIPMENT INDICATED ON ROOF IS WEATHERPROOF.
2. ALL OVERCURRENT PROTECTION TO BE SIZED PER EQUIPMENT NAMEPLATES.
3. ROUTE ALL CONDUITS TO ROOF-TOP UNITS WITHIN ROOF-TOP UNITS AND HORIZONTALLY THROUGH ATTIC SPACE.
4. VERIFY EXACT LOCATION OF EQUIPMENT WITH MECHANICAL DRAWINGS.
5. ELECTRICAL EQUIPMENT SHALL BE LISTED BY A CITY RECOGNIZED ELECTRICAL TESTING LABORATORY OR APPROVED BY THE DEPARTMENT.
6. NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT.
7. PROVIDE ALL CONTROLS REQUIRED PER MECHANICAL DRAWINGS. FURNISH ALL TIMELOCKS, BYPASS SWITCHES, WIRING AND ALL REQUIRED MATERIALS AND WORK REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM. NO EXCEPTIONS.

KEYED NOTES:

- ① PROVIDE ABOVE GRADE WP J-BOX AND MAKE CONNECTION TO MOTORIZED GATE. PROVIDE 3/4" C.O. TO GATE ACCESS CONTROL AS REQUIRED. CONFIRM EXACT LOCATION WITH SUPPLIER PRIOR TO ROUGH-IN.
- ② PROVIDE UNDERGROUND CONDUITS:
1" PVC, 2#10 CU. FOR CIRCUITS #1,3 + 2#8 CU. + 1#8 CU. GND. FOR CIRCUIT #5
1-1/4" PVC, 2#4 CU. FOR CIRCUIT #7 + 2#6 CU. + 1#4 CU. GND. FOR CIRCUIT #9,11
- ③ ROUTE CONDUIT 24" BELOW GRADE.
- ④ PROVIDE 1" PVC, 2#4 CU. + 1#4 CU. GND.
- ⑤ PROVIDE WEATHER RESISTANCE GFCI RECEPTACLE WITH EXTRA DUTY WEATHER PROOF IN-USE COVER.
- ⑥ PROVIDE FLUSH TO GRADE WP PULL BOX.
- ⑦ PROVIDE ABOVE GRADE WP J-BOX AND MAKE CONNECTION TO TELEPHONE/INTERNET CABINET
- ⑧ PROVIDE (1) 4" C.O. SERVICE FEEDER TO EXISTING POWER POLE. COORDINATE ALL WORK WITH SCE AS REQUIRED.

RPM
Engineers, Inc.
102 DISCOVERY
Ft. Collins, CO 80501
Tel: 940-460-1829 (208)
Fax: 940-460-1464
Contact: Lan Nguyen
e-mail: lan@rpmpe.com

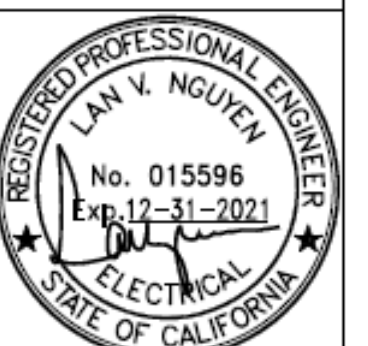
Proposed Parking For:

Simpson Chevrolet

Gilbert St. & Chapman Ave., Garden Grove, CA

7 June 2021

20-3939



06/01/2021

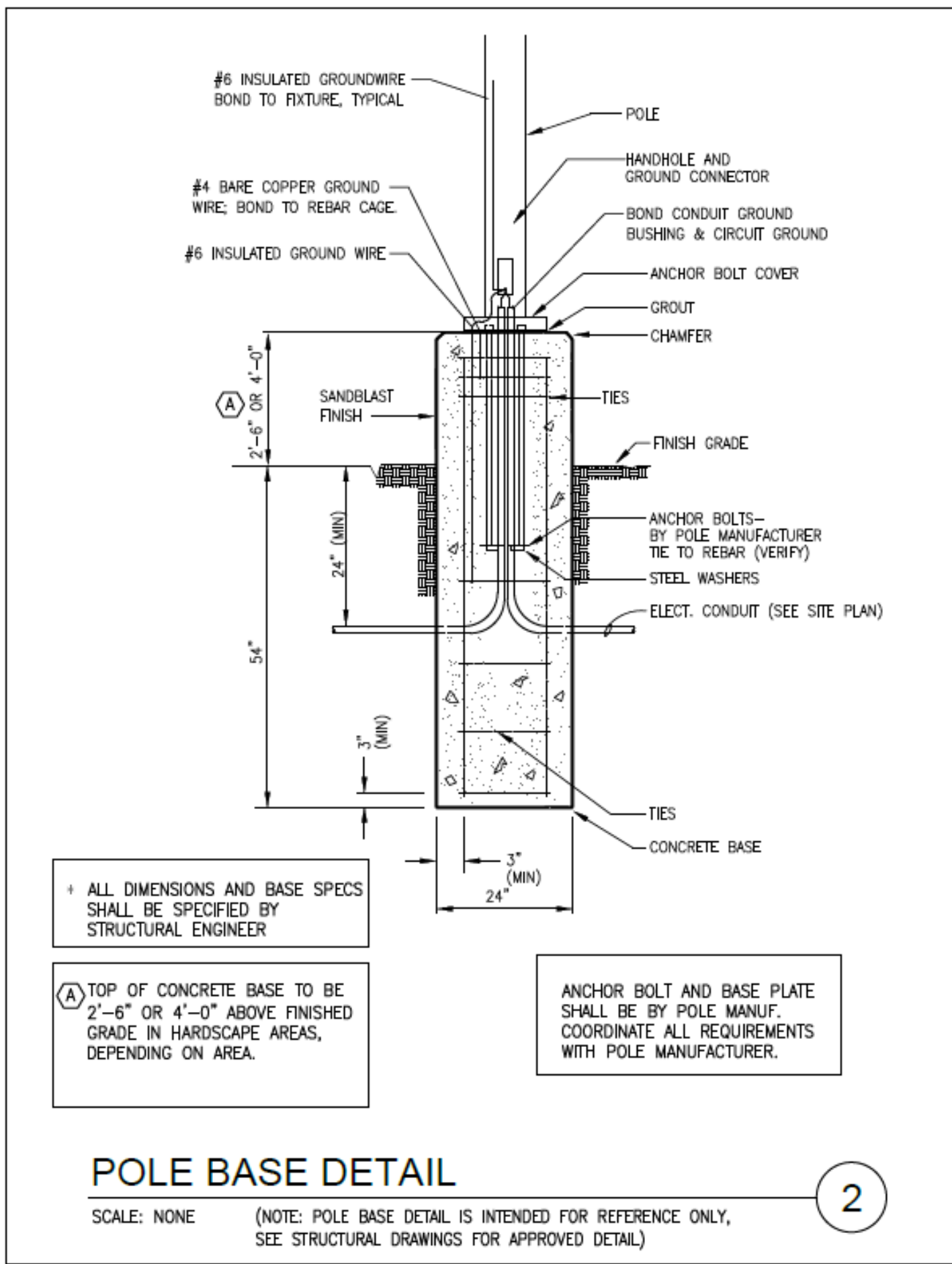
ELECTRICAL SITE
PLAN

E-2

SITE LIGHTING PHOTOMETRIC PLAN

SCALE: 1"=20'-0"

1



POLE BASE DETAIL

SCALE: NONE (NOTE: POLE BASE DETAIL IS INTENDED FOR REFERENCE ONLY, SEE STRUCTURAL DRAWINGS FOR APPROVED DETAIL)

2



RSX2 LED Area Luminaire



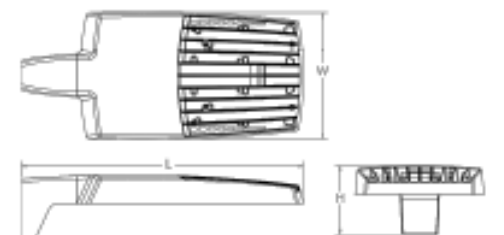
Crating Number
Notes
Type

See the full key on page 9 of the RSX2 LED Area Luminaire.

Introduction
The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 11,000 to 31,000 lumens allowing it to replace 250W to 1000W HID luminaires.
The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral splitter and other mounting configurations are available.

Specifications

EPA (ft²/ft²): 0.69 ft² (0.06 m²)
Length: 29.3" (74.4 cm) (SPA mount)
Width: 13.4" (34.0 cm)
Height: 3.0" (7.6 cm) Main Body
Weight: 30.0 lbs (13.6 kg) (SPA mount)



Ordering Information

EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DBDXX

RSX2 LED	Performance Package	Color Temperature	Dimmability	Voltage	Mounting
RSX2 LED	P1 P2 P3 P4 P5 P6	30K 3000K 40K 4000K 50K 5000K	R2 Type 2 Wide R3 Type 3 Wide R5 Type 3 Short R4 Type 1 Wide R4S Type 4 Short R5 Type 5 Short AFR Automotive Front Row AFR800 Automotive Front Row Right Rotated AFR190 Automotive Front Row Left Rotated	MVOLT (120V-277V) HVOLT (347V-480V) HVOLT (277V-480V) (low specific voltage for options as noted) 120V 277V 208V 240V 240V 480V	SPA Square pole mounting (3.0" min. SD pole for 1 at 90°, 3.5" min. SD pole for 2, 3, 4 at 90°) RPA Round pole mounting (3.2" min. dia. R80 pole for 2, 3, 4 at 90°, 3.0" min. dia. R80 pole for 1 at 90°, 2 at 180°, 3 at 120°) MA Mast arm adaptor (fits 2-3/8" OD horizontal term) IS Adjustable splitter (fits 2-3/8" OD term) WBA Wall bracket WASC Wall bracket with surface conduit box AASP Adjustable 80 arm square pole mounting AARP Adjustable 80 arm round pole mounting AAMB Adjustable 80 arm wall bracket AMWSC Adjustable 80 arm wall bracket and surface conduit box

Options

Shipped Installed	Shipped Separately	Finish
HS House-side shield PE Photocell, button style PEX Photocell external threaded, adjustable PEB Seven-wire two-lock receptacle only (no control) CE34 Cordless entry 3/4" NPT (by 2) SF Single fuse (120, 277, 347) DF Double fuse (208, 240, 480) SPD20KV 20KV Surge pack (10KV standard) FAO Field adjustable output DMG D-10V dimming control (back of housing for external control) (control external separate) DS Dual switching	*Standalone and Networked Sensors/Controls (factory default settings, see Table page 9) N2A2 rLight All generation 2 P2A2 Networked, 0-10V level motion/ambient sensor (for use with N2A2) BAA Bay America's Act Compliant *Note: P2A2 with rLight can be used as a standalone dimming sensor with out-of-box settings or as a wireless networked solution. See factory default settings table. Sensor coverage pattern is affected when luminaire is tilted. Shipped Separately (requires some field assembly) EGS External glass shield EGFV External glass full view (360° around light aperture) BS Bird spikes	DBDXX Dark Bronze DLXX Black DAXX Natural Aluminum DWHXX White DDBDXX Textured Dark Bronze DLBDX Textured Black DWBXX Textured Natural Aluminum DWBXX Textured White



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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Lithonia RSX2 Area LED
Rev. 05/11/21
Page 1 of 9

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	S1	5	RSX2 LED P3 40K R5 overall height at 17ft	RSX Area Fixture Size 2 P3 Luminaire Package 4000K CCT Type R5 Distribution	LED B5 U0 G3	RSX2_LED_P3_40K_R5.ies	Absolute	0.95	150

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
parking	+	1.7 ft	4.3 ft	0.3 ft	14.3:1	5.7:1

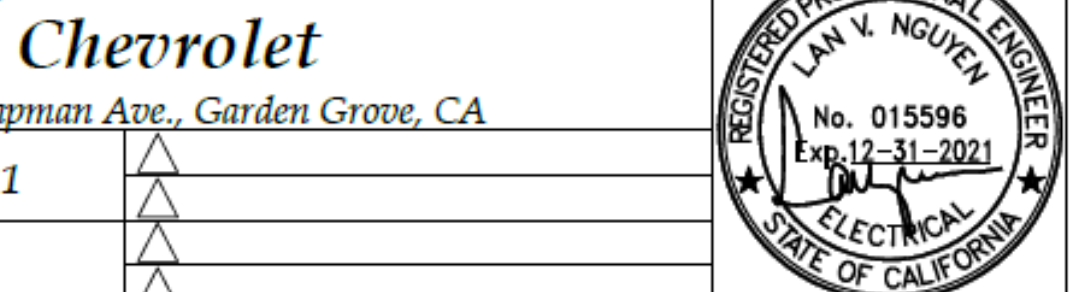
Proposed Parking For:

Simpson Chevrolet

Gilbert St. & Chapman Ave., Garden Grove, CA

7 June 2021

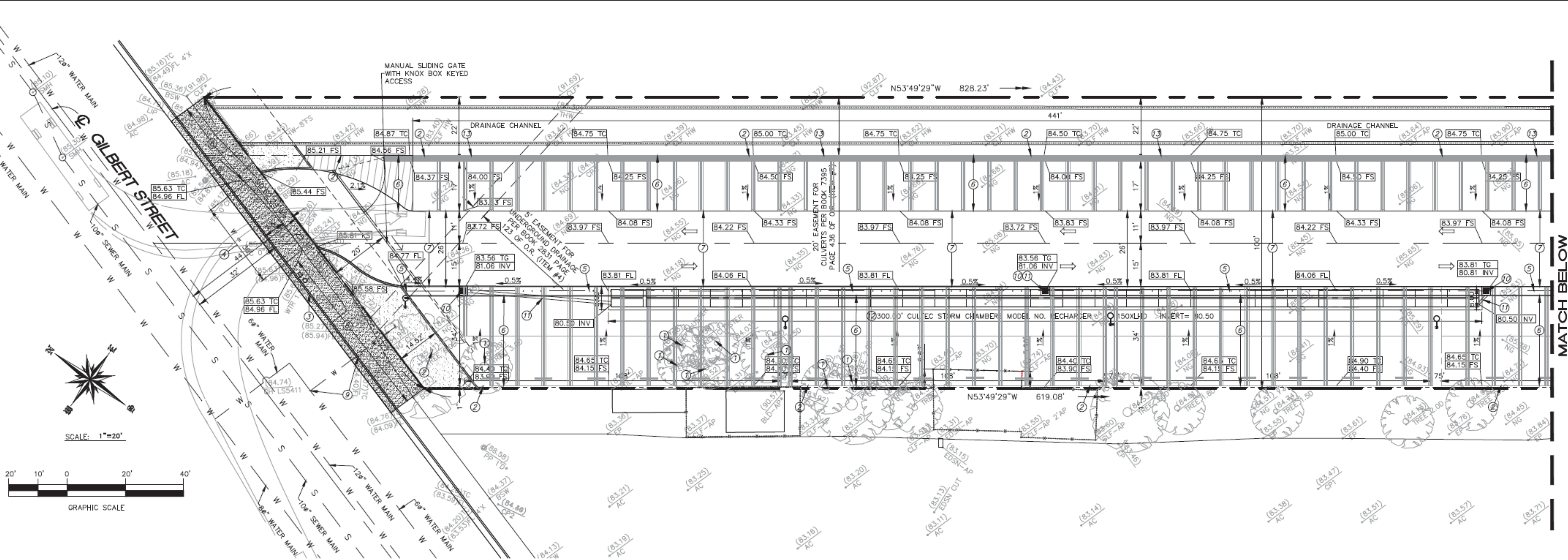
20-3939



06/07/2021

SITE LIGHTING PHOTOMETRIC PLAN

E-3



LEGEND	
XXX.XX	PROPOSED ELEVATIONS
XXX.XX	EXISTING ELEVATIONS
---	PROPERTY LINE
X	CHAIN LINK FENCE
S	SEWER LINE
W	WATER LINE
---	BLOCK WALL
---	BUILDING
---	CONCRETE
---	EXISTING TREE
CP	SURVEY CONTROL POINT
AC	ASPHALTIC CONCRETE
BSW	BACK OF SIDEWALK
CL	CENTERLINE
CLF	CHAIN LINK FENCE
+ ED	EXTRA DEPTH FOOTING
ED VLT	EDISON VAULT
FF	EDGE OF PAVEMENT
FF	FINISHED FLOOR
FL	FLOW LINE
FS	FINISHED SURFACE
GH SPK	GEARHEAD SPIKE
GTE VLT	GTE VAULT
LS	LANDSCAPE AREA
L.S.	LUMP SUM
NG	NATURAL GRADE
PP	POWER POLE
SF	SQUARE FEET
SMH	SEWER MANHOLE
SW	SIDEWALK
TC	TOP OF CURB
TO	TOP OF GRADE
TS	TOP OF STEP
TSW	TOP OF STEAM WALL
WM	WATER METER
WV	WATER VALVE
WTR	WATER SERVICE

BENCHMARK: 1G-163-05

DESCRIBED BY OCS 2005 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "1G-163-05" SET IN THE SOUTHWESTERLY CORNER OF A 4 BY 3 FT. UTILITY VAULT. MONUMENT IS LOCATED IN THE NORTHWESTERLY CORNER OF THE INTERSECTION OF MAC MURRAY STREET AND CHAPMAN AVENUE, 32 FT. NORTHERLY OF THE CENTERLINE OF MAGNOLIA AND 120 FT. WESTERLY OF THE CENTERLINE OF MAC MURRAY. MONUMENT IS SET LEVEL WITH THE TOP OF THE VAULT.

ORANGE COUNTY SURVEYOR'S 3 3/4" ALUMINUM DISK
ELEV. 73.998' - NAVD 88, YEAR LEVELED 2005

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 10 WEST, AS SHOWN ON A MAP RECORDED IN BOOK 51, PAGE 10 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, BEING A STRIP OF LAND 100.00 FEET WIDE, 50.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT A POINT ON THE CENTERLINE OF GILBERT STREET, SAID POINT OF BEING NORTH 00°51'29" WEST ALONG THE WESTERLY LINE OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 10 WEST, A DISTANCE OF 521.55 FEET FROM THE CENTERLINE INTERSECTION OF GILBERT STREET AND CHAPMAN AVENUE, AS SAID POINT IS SHOWN ON A MAP OF TRACT NO. 3262, RECORDED IN BOOK 107, PAGES 13 AND 14 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, THENCE SOUTH 53°49'09" EAST 870.48 FEET TO A POINT ON THE CENTERLINE OF CHAPMAN AVENUE, SAID POINT BEING NORTH 89°22'20" EAST 894.84 FEET OF THE CENTERLINE INTERSECTION OF GILBERT STREET AND CHAPMAN AVENUE, AS SHOWN ON A MAP OF TRACT NO. 3078, RECORDED IN BOOK 104, PAGES 1 THROUGH 3 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY.

THE SIDE LINES OF SAID STRIP OF LAND ARE TO TERMINATE NORTHWESTERLY IN THE CENTERLINE OF SAID GILBERT STREET AND SOUTHEASTERLY IN THE CENTERLINE OF SAID CHAPMAN AVENUE.

APN: 132-402-20

BASIS OF BEARINGS:

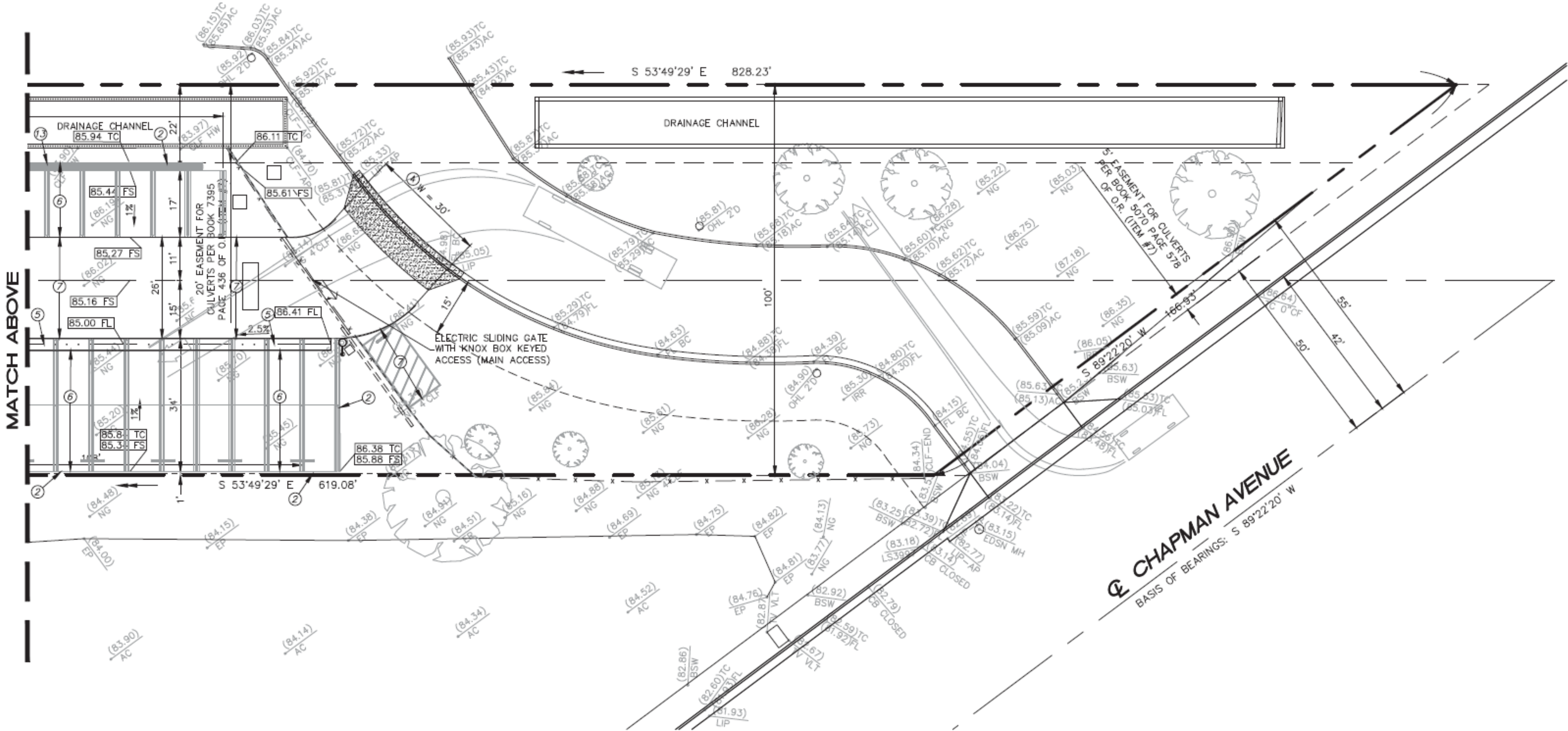
THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING N89°22'20"E EAST ALONG THE CENTERLINE OF CHAPMAN AVENUE PER TRACT NO. 3078, RECORDED IN BOOK 104, PAGE 1-3 OF MISC. MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

CONSTRUCTION ITEMS	
1	REMOVE EXISTING TREES
2	CONSTRUCT 6" P.C.C. A-6 CURB PER CITY OF GARDEN GROVE STANDARD PLAN B-112
3	CONSTRUCT 6" P.C.C. CURB AND GUTTER C-8 PER CITY OF GARDEN GROVE STANDARD PLAN B-113
4	CONSTRUCT 6" P.C.C. COMMERCIAL DRIVEWAY PER CITY OF GARDEN GROVE STANDARD PLAN B-121, W = 34', X = 4'
5	CONSTRUCT 3" P.C.C. CONCRETE GUTTER PER DETAIL 1, SHEET 2
6	CONSTRUCT 3" A.C. OVER 4" CLASS II BASE OVER COMPACTED SUBGRADE PER SOILS RECOMMENDATIONS FOR PARKING STALL AREAS
7	CONSTRUCT 4" A.C. OVER 7" CLASS II BASE OVER COMPACTED SUBGRADE PER SOILS RECOMMENDATIONS FOR DRIVING AISLE/FIRE LANE AREAS
8	CONSTRUCT 4" P.C.C. CONCRETE WALKWAYS PER CITY OF GARDEN GROVE STANDARD PLAN B-108
9	CONSTRUCT NEW WATER METER AND 1" RPPD BACKFLOW PER CITY OF GARDEN GROVE STANDARD PLANS B-718 AND B-770
10	INSTALL JENSEN 2' PRECAST CONCRETE CATCH BASIN WITH H2O TRAFFIC LOADING GRATE WITH OLDCASTLE FLO-GARD FOSSIL FILTER FF-240 SEE SHEET 3
11	INSTALL 12" PVC SDR-35 PIPE
12	CONSTRUCT CULTEC STORM CHAMBERS MODEL NO. RECHARGER 150XLHD PER MANUFACTURER'S SPECIFICATION AND DETAILS SHEET 4
13	INSTALL K-RAIL PER ARCHITECTURAL SPECIFICATIONS AND DETAILS

ESTIMATE OF EARTHWORK QUANTITIES	
RAW CUT: 2,044 C.Y.	RAW FILL: 5 C.Y.
EXPORT: 2,039 C.Y.	
THESE QUANTITIES DO NOT INCLUDE ANY LOSSES DUE TO DEMOLITION, SHRINKAGE, OVEREXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE PRELIMINARY SOILS REPORT. THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.	

AREA TABLE:

TOTAL SITE AREA: 72,365.84 S.F. = 1.66 ACRES
20' DRAINAGE EASEMENT: 16,146.37 S.F. = 0.37 ACRES
TOTAL AREA MINUS DRAINAGE EASEMENT: 56,219.47 S.F. = 1.29 ACRES
NET DISTURBED AREA WEST OF ACCESS ROAD: 41,743.27 S.F. = 0.96 ACRES



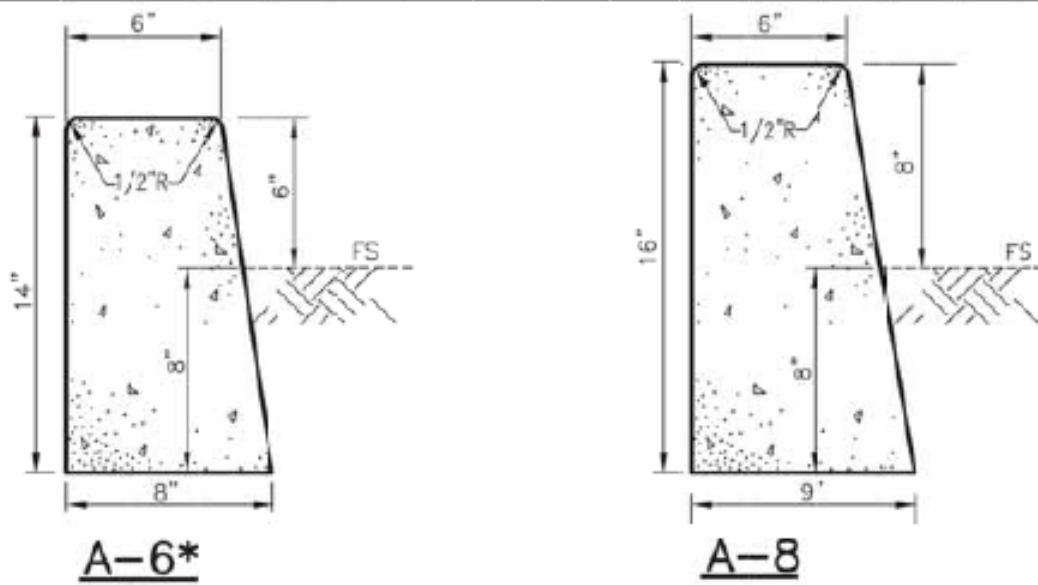
JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
18090 Beach Boulevard • Huntington Beach
California 92648 • (714) 848-0566
e-mail: jca@jonescahl.com

DESIGNED: C.H.	SCALE: 1"=20'
DRAWN: C.H.	DATE: 8/13/2021
CHECKED: D.R.	JOB NO. 21-2496
PREPARED UNDER THE DIRECTION OF: DANIEL RUBIO R.C.E. 60934/P.L.S. 8239 DATE	

SIMPSON HOLDINGS GG, LLC

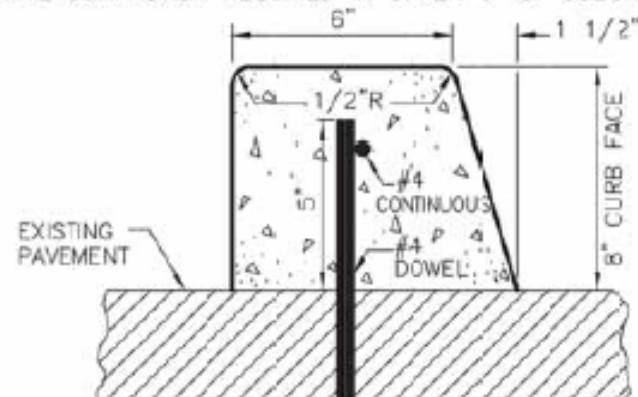
**GILBERT STREET AND
CHAPMAN AVENUE
PRELIMINARY GRADING PLAN**

GARDEN GROVE	CALIFORNIA
DWG. NO. 21-2496-PGP	SHEET NO. 1 OF 4



NOTES

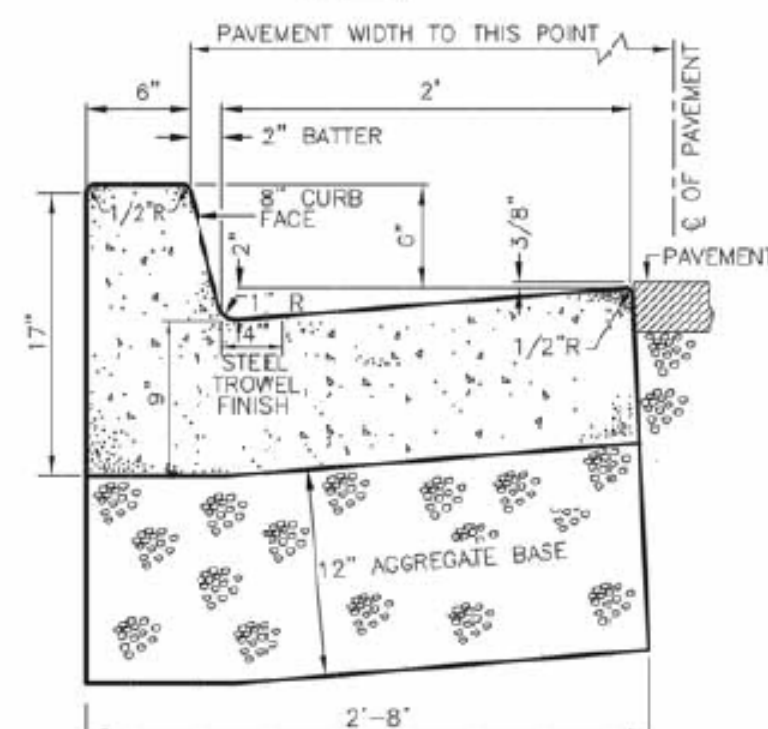
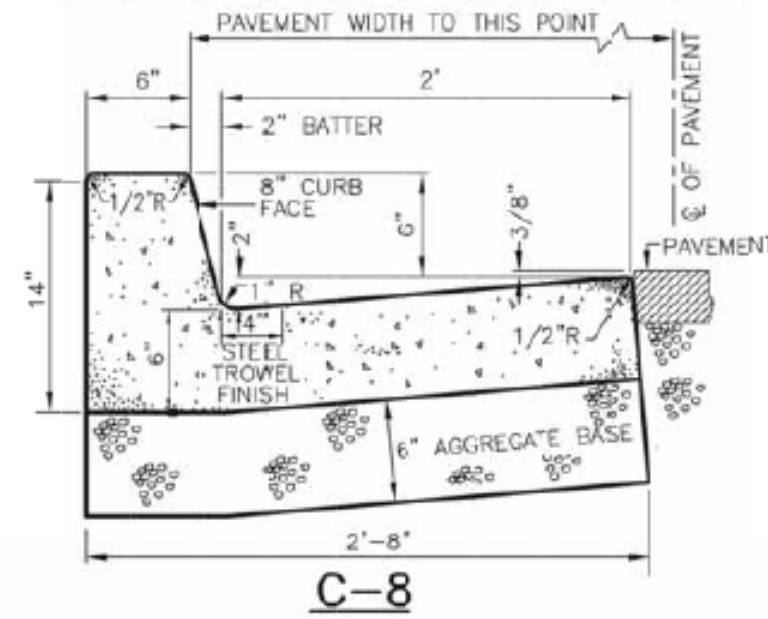
1. CONCRETE PER LIN. FT. = 0.025 C.Y. FOR 6" C.F. AND 0.031 C.Y. FOR 8" C.F.
2. CONCRETE SHALL BE 520-C-2500.
3. FULL FACE 3/4" FELT EXPANSION JOINTS SHALL BE PLACED AT THE END OF ALL CURB RETURNS. 1/4"x2" WEAKENED PLANE JOINTS SHALL BE PLACED AT 15' INTERVALS WITH 3/4" FULL FACE FELT EXPANSION JOINTS AT 45' O.C. MAX.
- *4. STANDARD FOR A-6 CURB SHALL NOT BE USED IN THE PUBLIC RIGHT-OF-WAY WITHOUT APPROVAL OF CITY ENGINEER.
5. 95% RELATIVE COMPACTION REQUIRED IN UPPER 5" OF SUBGRADE.



NOTES:

1. TYPE B SHALL BE USED FOR REPLACEMENT-IN-KIND ONLY - NOT FOR NEW CONSTRUCTION AND SHALL NOT BE USED TO REPLACE MEDIAN NOSES UP TO 10' FROM NOSE.
2. BOND CURB TO PAVEMENT SURFACE WITH APPROVED ADHESIVE. ADHESIVE SHALL COVER ENTIRE BASE AREA OF CURB.
3. CONCRETE PER LIN. FT. = 0.0138 C.Y.
4. CONCRETE SHALL BE CLASS 520-C-2500.
5. 1/4" x 2" WEAKENED PLANE JOINTS SHALL BE PLACED AT 15' INTERVALS.
6. INSTALL DOWELS AT 6'-0" ON CENTER. EMBED INTO PAVEMENT MIN. OF 6".

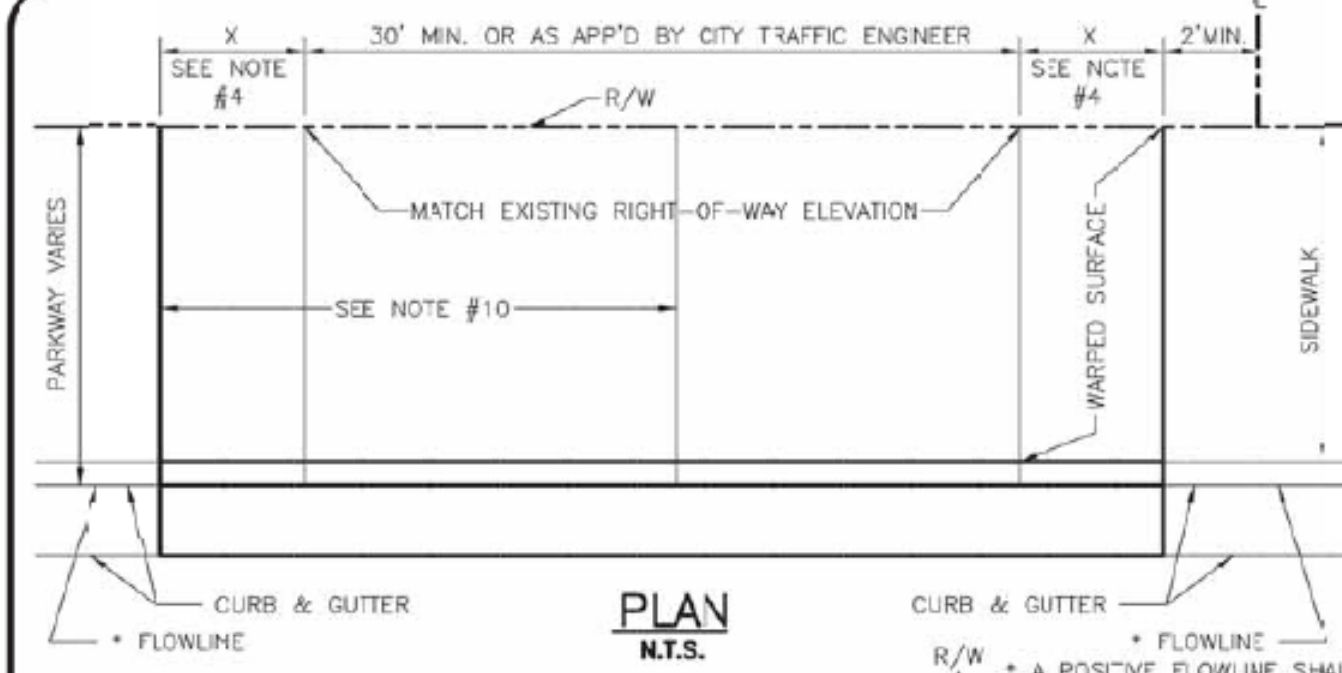
	CONCRETE CURB ONLY TYPE "A" & "B"				
	Approved: City Engineer	Date: 12-8-15	REVISIONS	BY DATE	STD. PLAN NUMBER B-112



NOTES:

1. CONCRETE PER LIN. FT. = 0.0645 C.Y. FOR TYPE C-8 AND 0.0892 C.Y. FOR TYPE C-8 (MODIFIED).
2. CONCRETE SHALL BE CLASS 520-C-2500 FOR TYPE C-8 AND 630-CW-4000 FOR TYPE C-8 (MODIFIED).
3. FULL FACE 3/4" FELT EXPANSION JOINTS SHALL BE PLACED AT THE END OF ALL CURB RETURNS. 1/4"x2" WEAKENED PLANE JOINTS SHALL BE PLACED AT 15' INTERVALS WITH 3/4" FULL FACE FELT EXPANSION JOINTS AT 45' O.C. MAX. AND AT THE TOP OF "X'S" ON ALL DRIVEWAY APPROACHES.
4. AGGREGATE BASE SHALL BE CLASS II 3/4".
5. 95% RELATIVE COMPACTION REQUIRED FOR FULL DEPTH OF AGGREGATE BASE.

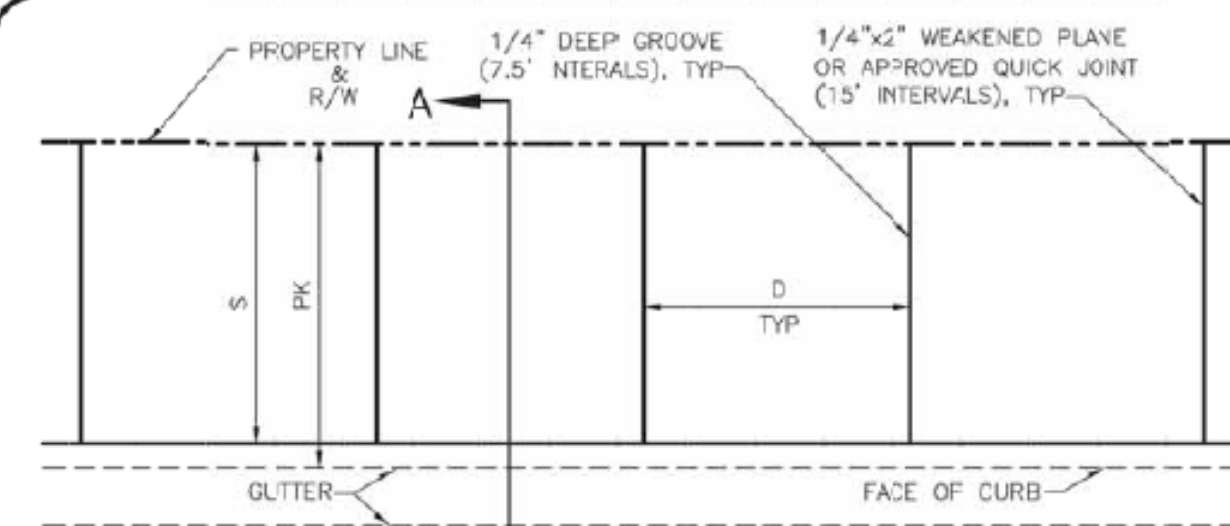
	CONCRETE CURB & GUTTER TYPE "C"				
	Approved: City Engineer	Date: 12-8-15	REVISIONS	BY DATE	STD. PLAN NUMBER B-113



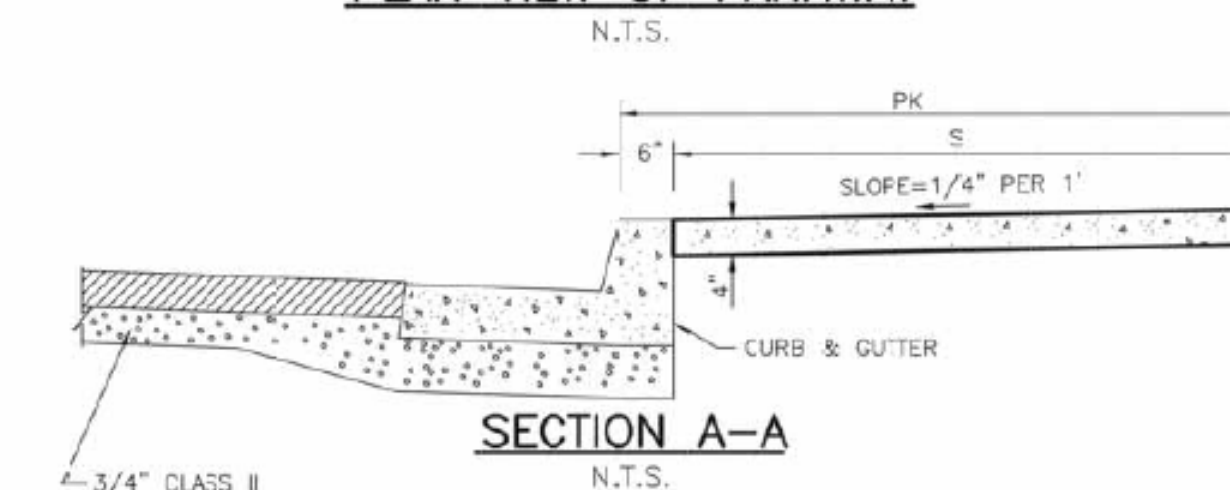
NOTES:

1. SEE CITY STANDARD PLAN B-120 FOR COMMERCIAL DRIVEWAYS ON ARTERIAL STREETS.
2. ALL CONCRETE SHALL BE CLASS 560-C-3250. INSPECTOR'S APPROVAL IS REQUIRED PRIOR TO ANY SAWCUT.
3. APPROACH SHALL BE 6" MINIMUM THICKNESS.
4. X=3" FOR 6" CF, X=4" FOR 8" CF.
5. TWO FEET (MIN.) OF FULL HEIGHT CURB IS REQUIRED BETWEEN DRIVEWAY AND EXTENDED SIDE PROPERTY LINE.
6. A MINIMUM OF 22" OF FULL HEIGHT CURB IS REQUIRED BETWEEN DRIVEWAYS SERVING THE SAME PARCEL.
7. 95% RELATIVE COMPACTION REQUIRED IN UPPER 6" OF SUBGRADE.
8. FOR NEW DRIVEWAY LOCATIONS REMOVE AND RECONSTRUCT CURB & GUTTER SEPARATELY FROM DRIVEWAY UNLESS OTHERWISE APPROVED BY THE ENGINEER.
9. NO HORIZONTAL CURB CUTS ALLOWED.
10. INSTALL 3/4"x2" FELT JOINTS AT 15' O.C. AND 3/4"x6" FELT JOINTS AT TOP OF "X'S".
11. COLORED ADDITIVES OR PATTERNED CONCRETE SHALL NOT BE USED IN PUBLIC R/W.

	NON-ARTERIAL MULTI-RESIDENTIAL & COMMERCIAL DRIVEWAY				
	Approved: City Engineer	Date: 12-8-15	REVISIONS	BY DATE	STD. PLAN NUMBER B-121



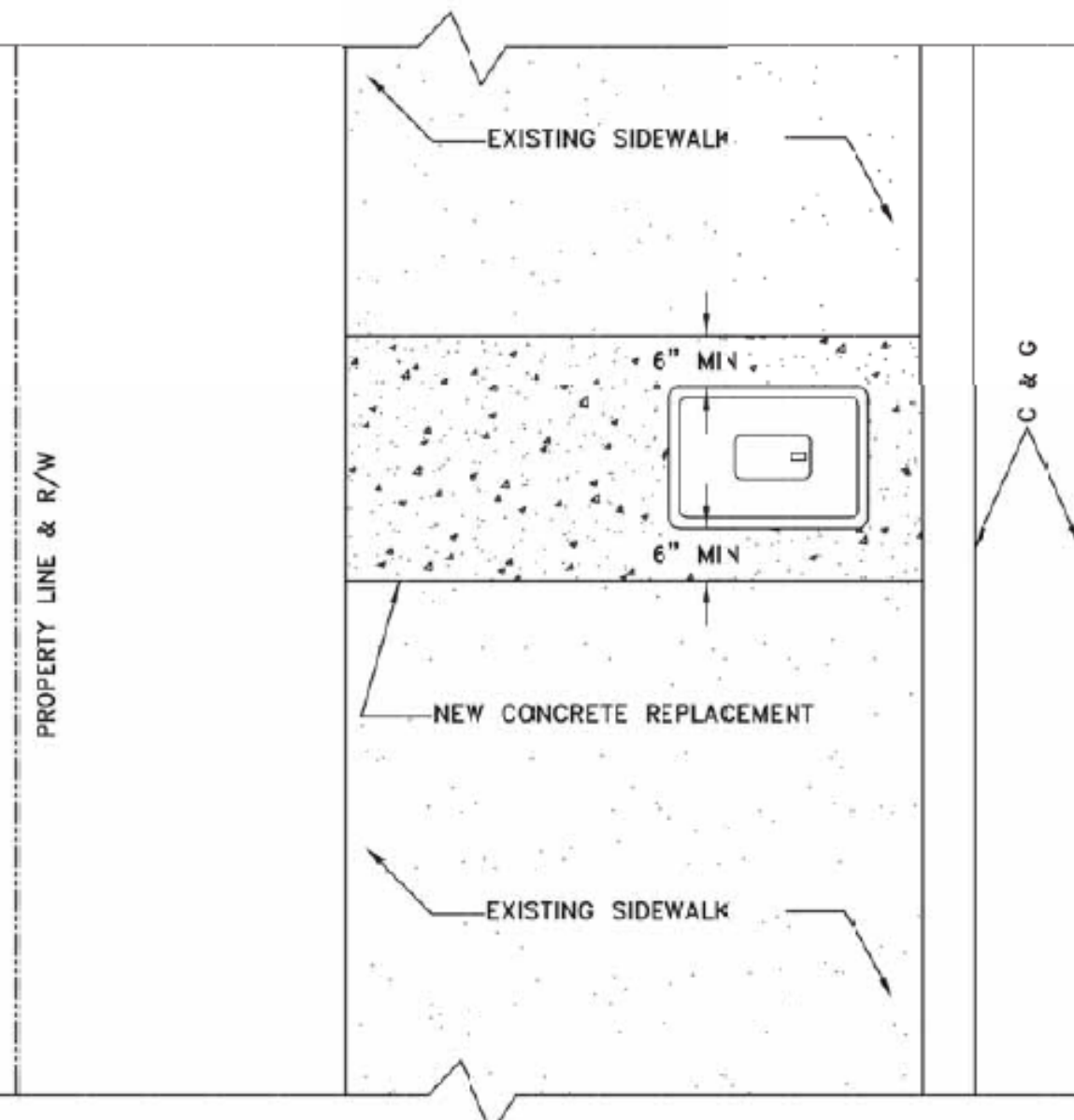
PLAN VIEW OF PARKWAY



NOTES:

1. 3/4"x4" FELT EXPANSION JOINTS SHALL BE PLACED AT THE ENDS OF ALL CURB RETURNS AND AT TOP OF "X" AT DRIVEWAYS. 1/4"x2" WEAKENED PLANE JOINTS SHALL BE PLACED AT 15' INTERVALS. SCORING LINES SHALL BE PLACED AT 7'-1/2" INTERVALS. EXPANSION JOINTS TO BE INSTALLED AT 45' MAX. SPACING.
2. 1/4"x2" APPROVED QUICK JOINTS FOR SIDEWALK SHALL BE PLACED TO COINCIDE WITH JOINTS OF THE CURB.
3. REFER TO STD. PLAN B-305 FOR TRAFFIC CONTROL SIGN INSTALLATION.
4. ALL CONCRETE SHALL BE CLASS 520-C-2500 AND 4" THICK.
5. 90% RELATIVE COMPACTION REQUIRED UNDER SIDEWALK.
6. S MAY BE REDUCED TO 5' WITH ADEQUATE PROVISION FOR MAINTENANCE OF REMAINING PARKWAY.

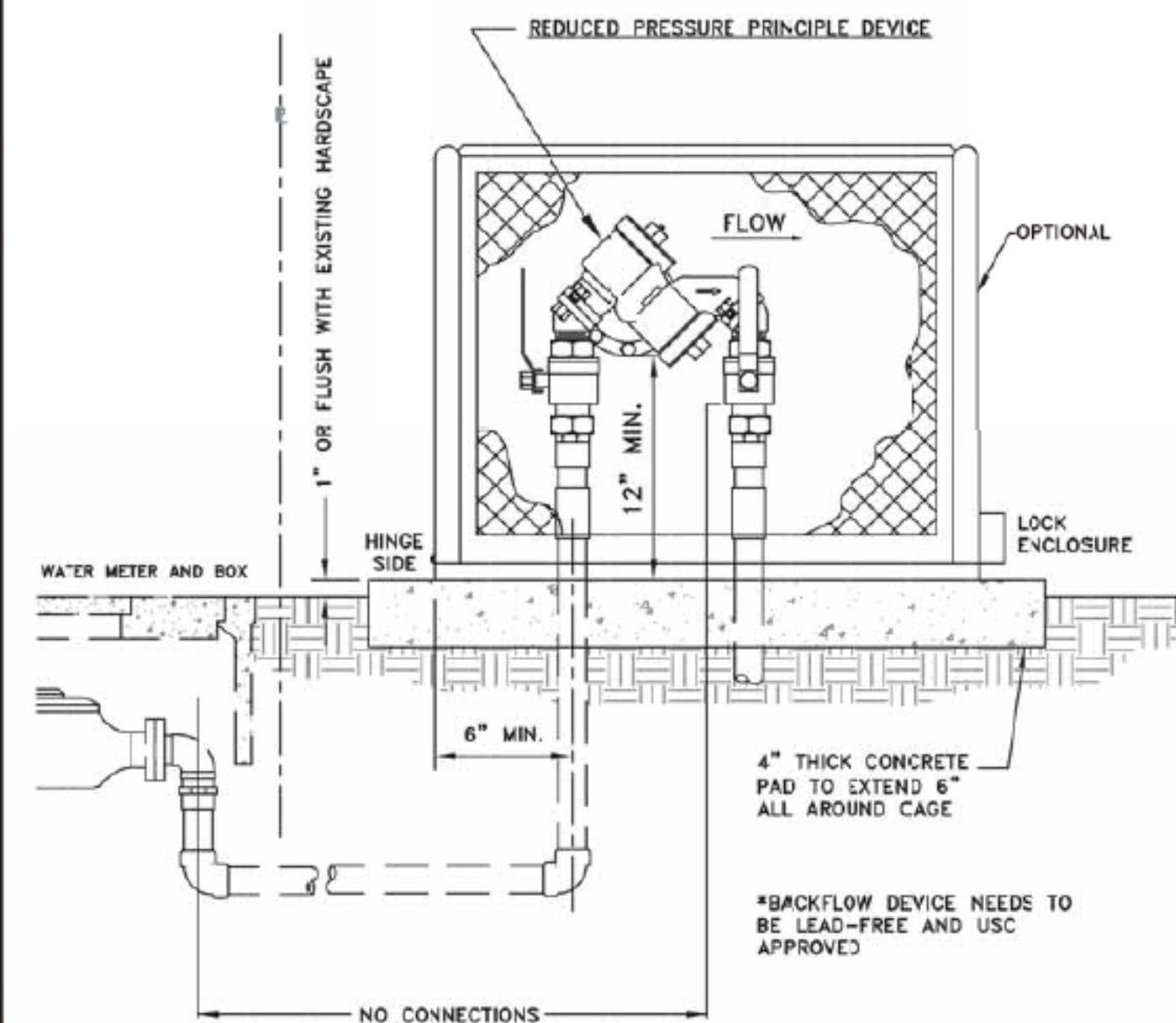
	COMMERCIAL AND ARTERIAL SIDEWALK				
	Approved: City Engineer	Date: 12-8-15	REVISIONS	BY DATE	STD. PLAN NUMBER B-106



NOTES:

1. INSTALL CONCRETE REPLACEMENT PER STANDARD PLAN B-105

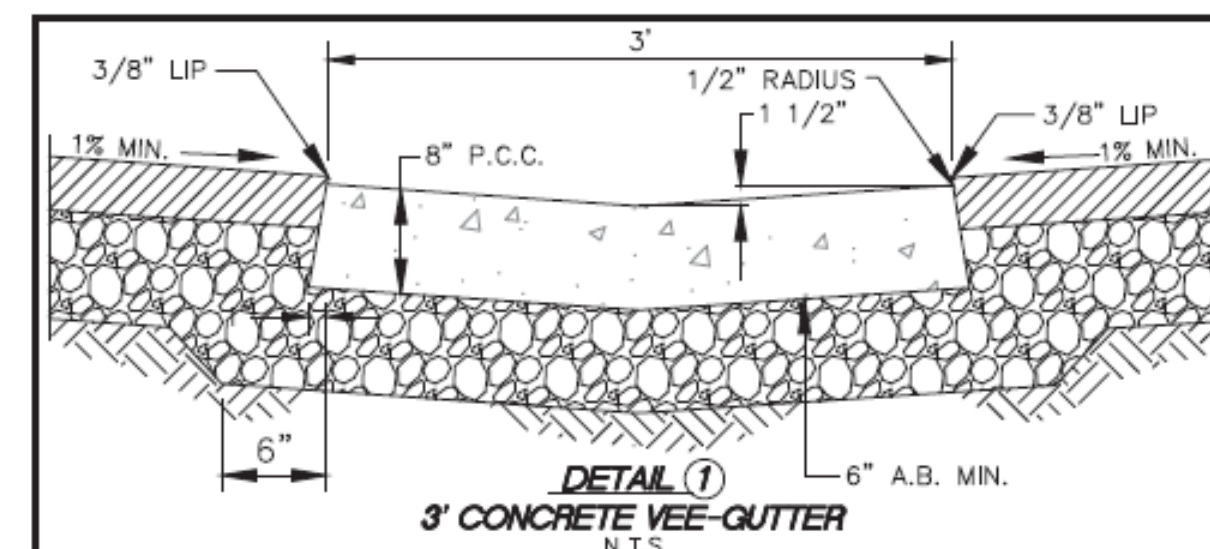
	METER BOX INSTALLATION WITH NEW CONCRETE REPLACEMENT				
	Approved: City Engineer	Date: 12-8-15	REVISIONS	BY DATE	STD. PLAN NUMBER B-718 SHEET 1 OF 1



NOTES:

1. THE BACKFLOW DEVICE MUST BE AS APPROVED BY THE CITY OF GARDEN GROVE WATER SERVICES DIVISION. FOR AN APPROVED LIST CONTACT THE WATER SERVICES DIVISION AT (714) 741-5395.
2. EACH BACKFLOW DEVICE SHALL BE TESTED IMMEDIATELY AFTER INSTALLATION AND ANNUALLY BY A CERTIFIED TESTER AS APPROVED BY THE ORANGE COUNTY HEALTH DEPARTMENT.
3. RELIEF SPOT OF BACKFLOW DEVICE SHALL BE 12" MIN. ABOVE SURROUNDING GROUND. CLEARANCE AROUND TEST OUTLETS SHALL BE SUCH THAT ANY DEVICE CAN BE CONVENIENTLY TESTED.
4. THERE SHALL BE NO CONNECTIONS BETWEEN THE METER AND THE BACKFLOW DEVICE.
5. KEEP 30" CLEARANCE ON THE HINGE SIDE OF CAGE TO ALLOW FOR CAGE ACCESS PLACEMENT.

	TYPICAL 2" OR SMALLER REDUCED PRESSURE PRINCIPAL DEVICE (RPPD)				
	Approved: City Engineer	Date: 12-8-15	REVISIONS	BY DATE	STD. PLAN NUMBER B-770 SHEET 1 OF 1



		SIMPSON HOLDINGS GG, LLC	
JONES, CAHL & ASSOCIATES CONSULTING ENGINEERS 18090 Beach Boulevard • Huntington Beach California 92648 • (714) 848-0566 e-mail: jca@jonescahl.com		GILBERT STREET AND CHAPMAN AVENUE DETAILS AND SECTIONS	
DESIGNED: C.H.	SCALE: 1"=20'	GARDEN GROVE CALIFORNIA	
DRAWN: C.H.	DATE: 8/13/2021	DWG. NO.	SHEET NO.
CHKED: D.R.	JOB NO. 21-2496	21-2496-DET	2 OF 4
PREPARED UNDER THE DIRECTION OF:		DATE	
DANIEL RUBIO R.C.E. 60934/P.L.S. 8239			

MODEL NO.

A

B

2nd WEIGHT

MODEL NO.

D

WEIGHT

DI242433

36"

42"

1900 LBS.

DI242443

48"

54"

2500 LBS.

*BOX ONLY

FRAME AND GRATE

MODEL NO.

RATING

D

WEIGHT

SG2424-DIP

PEDESTRIAN

1 1/2"

4" LBS.

SG2424-DIT

TRAFFIC

3"

120 LBS.

18"x31" THIN WALL, KNOCKOUTS, SLEDGE OUT AS REQUIRED, (TYP. 4 PLACES)

INSIDE HEIGHT OF BOX

OUTSIDE HEIGHT OF BOX

OPTIONAL EXTENSION HEIGHT

2'-10"

2'-10"

FRAME MAY BE CAST DIRECTLY INTO BOX (OPTIONAL)

EXTENSION

MODEL NO.

C

WEIGHT

RS242406

6"

300 LBS.

RS242412

12"

600 LBS.

■ FRAME AND GRATE ASSEMBLY AVAILABLE IN TRAFFIC OR PEDESTRIAN MODELS.

■ DESIGN FOR H-20-44 BRIDGE LOADING.

■ ASSEMBLY TO BE PLACED ON A 6" BASE OF CRUSHER RUN FOR EASE OF INSTALLATION AND EVEN LOAD DISTRIBUTION.

■ FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.

24" X 24" DRAIN INLET

DI2424

JENSEN PRECAST

FG-0001

SPECIFIER CHART

MODEL

INLET ID

GRATE OD

COMMENTS

FF-12D

12" X 12"

15" X 15"

GRATED INLET

FF-16D

16" X 16"

18" X 18"

GRATED INLET

FF-18D

18" X 18"

20" X 20"

GRATED INLET

FF-1836SD

18" X 36"

18" X 40"

GRATED INLET

FF-1836DGO

18" X 36"

18" X 40"

COMBINATION INLET

FF-24D

24" X 24"

26" X 26"

GRATED INLET

FF-2436SD

24" X 36"

24" X 40"

GRATED INLET

FF-24DGO

24" X 24"

18" X 26"

COMBINATION INLET

FF-2436DGO

24" X 36"

24" X 40"

COMBINATION INLET

FF-36D (2 PIECE)

36" X 36"

36" X 40"

GRATED INLET

FF-3648D (2 PIECE)

36" X 48"

40" X 48"

GRATED INLET

GRATE (BY OTHERS)

OPTIONAL FOSSIL ROCK ABSORBANT POUCHES FOUR EACH.

STAINLESS STEEL FILTER FRAME WITH RUBBER GASKET.

POLYPROPYLENE GEOTEXTILE FILTER ELEMENT.

STAINLESS STEEL SUPPORT HOOK, FOUR EACH.

CATCH BASIN (BY OTHERS)

NOTES:

1. Filter insert shall have a high flow bypass feature.

2. Filter support frame shall be constructed from stainless steel Type 304.

3. Filter medium shall be Fossil Rock™ installed and maintained in accordance with manufacturer specifications.

4. Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.

FloGard®

Catch Basin Insert Filter

Grated Inlet Style

Oldcastle®

Stormwater Solutions

7921 Southpark Plaza, Suite 200 | Littleton, CO 80120 | PH: 800.579.8810 | oldcastlestormwater.com

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DRAWING NO.

FG-0001

REV.

E

ECO-C142

JPR 7/13/16

DATE

JPR 12/18/08

SHEET 1 OF 2

FG-0001

1. FILTER FRAME.

2. RUBBER GASKET.

3. GRATE FRAME (GRATE NOT SHOWN FOR CLARITY).

4. CONCRETE DROP INLET (BY OTHERS).

5. PAVEMENT SURFACE (BY OTHERS).

6. OPTIONAL FOSSIL ROCK™ ABSORBANT POUCHES.

REFER TO SPECIFIER CHART FOR CATCH BASIN & FILTER SIZING. SEE SHEET 1 OF 2.

PAVEMENT SURFACE.

8.50"

OUTLET

SECTION VIEW

FloGard®

Catch Basin Insert Filter

Grated Inlet Style

Oldcastle®

Stormwater Solutions

7921 Southpark Plaza, Suite 200 | Littleton, CO 80120 | PH: 800.579.8810 | oldcastlestormwater.com

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DRAWING NO.

FG-0001

REV.

E

ECO-C142

JPR 7/13/16

DATE

JPR 12/18/08

SHEET 2 OF 2

Page 187 of 234

JCA

JONES, CAHL & ASSOCIATES

CONSULTING ENGINEERS

18090 Beach Boulevard • Huntington Beach, California 92648 • (714) 844-0566

e-mail: jca@jonescahl.com

DESIGNED: C.H.

SCALE: 1"=20'

DRAWN: C.H.

DATE: 8/13/2021

CHKD: D.R.

JOB NO. 21-2496

PREPARED UNDER THE DIRECTION OF:

DANIEL RUBIO R.C.E. 60934/P.L.S. 8239

DATE

SIMPSON HOLDINGS GG, LLC

GILBERT STREET AND CHAPMAN AVENUE

DETAILS AND SECTIONS

GARDEN GROVE

CALIFORNIA

DWG. NO.

21-2496-DET

SHEET NO.

3 OF 4

REV.

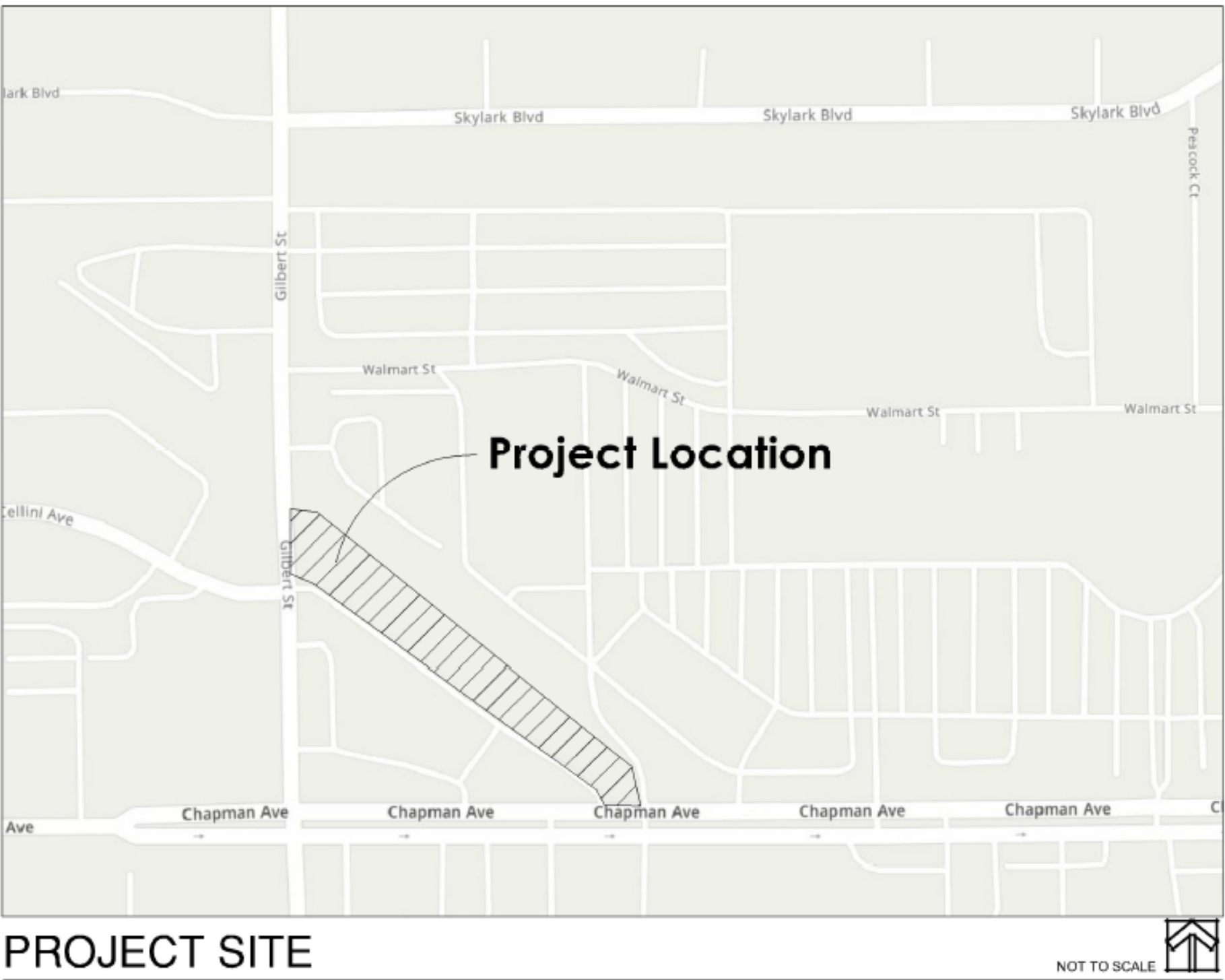
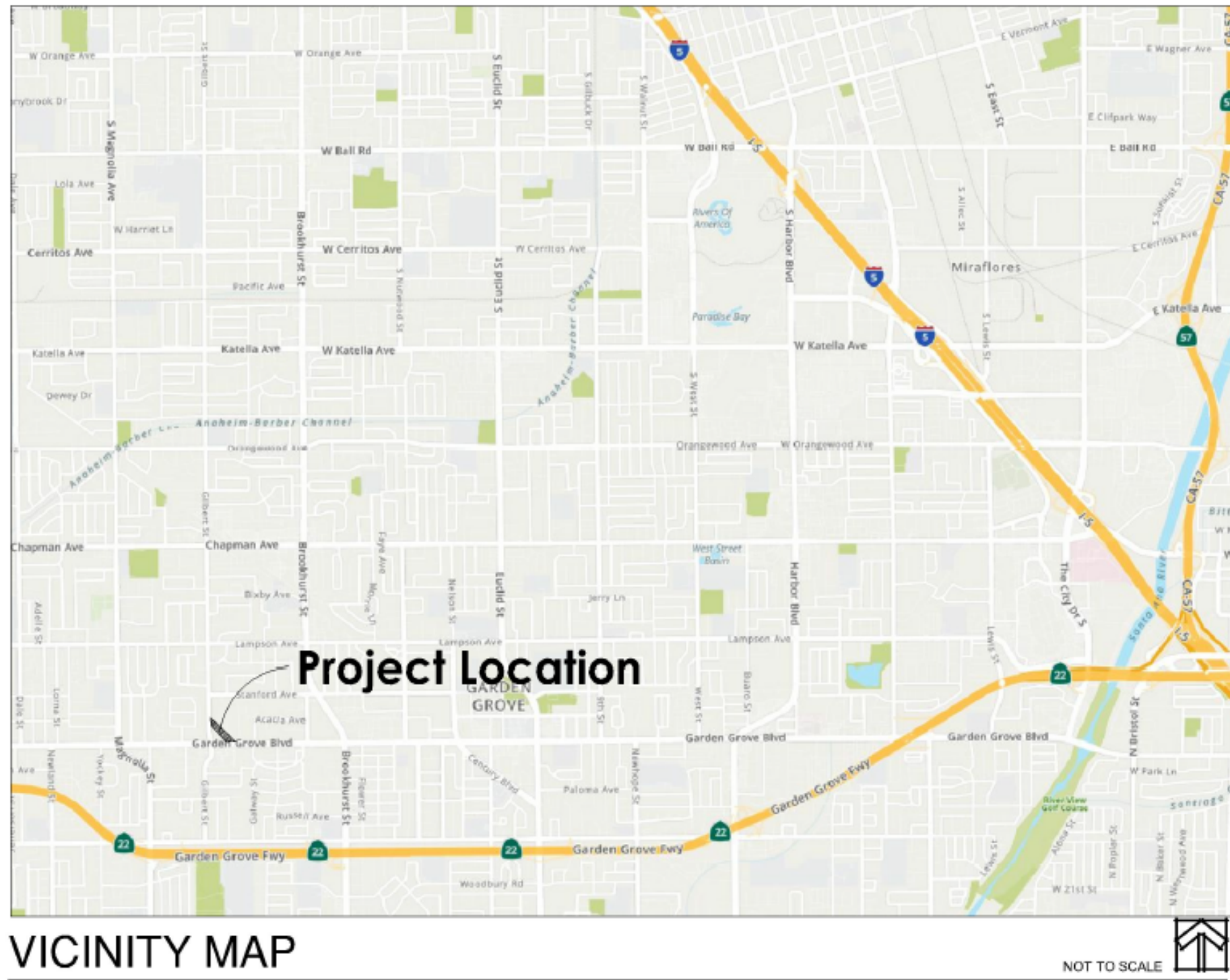
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Simpson Chevrolet Parking

Landscape Architectural Plans

Gilbert and Chapman

Garden Grove, CA 92841



IRRIGATION NOTES

General

- IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE AND OPERATIONAL IRRIGATION SYSTEM GIVING FULL COVERAGE AND READY FOR USE BY THE OWNER. THE DRAWINGS ARE BASED ON LANDSCAPE AND GRADING DRAWINGS IN EFFECT AT THE TIME THESE DRAWINGS WERE MADE. ANY DISCREPANCIES, OMISSIONS, ERRORS, ETC. ON THESE DRAWINGS OR ON SITE CHANGES, DO NOT AND SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE A COMPLETE SYSTEM AS SHOWN. IF NECESSARY, THE CONTRACTOR MAY, WHERE CHANGES OCCUR, ADD OR DELETE SPRINKLERS, REROUTE PIPE, ETC. TO ASSURE ADEQUATE AND FULL COVERAGE.
- IRRIGATION SYSTEM SHALL CONFORM TO STATE AND LOCAL CODES.
- THE SYSTEM SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR. ANY DEFECTIVE MATERIAL OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY THE IRRIGATION CONTRACTOR AT NO COST TO THE OWNER.
- IRRIGATION SYSTEM IS STRICTLY DIAGRAMMATIC. THEREFORE, CONTRACTOR MUST MAKE ADJUSTMENTS IN THE FIELD TO INSURE ADEQUATE COVERAGE.
- LOCATE ALL VALVES IN PLANTING AREAS WHEN PRACTICALLY POSSIBLE.
- FINAL LOCATION OF AUTOMATIC CONTROLLER AND THE BACKFLOW PREVENTER SHALL BE DETERMINED BY OWNER'S AUTHORIZED REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

Existing Site Conditions

- IRRIGATION CONTRACTOR SHALL VERIFY ALL PRESSURES ON SITE PRIOR TO CONSTRUCTION.
- LOCATION OF P.O.C. IS ONLY DIAGRAMMATIC. LOCATION MUST BE VERIFIED IN FIELD.
- DO NOT WILLFULLY INSTALL THE SYSTEM AS DESIGNED WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE; OTHERWISE, THE IRRIGATION CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY AND ALL NECESSARY REVISIONS.
- FIELD ADJUST IRRIGATION SYSTEM WHEN VERTICAL OBSTRUCTIONS (FIRE HYDRANT, STREET LIGHTS, TREES, SIGNAGE, ETC.) INTERFERE WITH THE IRRIGATION SPRAY PATTERN. THE CONTRACTOR SHALL INSTALL QUARTER OR HALF CIRCLE ON EACH SIDE OF THE OBSTRUCTION TO PROVIDE PROPER IRRIGATION COVERAGE. ALL ADJUSTMENT SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER. TYPICAL.

Controller Power / Controller Wiring

- 120 VOLT ELECTRICAL POWER OUTLET FOR CONTROLLERS SHALL BE PROVIDED AS NOTED. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HOOK-UP FROM OUTLET TO CONTROLLER.
- ALL WIRE FROM CONTROLLER TO ELECTRIC CONTROL VALVES SHALL BE COPPER UF #14 DIRECT BURIAL. USE BLACK FOR PILOT, WHITE FOR COMMON. COMMON WIRE SHALL BE 12 GAUGE WIRE. INSTALL IN COMMON TRENCH WITH MAIN LINE PIPING WHERE POSSIBLE.
- THE CONTRACTOR SHALL STUB OUT A MINIMUM OF 2 (TWO) EXTRA SPARE VALVE WIRES (OR AS SHOWN ON IRRIGATION PLANS) AND 1 (ONE) COMMON WIRE FROM IRRIGATION CONTROLLER(S) TO EACH END OF MAINLINE RUN. THE SPARE WIRES SHALL BE STUB OUT INSIDE THE FARTHEST VALVE BOX AT EACH END OF MAINLINE RUN.

Irrigation Piping

- PROVIDE MINIMUM 24" COVER OVER ALL PRESSURE MAIN LINE PIPING, AND 18" OVER ALL NON-PRESSURE LATERAL LINE PIPING. ALL PIPE UNDER PAVED AREAS IS TO BE INSTALLED IN A PVC SCH. 40 SLEEVE WITH 36" MIN. COVER. SLEEVE LOCATIONS TO BE AS SHOWN ON PLANS. CITY DEPTH REQUIREMENTS FOR PIPE SUPERSEDE ALL THE ABOVE DIMENSIONS.
- MAINLINE FEEDER BETWEEN POINT OF CONNECTION, METER AND BACKFLOW PREVENTER TO BE OF MATERIAL AS REQUIRED BY CURRENT WATER DISTRICT.
- POLYETHYLENE PIPE TO BE BURIED NO DEEPER THAN 4" BELOW SURFACE.
- IN ADDITION TO THE SLEEVES SHOWN ON THE PLAN, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ADDITIONAL SLEEVES OF SUFFICIENT SIZE UNDER ALL PAVED AREAS PRIOR TO PAVING UPON APPROVAL OF THE OWNER'S REPRESENTATIVE. IF REQUIRED TO OPERATE SYSTEMS.

Dripline Layout

- PVC TO DRIPLINE PRESSURE SIDE CONNECTIONS SHOULD BE MADE AT THE HIGHEST ELEVATION OF THE DRIP-ZONE AS PRACTICALLY POSSIBLE
- FINAL DRIPLINE CONNECTIONS SHOULD BE MADE UNDER PRESSURE TO ENSURE PROPER FLUSHING OF THE SYSTEM
- INSTALL TUBING STAKES AT 30" ON CENTER MAXIMUM. WHERE TUBING SURGES TO SOIL SURFACE DURING NORMAL OPERATION, ADDITIONAL STAKES ARE REQUIRED.
- ALL PVC TO DRIPLINE CONNECTIONS MUST BE MADE 6" BELOW THE SOIL SURFACE

PLANTING NOTES

ROOT BARRIER:
USE LINEAL ROOT BARRIER WHEN TREE IS WITHIN 5' MIN. DISTANCE ADJACENT TO HARDSCAPE AREAS. ROOT BARRIERS SHALL BE INSTALLED PER DETAIL. ROOT BARRIER SHALL EXTEND THE EXPECTED LENGTH OF TREE CANOPY OR SHOWN PER PLAN.

PLANT QUALITY REQUIREMENTS
ALL PLANT MATERIALS SHALL BE FULL VIGOROUS & HEALTHY NURSERY STOCK - INCLUDING THE TOP OF PLANT AND THE ROOT SYSTEM. ALL PLANT MATERIALS SHALL MEET THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004). THE LANDSCAPE ARCHITECT MUST BE CONTACTED REGARDING ALL PLANT MATERIALS AS THEY ARRIVE ON-SITE. PRIOR TO THEIR INSTALLATION, THE LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIALS FOR INSTALLATION ON-SITE OR SHALL BE SENT REPRESENTATIVE PHOTOGRAPHS OF SAME. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT UNACCEPTABLE PLANT MATERIALS. A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK SUPPLIER, SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

UNACCEPTABLE CONDITIONS FOR PLANTS IN GENERAL:
PLANT MATERIALS THAT ARE THE INCORRECT SPECIES.
PLANTS MATERIALS WITH APPARENT FUNGAL DISEASE (MILDEW, RUST, BLACK-SPOT, ETC.).
PLANTS THAT ARE DEFOLIATED DUE TO STRESS OR DISEASE. FOLIAGE THAT IS CHLOROTIC, WIND OR FROST BURNED, OR IN ANY OTHER WAY DAMAGED.

UNACCEPTABLE CONDITIONS FOR ROOT SYSTEMS:
PLANTS WITH EXPOSED ROOTS, GIRDLED ROOTS, OVERGROWN OR UNDERSIZED ROOT SYSTEMS WILL BE CONSIDERED UNACCEPTABLE.

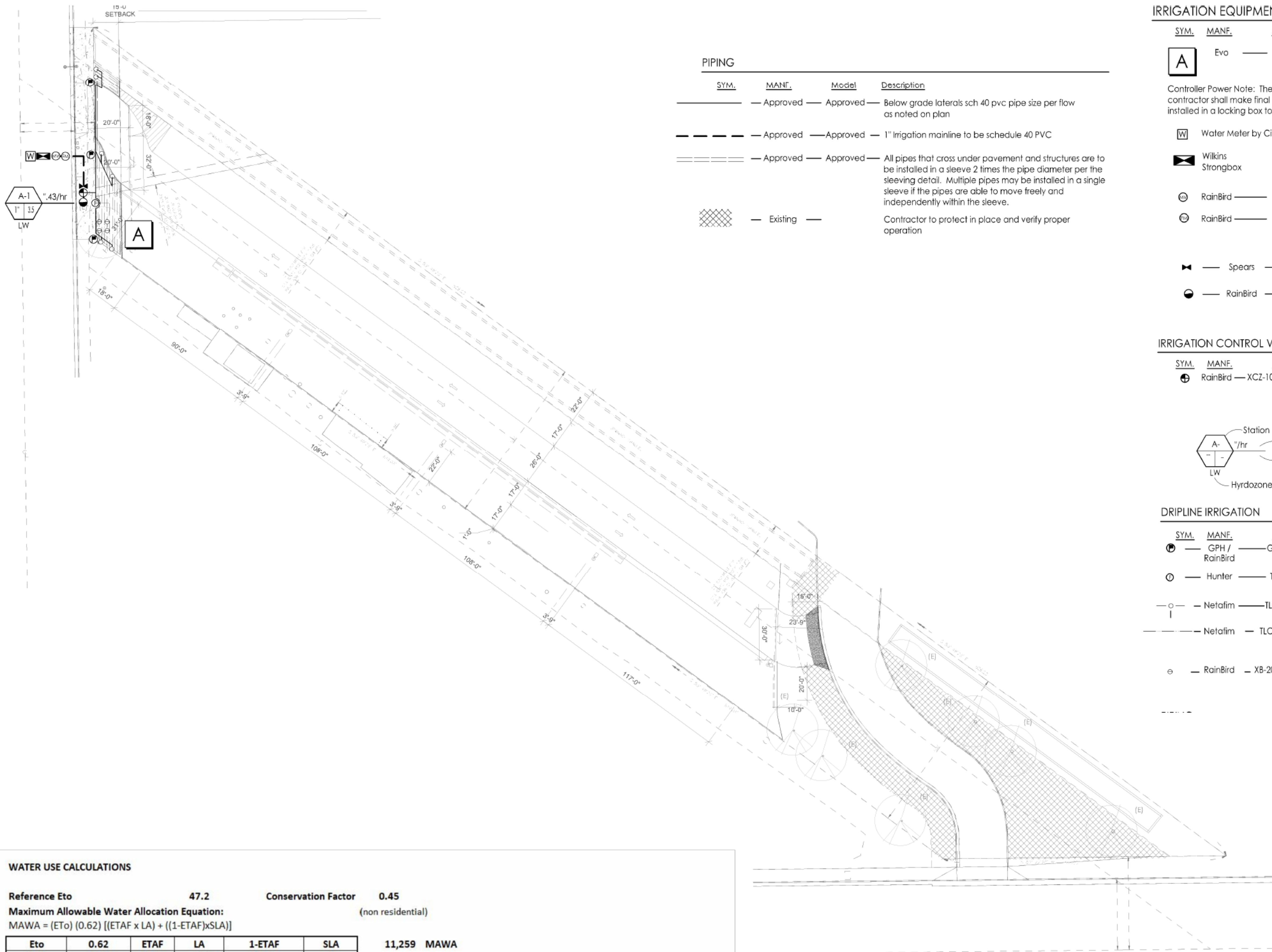
SOIL AMENDMENTS, TESTING AND PREPARATION
AFTER COMPLETION OF FINE GRADE AND PRIOR TO SOIL PREPARATION, THE CONTRACTOR SHALL DOCUMENT SAMPLE LOCATIONS AND PROVIDE AGRONOMIC SOILS TEST FOR PLANTED AREAS (1 TEST PER 150 FT OF LINEAR PLANTER). CONTRACTOR SHALL SUBMIT TEST RESULTS TO THE PROJECT LANDSCAPE ARCHITECT AND AMEND THE SOIL PER SOIL LAB RECOMMENDATIONS.

PLANT INSTALLATIONS AT EXISTING TREE ROOTS
ALL PLANT MATERIAL SHALL BE INSTALLED PER SIZE LISTED IN PLANT LEGEND; HOWEVER, IF CONTRACTOR IS HAVING HARD TIME INSTALLING 15 OR 5 GALLON PLANT MATERIAL WITHIN EXISTING TREE ROOTS, CONTRACTOR MAY REDUCE PLANT CONTAINER SIZE TO 1 GALLON AT THE PROBLEM AREAS ONLY WITH WRITTEN PERMISSION FROM CLIENT AND/OR LANDSCAPE ARCHITECT.

MULCH
A MINIMUM OF 3" LAYER OF MEDIUM GRIND WOOD BARK MULCH SHALL BE APPLIED TO ALL SHRUB AND UNPLANTED AREAS AND A MINIMUM OF 2" MULCH SHALL BE APPLIED TO GROUND COVER AREAS. SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

Sheet List Table

Sheet No.	Sheet Title
L-1	Cover Sheet
L-2	Irrigation Plans
L-3	Planting Plan
L-4	Irrigation Details
L-5	Irrigation and Planting Details



PIPING

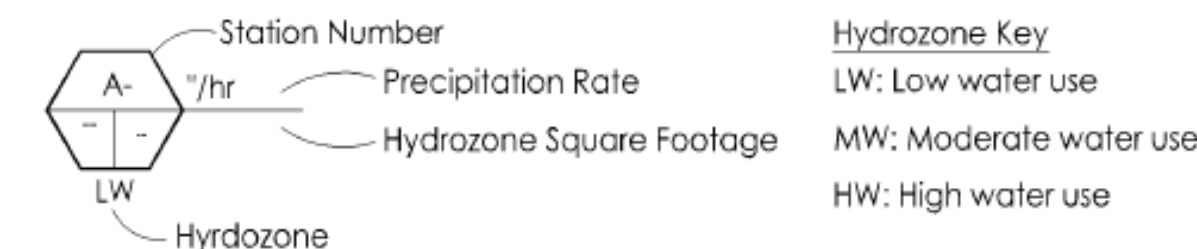
SYM.	MANF.	Model	Description
---	Approved	Approved	Below grade laterals sch 40 pvc pipe size per flow as noted on plan
---	Approved	Approved	1" Irrigation mainline to be schedule 40 PVC
---	Approved	Approved	All pipes that cross under pavement and structures are to be installed in a sleeve 2 times the pipe diameter per the sleeving detail. Multiple pipes may be installed in a single sleeve if the pipes are able to move freely and independently within the sleeve.
---	Existing	---	Contractor to protect in place and verify proper operation

IRRIGATION EQUIPMENT LEGEND

SYM.	MANF.	Model	Description
A	Evo	EVO-40D EVO-WS	'Evolution Series' Smart Irrigation Controller with weather sensor
Controller Power Note: The contractor shall coordinate the connection to 110v power. The contractor shall make final connections to the controller in conduit with a GFI protected switch installed in a locking box to disconnect the controller from power.			
W	Water Meter by City of Garden Grove per City Standards		
W	Wilkins Strongbox	975XL2 SBBC-22SS	Pre-plumbed Backflow Station 3/4" installed in Low-Profile Smooth Touch Enclosure or as approved by City. Installed per City details.
W	RainBird	100-PESB	Master Irrigation Control Valve
W	RainBird	FS100B	Provide independent conduit with flow sensor and master valve wires (4 wires total) in conduit from controller to flow sensor and master valve location.
W	Spears	2422-010G	Single entry PVC ball valve installed in a 10" round valve box (Color: Tan) per detail
W	RainBird	33DRC	3/4" Quick Coupler Valve installed in a 10" round valve box (Color: Tan) per detail

IRRIGATION CONTROL VALVES

SYM.	MANF.	Model	Description
W	RainBird	XCZ-100-PRB-LC	Drip Irrigation Control Zone (0.3 - 20 gpm) Install in a plastic valve box (Color: Tan) per detail Replace existing valve where available, cut cap and remove unused valves and boxes.



DRIPLINE IRRIGATION

SYM.	MANF.	Model	Description
W	GPH / RainBird	GDFN-R	Combination Drip Flush Valve Install on a 6" RainBird RD-06
W	Hunter	TLSOV	Manual Flush Valve Install in a 6" Round Valve Box with gravel
W	Netafim	TLO50MA	PVC Thread to Drip Tubing Connection (3/4" or 1/2")
W	Netafim	TLCV4-1810	Shrub Zone Dripperline Irrigation installed 4" Below Grade 0.4 gph flow rate, 18" emitter spacing, with check valves. max. 18" row spacing in shrub areas.
W	RainBird	XB-20PC	2.0 gph (Red) Xeri-Bug drip emitter (4 per tree) connected to dripperline tubing installed in a 12" deep 3" vertical drain pipe with a flat drain grate (Color: Tan) per detail. Install 24" from base of new trees.

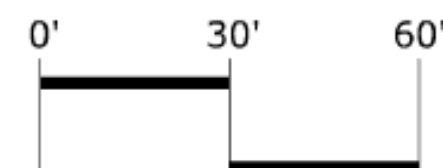
WATER USE CALCULATIONS

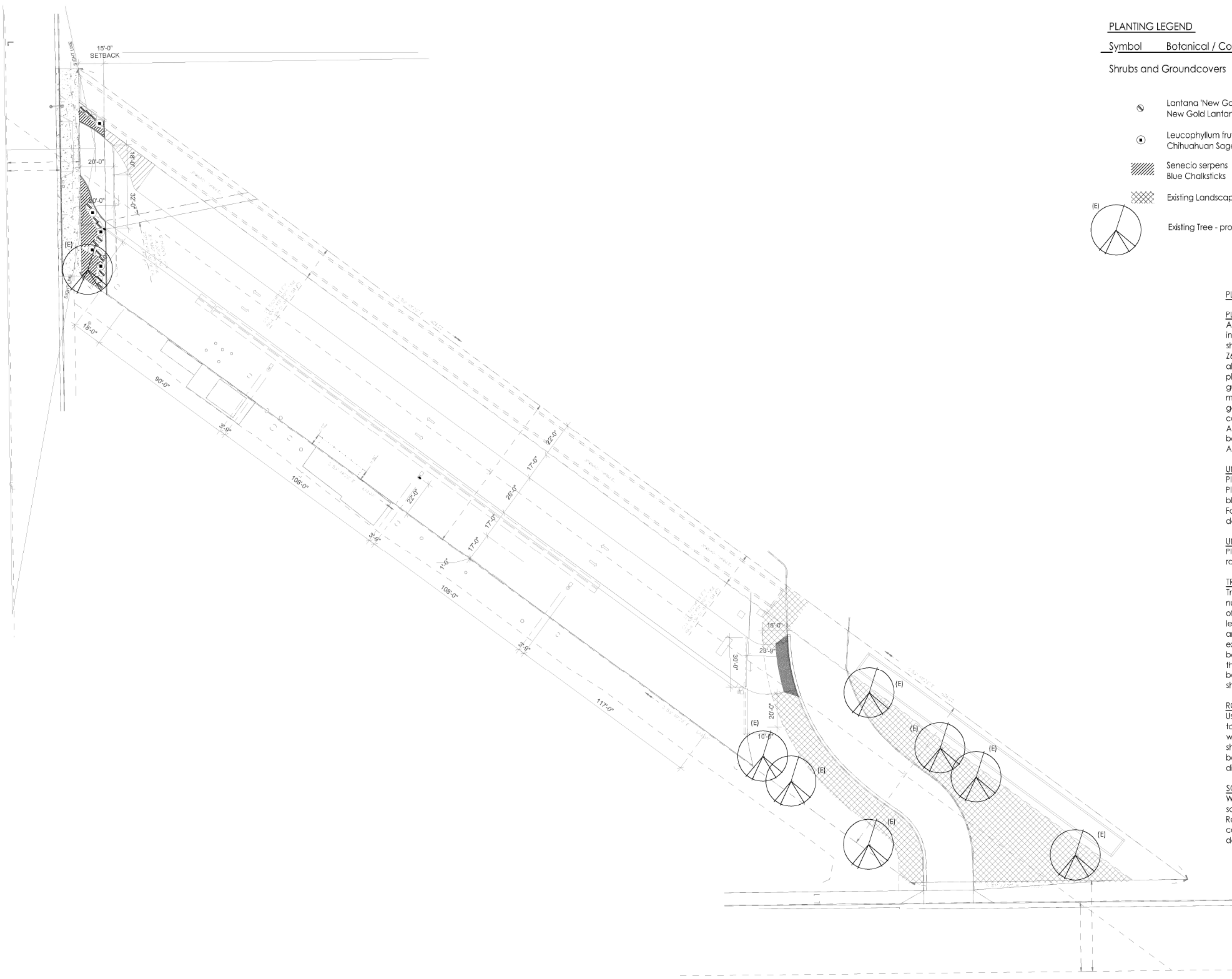
Reference Eto	47.2	Conservation Factor	0.45
Maximum Allowable Water Allocation Equation: MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF)xSLA)]			
Eto	0.62	ETAF	LA
47.2	0.62	0.45	855
1-ETAF	SLA	11,259 MAWA	
0.55	0		

Estimated Total Water Use Equation:
ETWU = Eto x 0.62 x ETAF x LA
6,178 ETWU

HYDROZONE MATRIX

ZONE	HYDROZONE BASIS	S.F.	%TOTAL	PLANT TYPE	PLANT FACTOR	IRRIGATION EFFICIENCY	Eto	0.62	ETAF	LA	ETWU	IRRIGATION METHOD
A-1	SHRUBS	855	100%	LOW	0.20	0.81	47.20	0.62	0.25	855	6,178	Dripline
ETWU											6,178	
Total Landscape											855	





PLANTING LEGEND

Symbol	Botanical / Common Name	Container	Water Use	Qty	Height Width
Shrubs and Groundcovers					
	Lantana 'New Gold' New Gold Lantana	1 gallon	V. Low 0.2	13	1-2' 2-4'
	Leucophyllum frutescens 'Compacta' Chihuahuan Sage	1 gallon	Low 0.3	5	4-5' 4-5'
	Senecio serpens Blue Chalksticks	Flats	Low 0.3	4 448 SF @ 1.5 O.C	2'
	Existing Landscape - protect in place (7,897 SF)				
	Existing Tree - protect in place				

PLANTING SPECIFIC NOTES

PLANT QUALITY REQUIREMENTS
All plant materials shall be full vigorous & healthy nursery stock - including the top of plant and the root system. All plant materials shall meet the current American Standard For Nursery Stock (ANSI Z60.1-2004) the Landscape Architect must be contacted regarding all plant materials as they arrive on-site, prior to their installation. The plant material supplier and/or landscape contractor shall provide guaranteed evidence to the landscape inspector that all plant material is consistent with the approved plant legend considering genus, species, cultivars, and size specified. All plant material not consistent with the plant legend may be rejected. The Landscape Architect shall approve plant materials for installation on-site or shall be sent representative photographs of same. The Landscape Architect reserves the right to reject unacceptable plant materials.

UNACCEPTABLE CONDITIONS FOR PLANTS IN GENERAL:
Plant materials that are the incorrect species.
Plants materials with apparent fungal disease (mildew, rust, black-spot, etc.). Plants that are defoliated due to stress or disease. Foliage that is chlorotic, wind or frost burned, or in any other way damaged.

UNACCEPTABLE CONDITIONS FOR ROOT SYSTEMS:
Plants with exposed roots, girdled roots, overgrown or undersized root systems will be considered unacceptable.

TREE SELECTION:
Trees are required to stand on their own without the support of the nursery stake. Trees must also be free of disease, infestations, signs of heavy pruning within the canopy, broken primary limbs or leaders, and damage. New trees planted within the project area are to be installed per the detail below. The tree pit is to be excavated to measure 3 x root ball at the finish grade surface and be tapered to root ball width at pit bottom. Do not over-excavate the tree pit depth. After tree placement the tree pit is to be backfilled with clean native soil only. Trees are to be triple stake as shown on details.

ROOT BARRIER:
Use Linear Root Barrier when tree is within 5' min. distance adjacent to hardscape areas. Root Barriers shall be installed in sheets parallel with hardscape w/ top edge placed 1" below grade. Root Barrier shall extend the expected length of tree canopy as shown per plan. barriers shall be placed at a slight angle (75°) with base of barrier directed under hardscape & away from tree.

SOIL MANAGEMENT:
When mass grading is complete, landscape contractor shall submit soils samples to a laboratory for analysis and recommendations. Results shall be provided to landscape architect for certificate of compliance. Laboratory procedures shall account for adequate depth for the intended plants.

Urban

Ecosystem

UES

suburbs

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Landscape Dynamics

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Landscape Architecture - Consulting
Water Management - Certified Arboriculture

(951) 264-4839

DESIGN PROJECT MANAGER

Greg Zoll

gregzoll@landscape-dynamics.net
(951) 264-4839

Landscape Architectural Plans
Simpson Chevrolet Parking
Gilbert St & Chapman Ave

DIAL ALERT

DIAL TOLL FREE
1-800-227-2600
AT LEAST THREE DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF
SOUTHERN CALIFORNIA

LICENSED LANDSCAPE ARCHITECT

Gregory Paul Zoll

5204

April 15, 2012

Renewed 04/15

April 15, 2015

2015

STATE OF CALIFORNIA

PLANTING PLAN

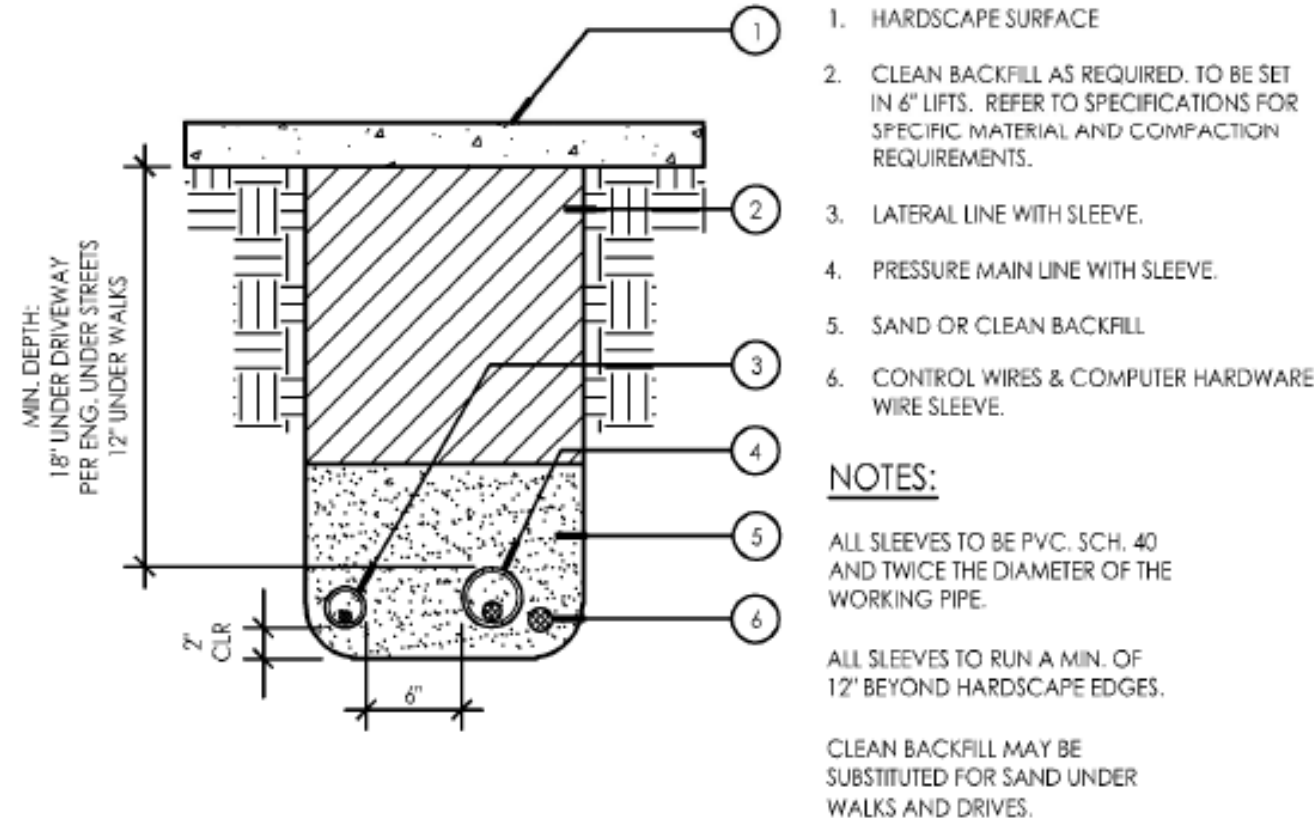
July 30, 2021

DESCRIPTION

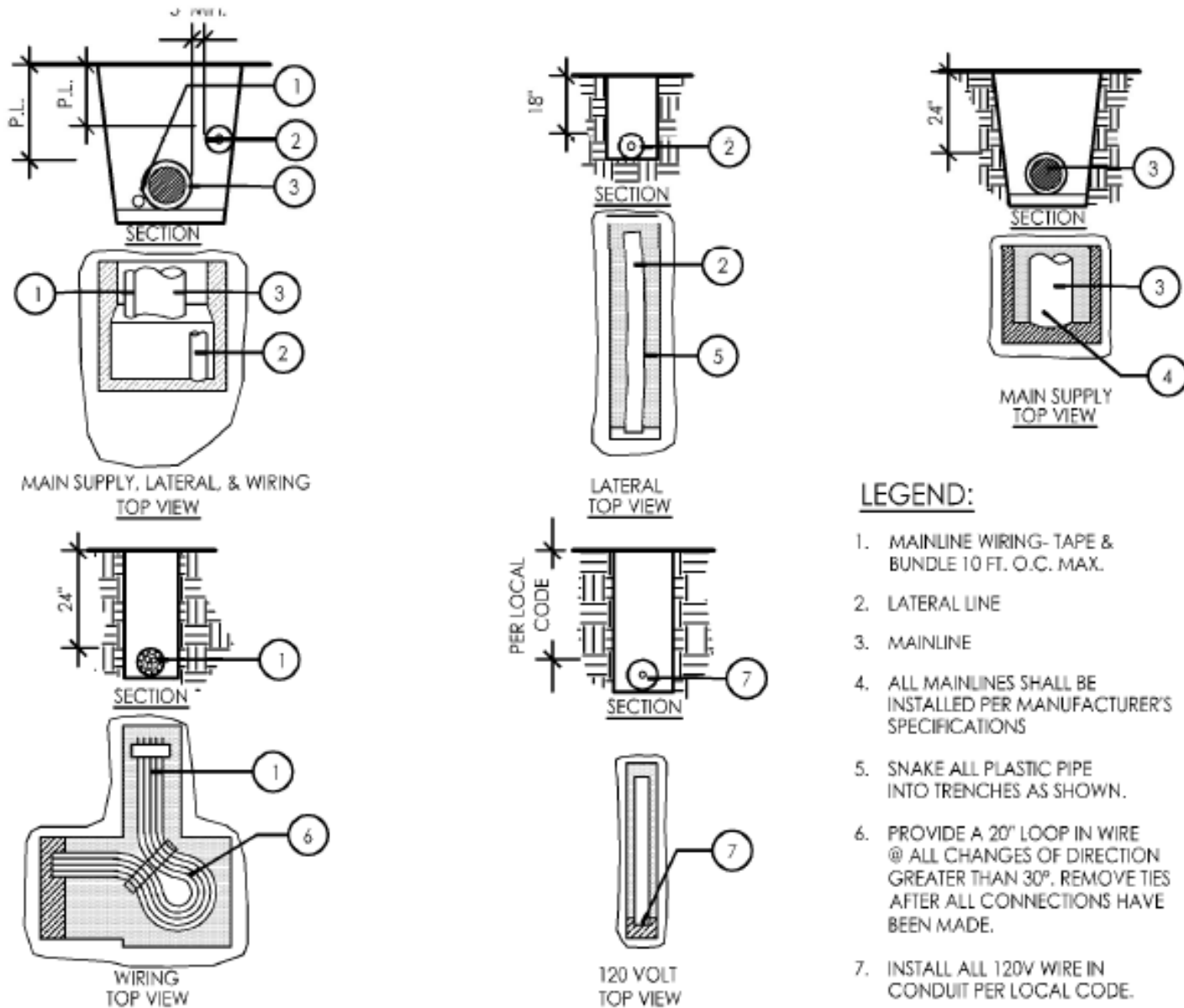
JOB NO.
456

SHEET

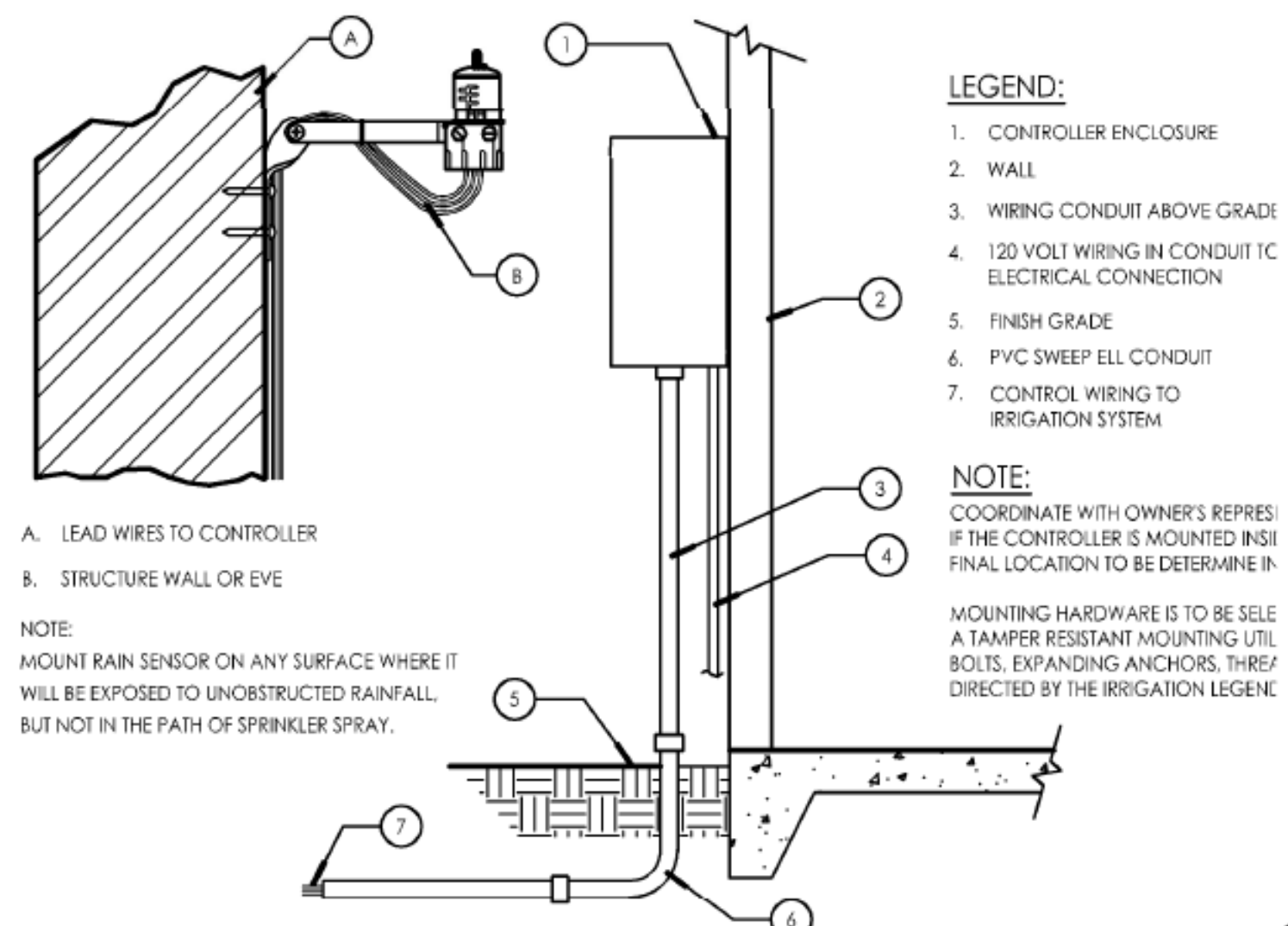
L3 of 5



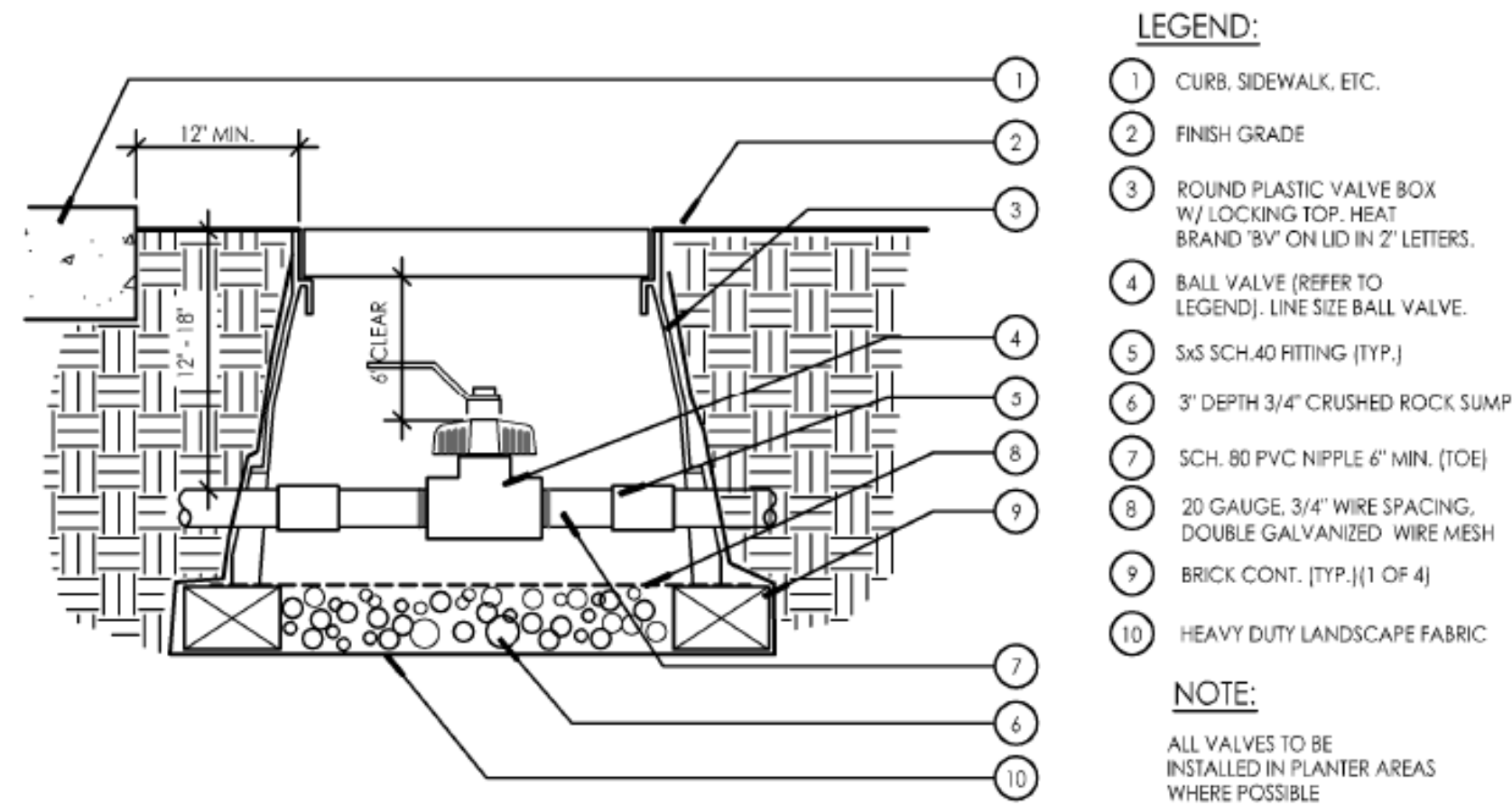
SLEEVING



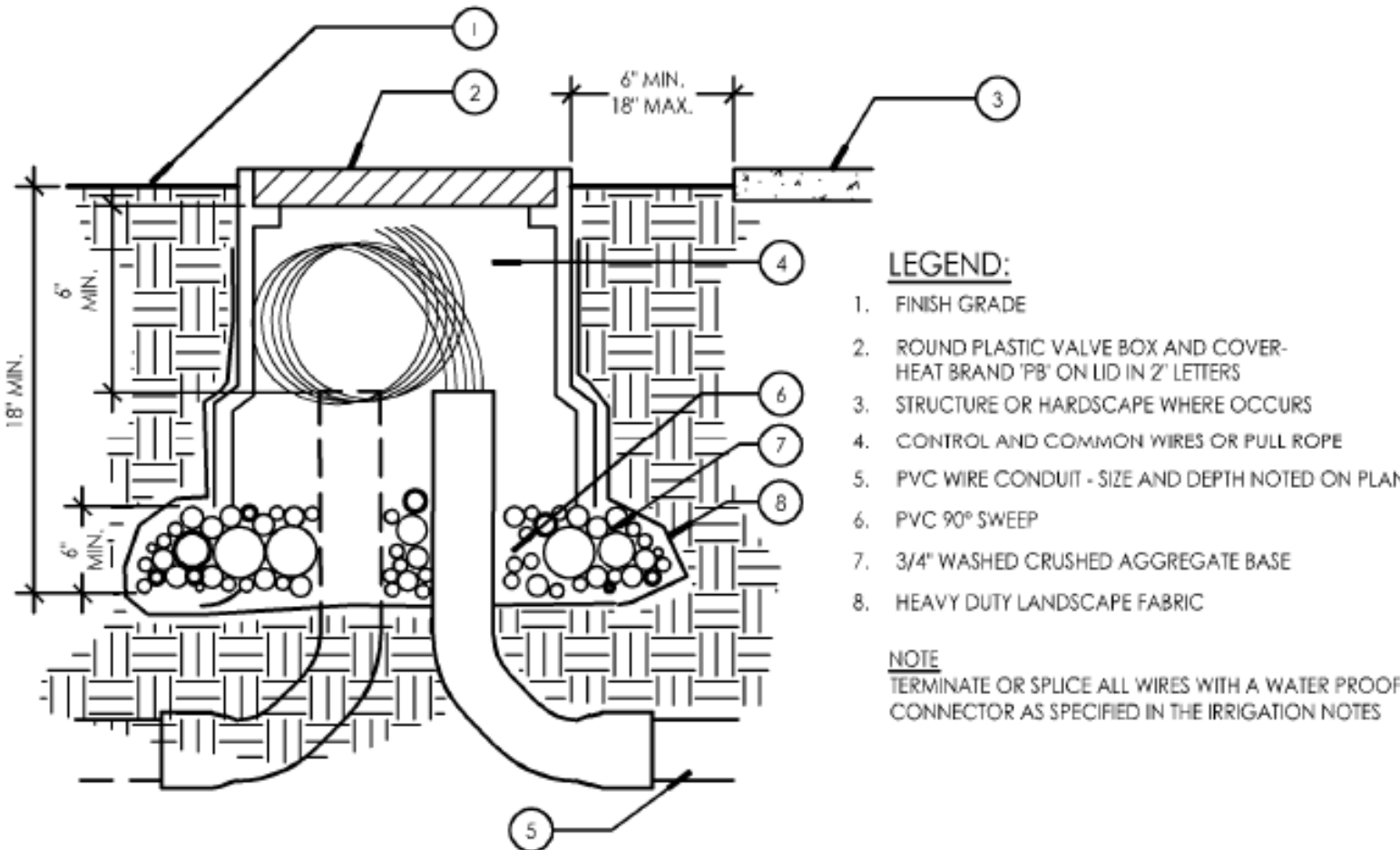
TRENCHING



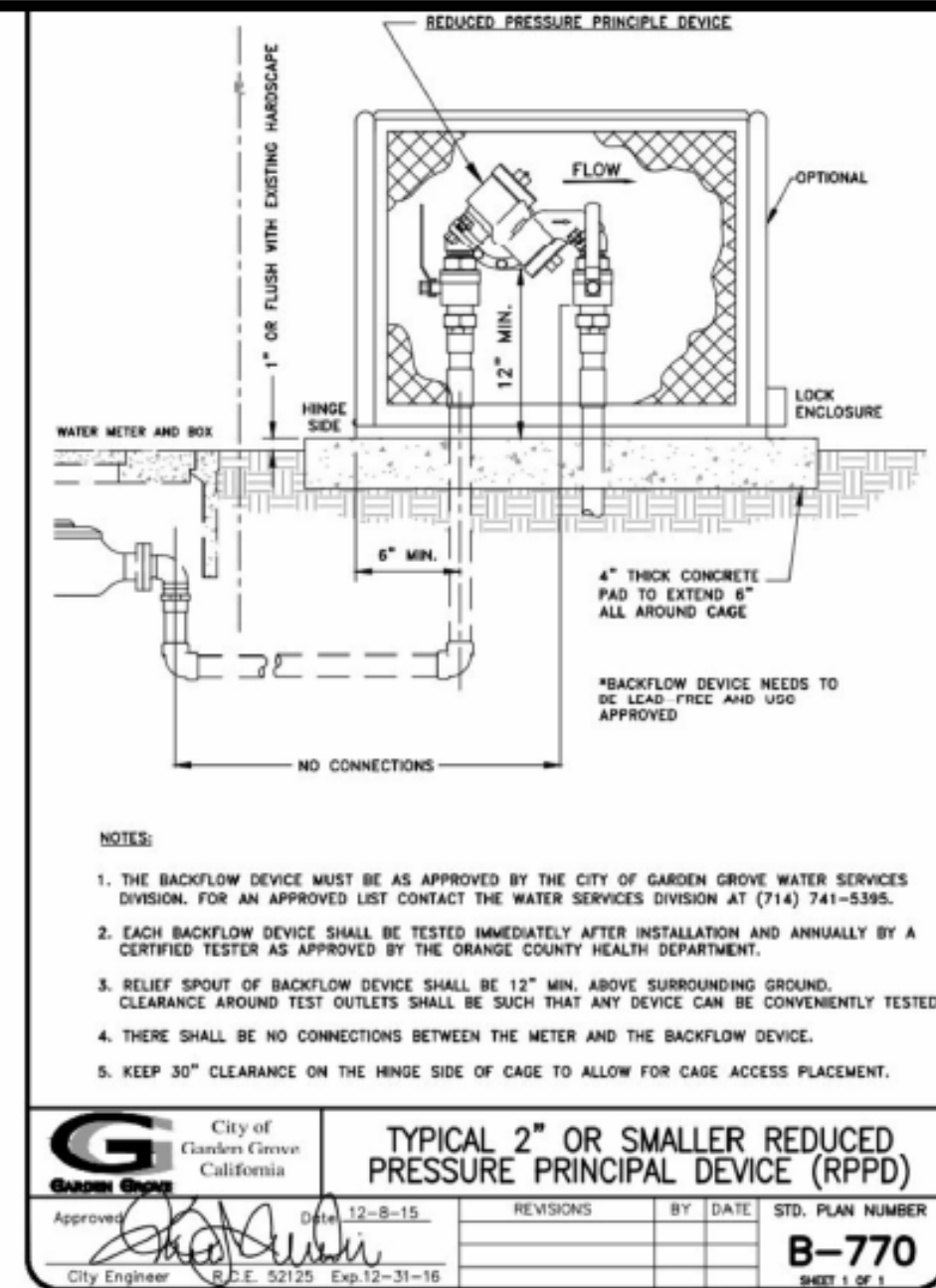
IRRIGATION CONTROLLER



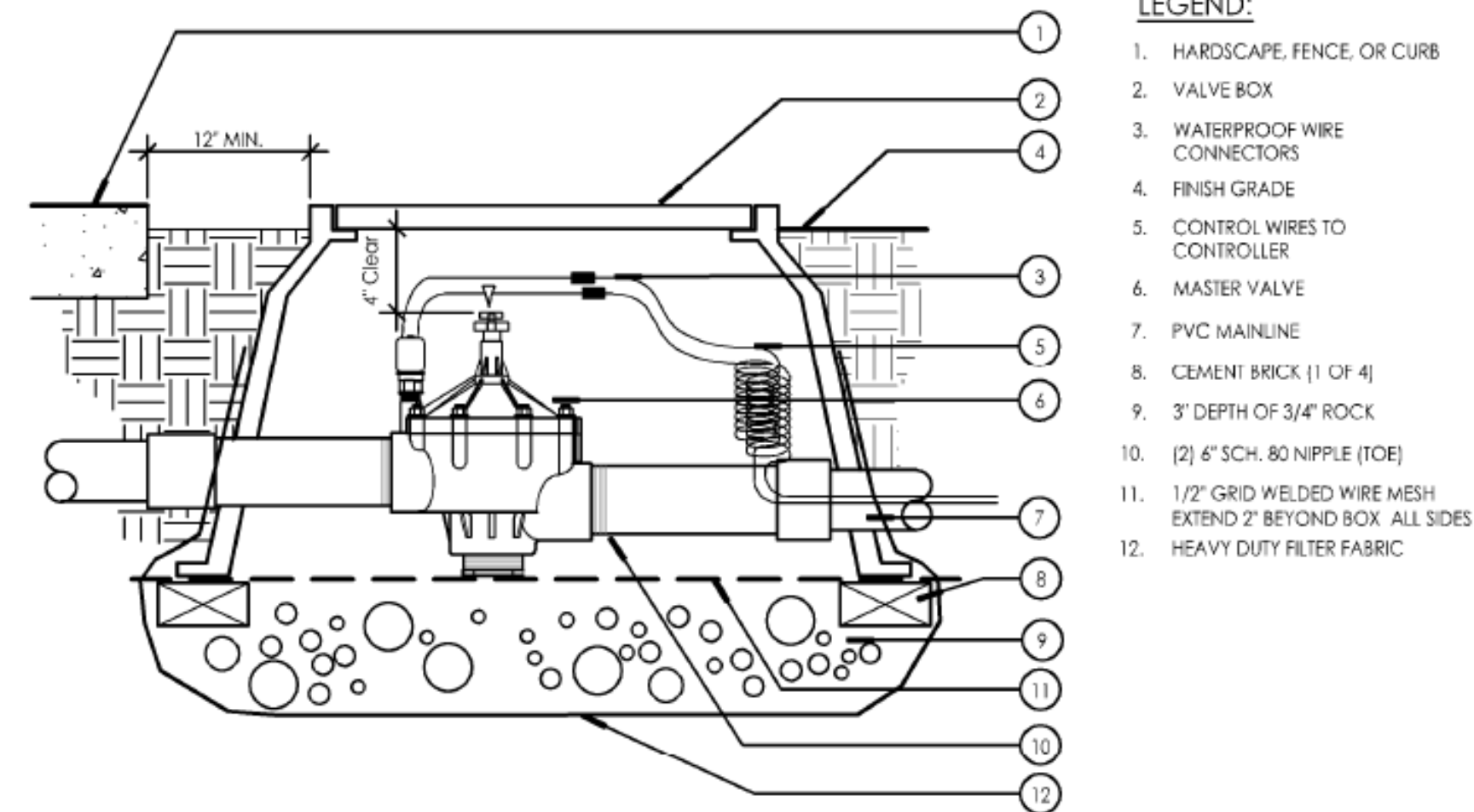
BALL VALVE



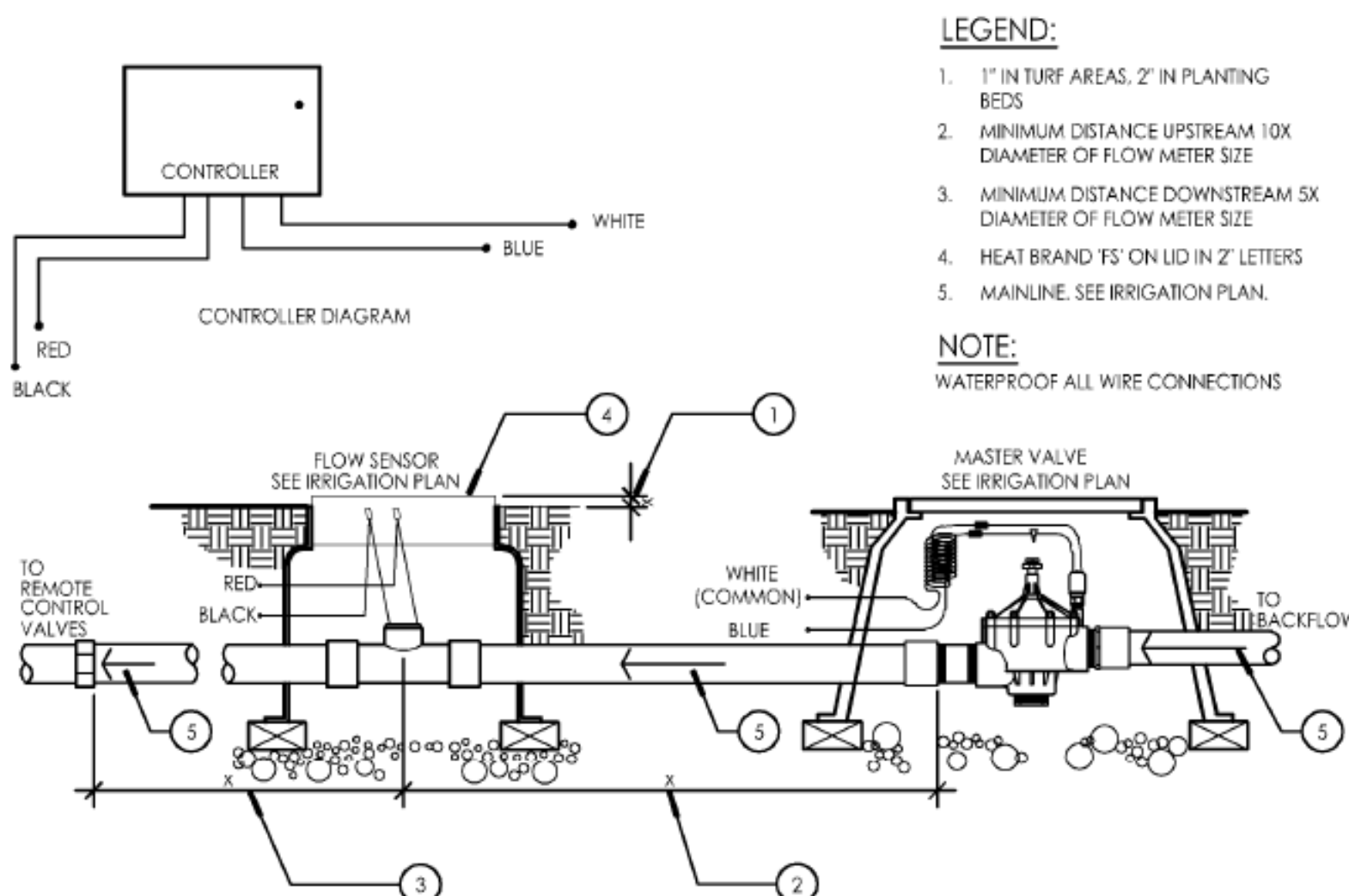
PULL BOX



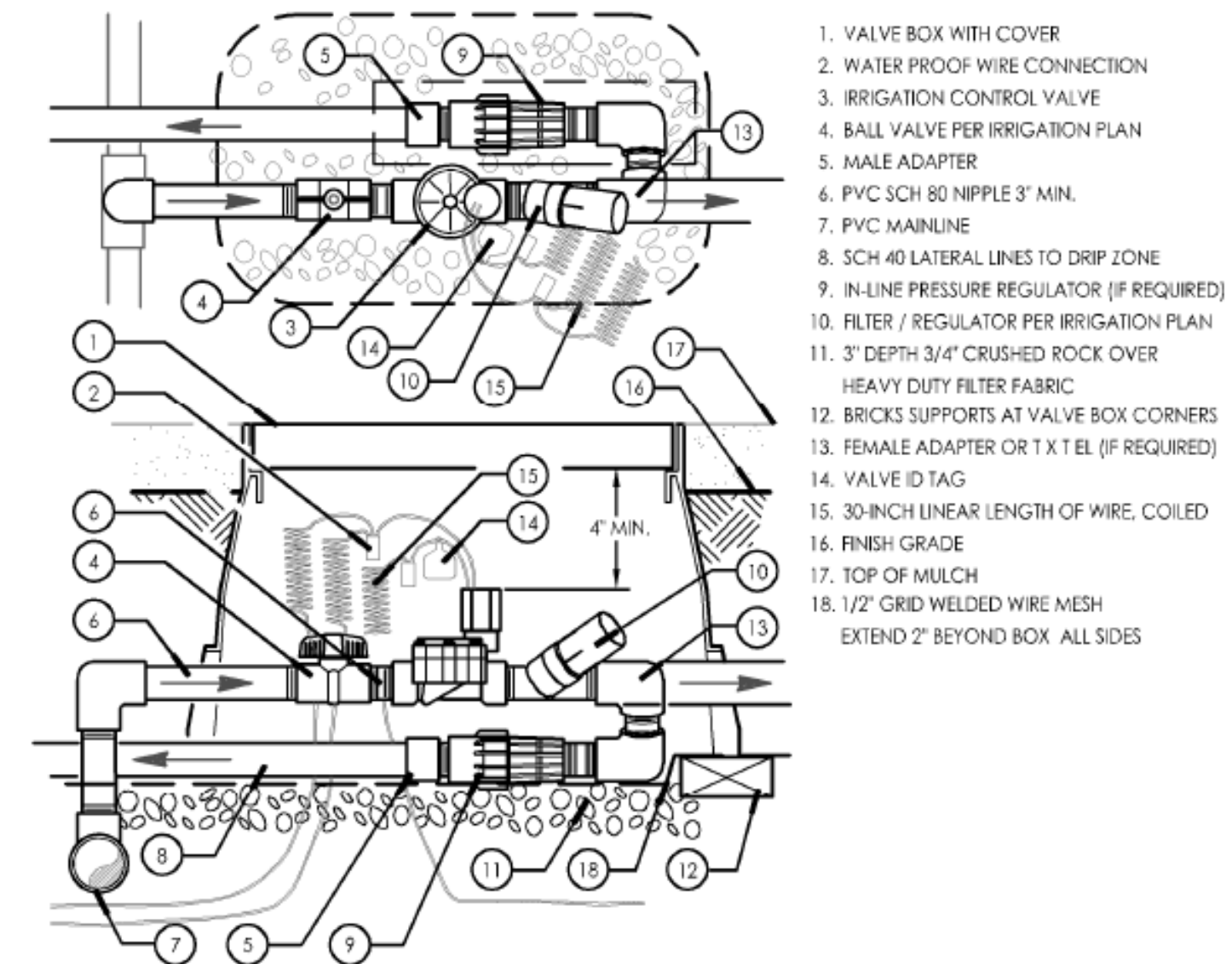
BACKFLOW - CITY OF GARDEN GROVE



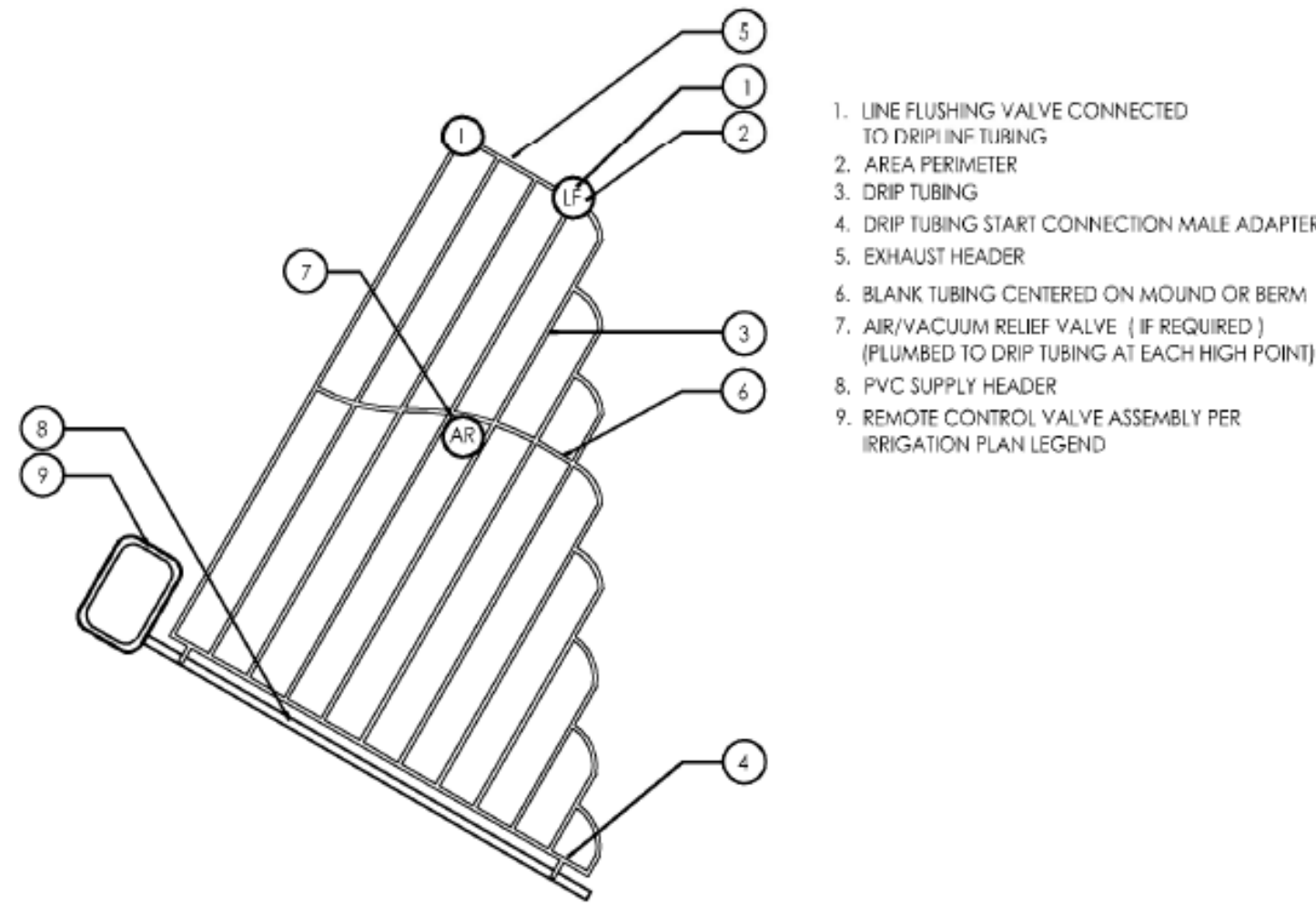
MASTER VALVE



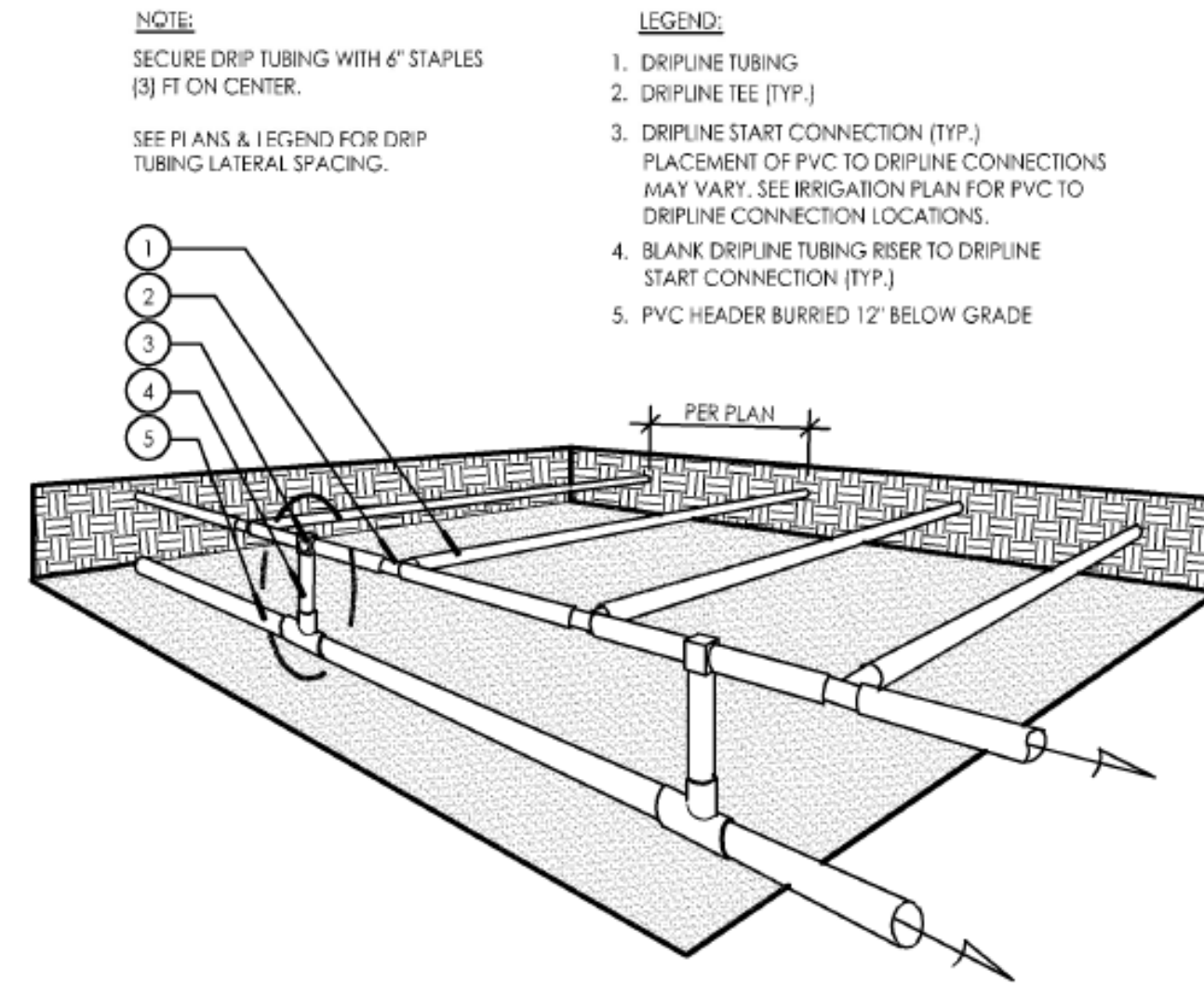
FLOW SENSOR



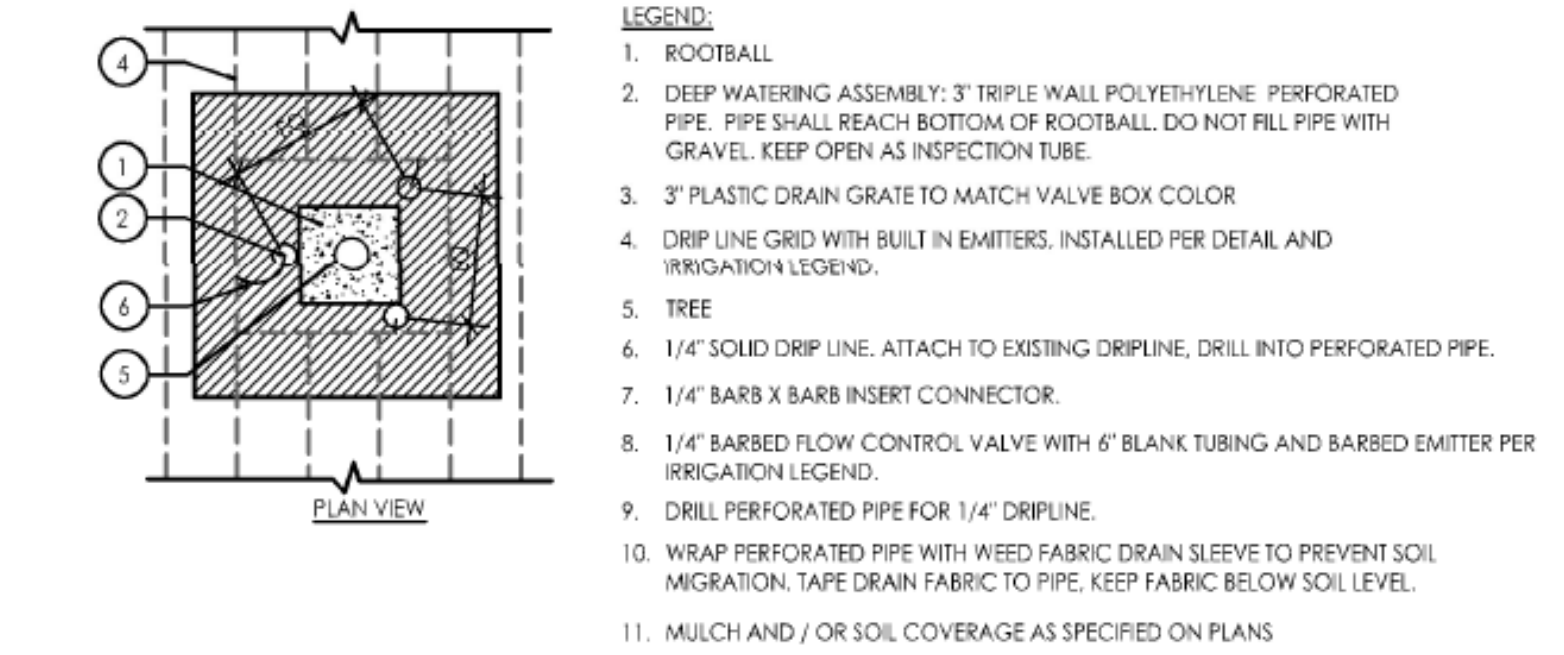
REMOTE CONTROL VALVE DRIP IRRIGATION



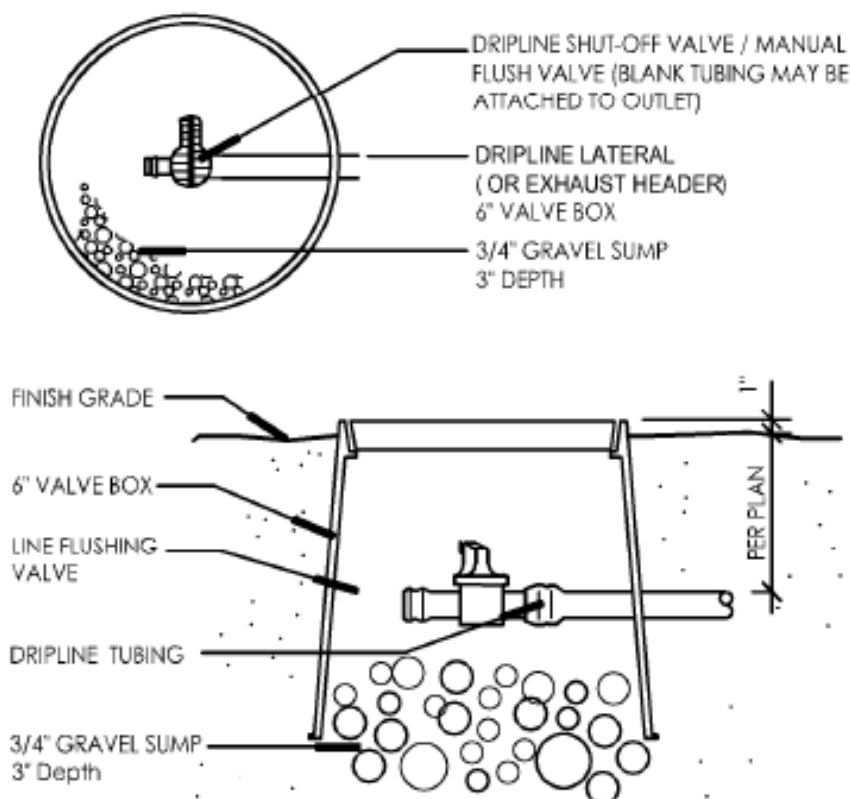
TYPICAL DRIPPER LINE ZONE LAYOUT



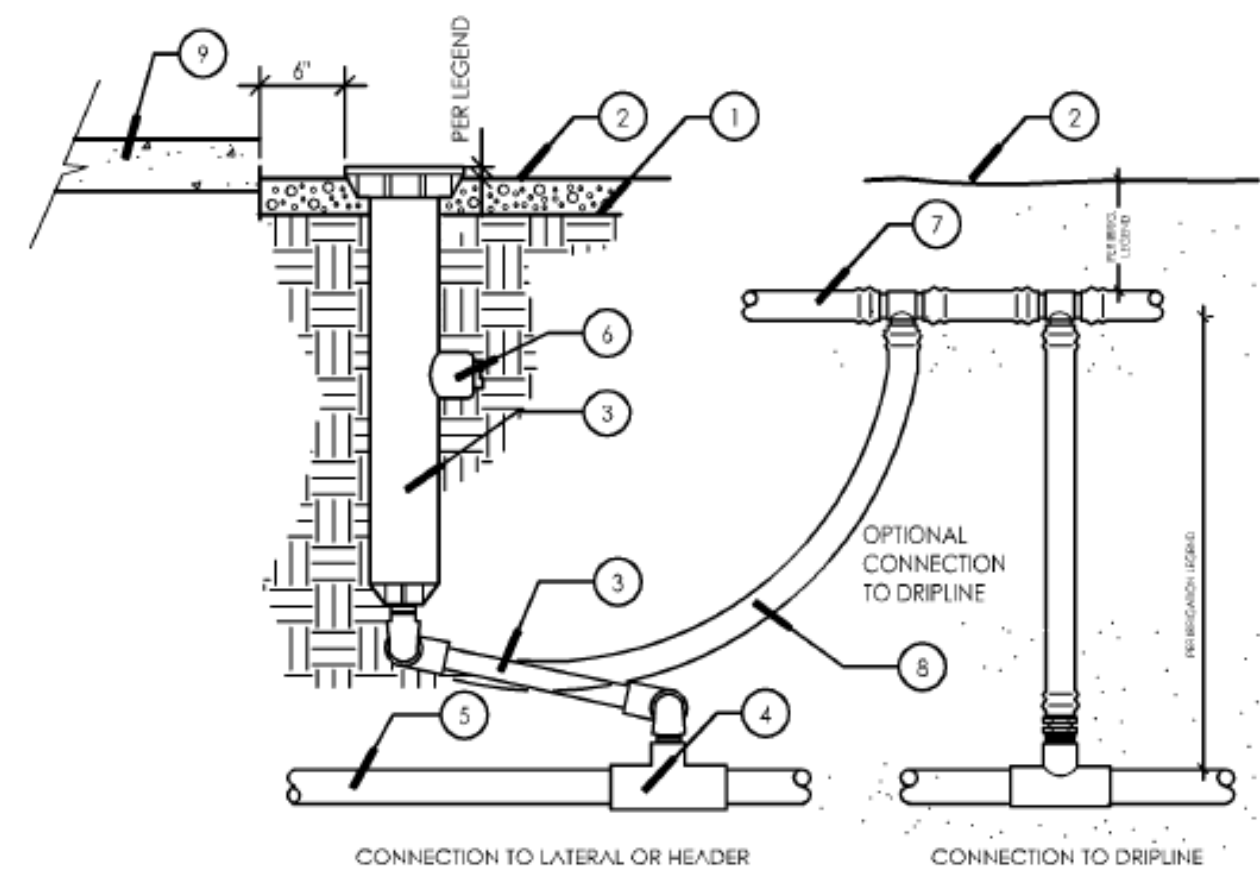
DRIPLINE MANIFOLD INSTALLATION AND



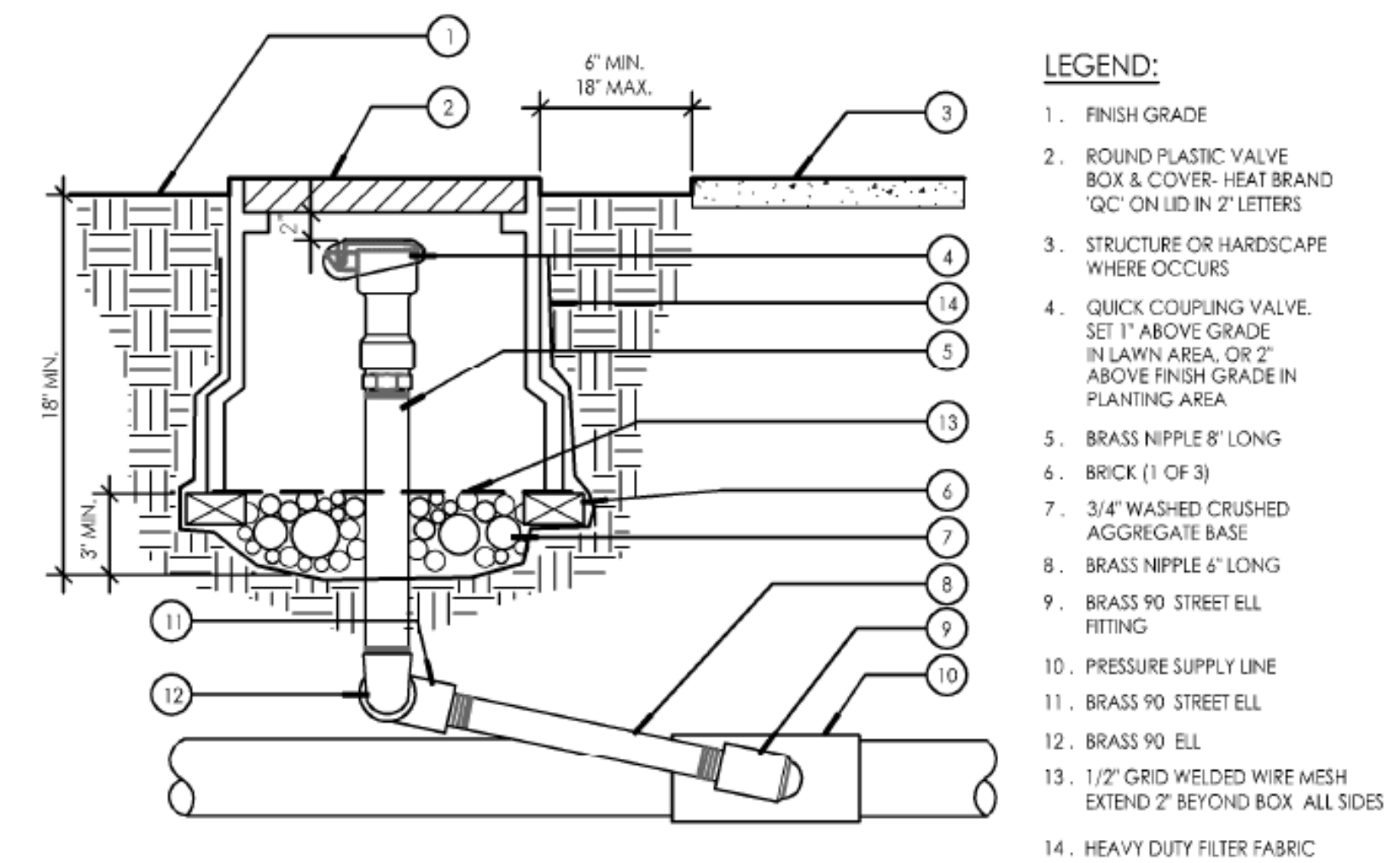
TREE EMITTERS ON POLYFLEX (FOUR PER TREE)



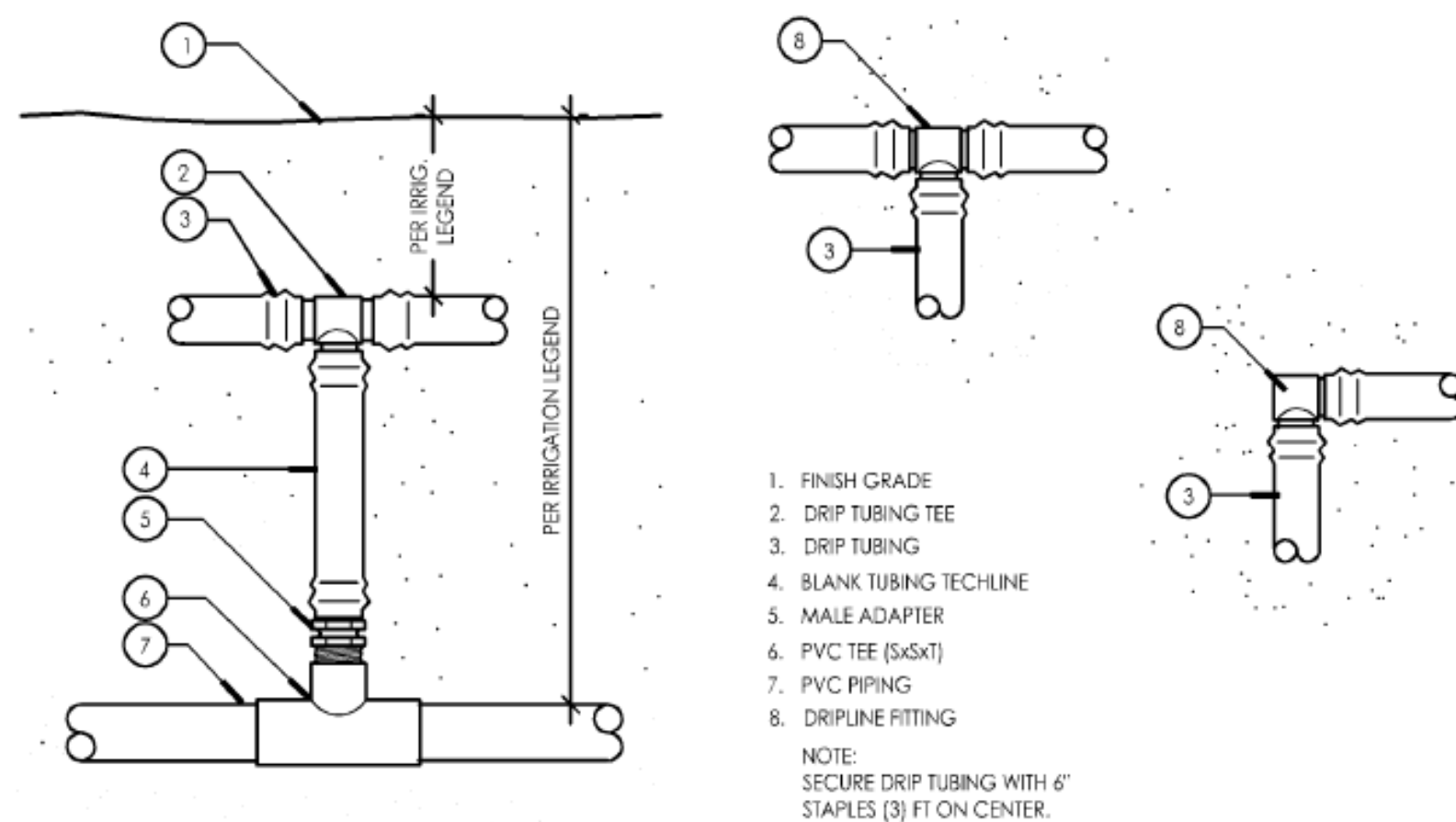
MANUAL FLUSH VALVE



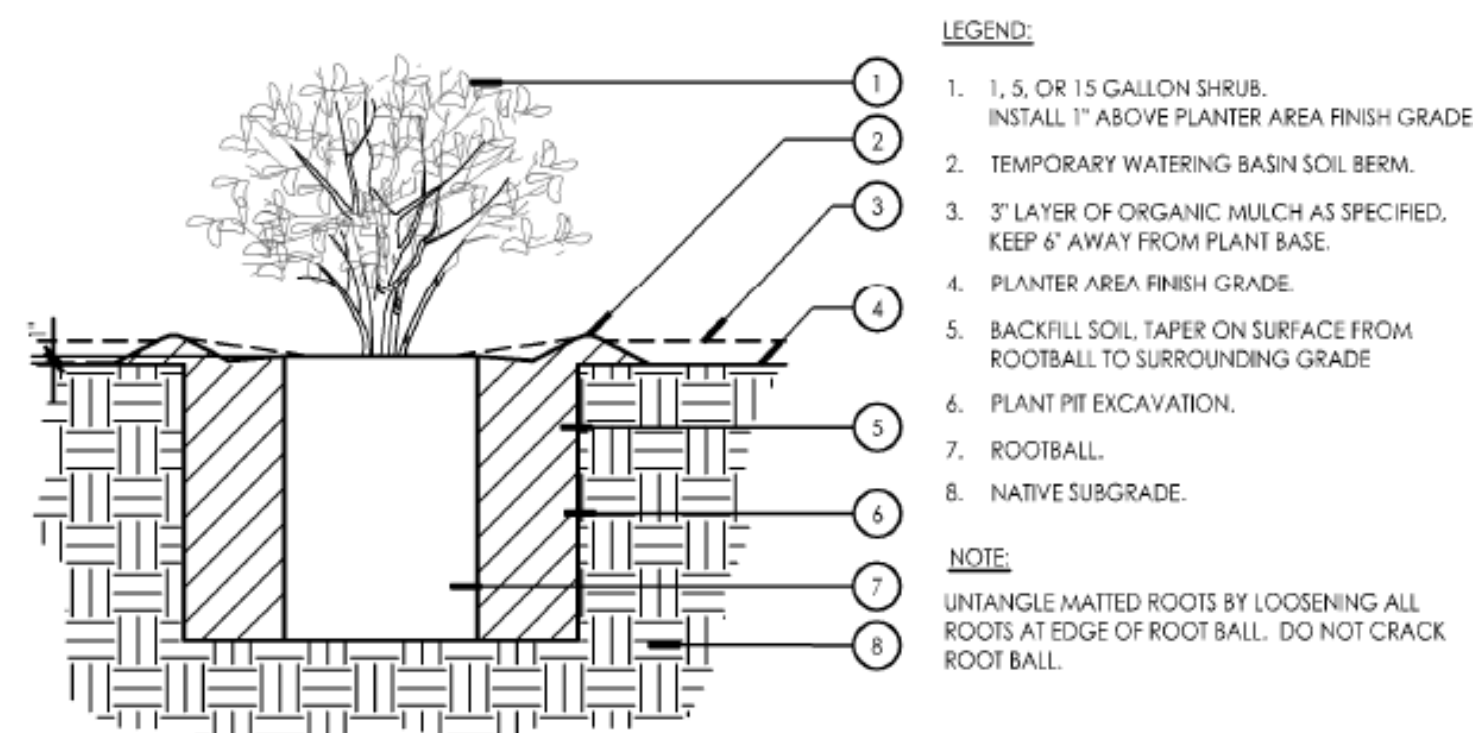
POP-UP SPRAY HEAD / DRIP ZONE FLUSH INDICATOR SPRAY



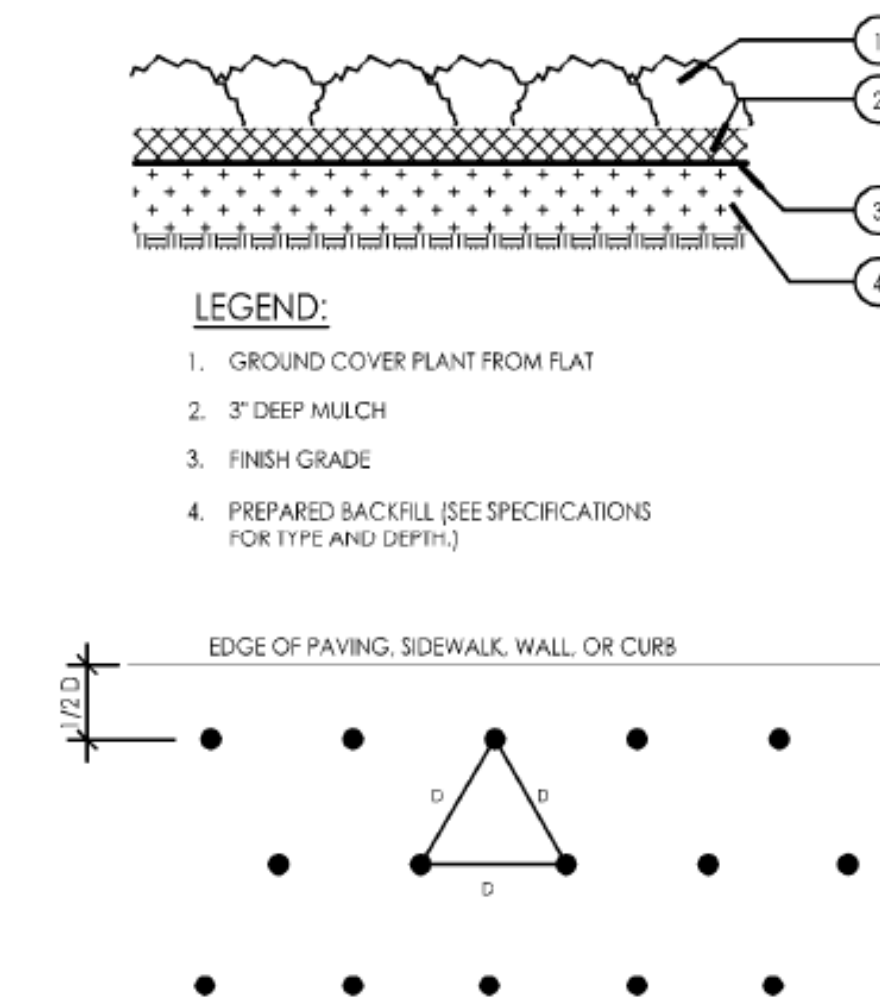
QUICK COUPLER



TECHLINE START CONNECTION



SHRUB PLANTING IN ORGANIC MULCH



GROUND COVER PLANTING

ORDINANCE NO.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GARDEN GROVE APPROVING AMENDMENT NO. A-034-2022, A TEXT AMENDMENT TO CHAPTER 9.18 (MIXED USE REGULATIONS AND DEVELOPMENT STANDARDS) OF TITLE 9 OF THE CITY OF GARDEN GROVE MUNICIPAL CODE TO ESTABLISH "AUTOMOBILE FLEET STORAGE" AS A CONDITIONALLY PERMITTED USE IN THE NMU (NEIGHBORHOOD MIXED USE) ZONE, AND TO ESTABLISH RELATED SPECIAL OPERATING CONDITIONS AND DEVELOPMENT STANDARDS.

CITY ATTORNEY SUMMARY

This Ordinance approves an amendment to Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code to establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone, subject to specified Special Operating Conditions and Development Standards. Under the Ordinance, automobile fleet storage may only be conducted in conjunction with an existing new car dealership located within the City and on sites within the Pacific Electric / OCTA right-of-way that are not located directly adjacent to or abutting residentially zoned and developed properties. In addition, the Ordinance prohibits the loading or unloading of automobiles on-site or within the public right-of-way, as well as the storage or maintenance of used automobiles, inoperable automobiles, or automobiles in a wrecked or dismantled condition.

THE CITY COUNCIL OF THE CITY OF GARDEN GROVE FINDS AND DETERMINES AS FOLLOWS:

WHEREAS, Andresen Architecture, Inc., the applicant, with authorization from the property owner, Hewson/Howard G.C., LLC, has submitted a request for a zoning text amendment to allow "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone in conjunction with an existing new car dealership located within the City of Garden Grove;

WHEREAS, proposed Amendment No. A-034-2022 would amend Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code to establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone, and to establish Special Operating Conditions and Development Standards;

WHEREAS, pursuant to the California Environmental Quality Act, California Public Resources Code Section 21000 *et seq.* ("CEQA") and CEQA's implementing guidelines, California Code of Regulations, Title 14, Section 15000 *et seq.*, the proposed project is categorically exempt from CEQA pursuant to Section 15301, Existing Facilities, and Section 15061(b)(3), Common Sense, of the CEQA Guidelines;

WHEREAS, the Planning Commission, at a Public Hearing held on April 7, 2022, adopted Resolution No. 6038-22 recommending that the City Council approve Amendment No. A-034-2022;

WHEREAS, pursuant to a legal notice, a Public Hearing was held by the City Council on (TBD), and all interested persons were given an opportunity to be heard;

WHEREAS, the City Council gave due and careful consideration to the matter during its meeting of (TBD); and

WHEREAS, the City Council of the City of Garden Grove hereby makes the following findings regarding Amendment No. A-034-2022:

A. The proposed Amendment is internally consistent with the goals, policies, and elements of the General Plan.

Under the proposed Amendment No. A-034-2022, text amendments to Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Municipal Code would establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU zone, subject to certain Special Operating Conditions and Development Standards for said use.

Policy LU-2.1 of the General Plan Land Use Element strives to protect residential areas from the effects of potentially incompatible uses and provides that, where new commercial or industrial development is allowed adjacent to residentially zoned districts, standards for circulation, noise, setbacks, buffer areas, landscaping and architecture, which ensure compatibility between the uses, should be maintained. Special Operating Conditions and Development Standards established through the proposed amendment, as well as site specific Conditions of Approval required through the Site Plan and Conditional Use Permit process, will mitigate any potential impacts to nearby uses. Standards and requirements imposed through the proposed Amendment include, but are not limited to, the following: automobile fleet storage may only be conducted in conjunction with an existing new car dealership located within the City; automobile fleet storage shall only be permitted on sites located within the Pacific Electric / OCTA right-of-way; automobile fleet storage uses shall not be located directly adjacent to or abutting residentially zoned and developed properties; automobile fleet storage uses will only be permitted to store new automobiles and will be prohibited from storing used, inoperable, or wrecked/dismantled automobiles; automobile fleet storage lots must be secured by a perimeter fence; minimum setbacks of 15 feet (15'-0") will be required from any public right-of-way, with enhanced landscaping to buffer the lot from surrounding uses; and loading or unloading of automobiles (e.g., via semi-truck) will not be permitted on-site or within any public right-of-way.

Policy LU-2.4 of the General Plan Land Use Element strives to assure that the type and intensity of land use shall be consistent with that of the immediate neighborhood. Special Operating Conditions and Development Standards, as well as site specific

Conditions of Approval required through the Site Plan and Conditional Use Permit process, will mitigate any potential impacts to nearby uses and ensure that automobile fleet storage uses will be designed in a manner that maintains consistency with the type and intensity of existing land uses in the immediate neighborhood area.

Policy LU-4.5 of the General Plan Land Use Element requires that commercial and industrial developments adjoining residential uses be adequately screened and buffered from residential areas. The Special Operating Conditions and Development Standards established through the proposed amendment would prohibit automobile fleet storage uses in the NMU zone from being located directly adjacent to residentially zoned and developed properties, would require perimeter fencing, and would require a minimum 15-foot landscaped setback from any property line.

B. The proposed Amendment will promote public interest, health, safety, and welfare by establishing Special Operating Conditions and Development Standards and requiring the approval of a Site Plan and Conditional Use Permit for any proposed automobile fleet storage lot. The Special Operating Conditions and Development Standards, as well as site specific Conditions of Approval required through the Site Plan and Conditional Use Permit process, will collectively mitigate any potential impacts to nearby uses. Standards and requirements established through the proposed Amendment include, but are not limited to, the following: automobile fleet storage may only be conducted in conjunction with an existing new car dealership located within the City; automobile fleet storage shall only be permitted on sites located within the Pacific Electric / OCTA right-of-way; automobile fleet storage uses shall not be located directly adjacent to or abutting residentially zoned and developed properties; automobile fleet storage uses will only be permitted to store new automobiles and will be prohibited from storing used, inoperable, or wrecked/dismantled automobiles; automobile fleet storage lots must be secured by a perimeter fence; minimum setbacks of 15 feet (15'-0") will be required from any public right-of-way with enhanced landscaping to buffer the lot from surrounding uses; and loading or unloading of automobiles (e.g., via semi-truck) will not be permitted on-site or within any public right-of-way.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GARDEN GROVE DOES ORDAIN AS FOLLOWS:

Section 1. The above recitals are true and correct.

Section 2. The facts and reasons stated in Planning Commission Resolution No. 6038-22 recommending approval of Amendment No. A-034-2022, a copy of which is on file in the Office of the City Clerk, are hereby incorporated herein by reference with the same force and effect as if set forth in full.

Section 3. Amendment No. A-034-2022 is hereby approved.

Section 4. Table 9.18-1, "Use Regulations for the Mixed Use Zones", set forth in Section 9.18.020 (Uses Permitted) of Chapter 9.18 (Mixed Use Regulations and

Development Standards) of Title 9 of the Municipal Code is amended as follows to establish "Automobile Fleet Storage" as a conditionally permitted use in the NMU (Neighborhood Mixed Use) zone (deletions shown in strikethrough, additions shown in ***bold-italics-underline***):

Permitted Uses	GGMU-1, -2, -3	CC-1	CC-2	CC-3	CC-OS	NMU	AR	Additional Regulations and Comments
...
Industrial								
...
<i>Transit/Transportation</i>								
<u>Automobile Fleet Storage</u>	[-]	[-]	[-]	[-]	[-]	<u>C</u>	[-]	<u>See Section 9.18.030.075 (Automobile Fleet Storage).</u>
Helistop	C	[-]	[-]	C	[-]	[-]	[-]	In the CC-3 zone, permitted in association only with a public use.

Section 5. Subdivision 9.18.030.075 is hereby added to Section 9.18.030 (Specific Uses - Special Operating Conditions and Development Standards) of Chapter 9.18 (Mixed Use Regulations and Development Standards) of Title 9 of the Garden Grove Municipal Code to read as follows:

"9.18.030.075 Automobile Fleet Storage

Automobile fleet storage shall be conducted only in conjunction with an existing new car dealership located within the City and shall be subject to the following conditions:

- A. Automobile fleet storage shall only be permitted on sites zoned NMU (Neighborhood Mixed Use) that are also within the Pacific Electric/OCTA (Orange County Transportation Authority) Right-of-Way.
- B. Automobile fleet storage shall not be located directly adjacent to, or abutting, residentially zoned and developed properties.
- C. A Site Plan and Conditional Use Permit shall be required, pursuant to Municipal Code Section 9.32.030.
- D. On-site vehicle storage or maintenance shall be limited to new automobiles. There shall be no storing or maintaining of used automobiles, inoperable automobiles, or automobiles in a wrecked or dismantled condition.
- E. The automobile fleet storage lot shall be secured by a perimeter fence or wall with a minimum height of six feet, but not to exceed eight feet, and

shall also include a vehicular access gate(s) providing access to a public street(s). Site access, for vehicular ingress and egress, shall be limited to principal, major, primary, or secondary arterial streets, as identified in the City's Master Plan of Streets and Highways. There shall be no access to residential streets or adjacent properties. The perimeter fence/wall and the location of any vehicular access gate(s) shall be subject to review and approval by the Planning Division and the Public Works Department, Engineering Division. Perimeter fencing shall not include the use of barbed wire, "Constantine" wire, razor wire, or other similar fence treatment that is visible from the public street or located on top of the fence.

- F. The perimeter fence or wall for the site shall maintain a minimum setback of 15 feet to any property line (as measured from the ultimate right-of-way) along a public street. All required setbacks shall be fully landscaped with automatic irrigation and shall comply with the City's Water Efficiency Ordinance, pursuant to Municipal Code Section 9.18.120.020, Water Efficiency Requirements. All landscaped areas, within required setbacks, shall be planted with an effective combination of trees, grass berms, ground cover, lawn, shrubbery, and/or approved dry decorative landscaping material.
- G. All on-site lighting shall comply with the City's lighting standards, pursuant to Municipal Code Section 9.18.140.070, Parking Design Standards.
- H. No site signage shall be permitted.
- I. There shall be no loading or unloading of automobiles (e.g., via semi-truck) on-site or within any public right-of-way. All automobiles that access the automobile fleet storage lot shall be driven individually by authorized employees of the new car dealership, within the City of Garden Grove, that the lot is serving.
- J. All parking spaces, driveways and maneuvering areas shall be fully paved and maintained with asphalt, concrete, or other City approved material."

Section 6. Severability. If any section, subsection, subdivision, sentence, clause, phrase, word, or portion of this Ordinance is, for any reason, held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council hereby declares that it would have adopted this Ordinance and each section, subsection, subdivision, sentence, clause, phrase, word, or portion thereof, irrespective of the fact that any one or more sections, subsections, subdivisions, sentences, clauses, phrases, words, or portions thereof be declared invalid or unconstitutional.

Section 7. The Mayor shall sign and the City Clerk shall certify to the passage and adoption of this Ordinance and shall cause the same, or the summary thereof, to be published and posted pursuant to the provisions of law and this Ordinance shall take effect on the date that is thirty (30) days after adoption.

The foregoing Ordinance was passed by the City Council of the City of Garden Grove on the XX^{XX} day of (TBD).

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To:	Scott C. Stiles	From:	William E. Murray
Dept.:	City Manager	Dept.:	Public Works
Subject:	Award a contract to R2Build dba R2B Engineering for Project No. CP12682668 - Pressure Monitoring Improvements Project. (Cost: \$419,180) (<i>Action Item</i>)		
		Date:	5/10/2022

OBJECTIVE

To recommend that City Council award a contract to R2Build dba R2B Engineering for construction of Project No. CP1268268 – Pressure Monitoring Improvements Project.

BACKGROUND

The 2020 Supervisory Control and Data Acquisition (SCADA) Master Plan identified a list of 22 projects to be implemented over a five-year period with an overall estimated budget of \$7.8 million, which includes design and construction.

The Global Pressure Monitoring Improvements Project is one of the projects identified. The City has five locations throughout the distribution system where pressure is recorded using a pressure chart recorder. Currently, these pressure monitoring sites are not on the SCADA system. This project will include installation of a new pressure transmitter and a new control panel, including communications with the new Global SCADA system, at each of the sites.

DISCUSSION

Two bids were received and opened by the City Clerk's Office on March 31, 2022, at 11:00 a.m. (see Bid Summary Sheet). The lowest responsive bidder is R2Build dba R2B Engineering, with a total bid of \$419,180. The licenses and references of the contractor have been reviewed and verified by staff, and all other documentation is in order. The anticipated contract schedule is as follows:

Award Contract	May 10, 2022
Begin Construction	June 13, 2022

FINANCIAL IMPACT

There is no impact to the General Fund. This project is included in the 2021-2022 Capital Improvement Budget and will be financed with Water Funds in the amount of \$419,180.

RECOMMENDATION

It is recommended that the City Council:

- Award a contract to R2Build dba R2B Engineering for \$419,180 for the construction of Project No. CP1268268 – Pressure Monitoring Improvements Project; and
- Authorize the City Manager to execute the agreements on behalf of the City, and make minor modifications as appropriate.

By: Rebecca Li, P.E., Senior Civil Engineer

ATTACHMENTS:

Description	Upload Date	Type	File Name
Attachment No 1 - Bid Summary Sheet	4/25/2022	Backup Material	AttachNo1-_BidSummarySheet.pdf
Contract	4/25/2022	Agreement	R2Build_DBA_R2B_Engineering_Contract.pdf

**CITY OF GARDEN GROVE
PUBLIC WORKS DEPARTMENT
WATER SERVICES DIVISION**

BID SUMMARY SHEET

PROJECT: CP 1268268 - Pressure Monitoring
Improvements Project

BID OPENING
DATE: **March 31, 2022**
TIME: **11:00 AM**

<u>Facility Name</u>	<u>Engineer's Estimate</u>	<u>Contract Amount</u>
Various locations throughout the City	\$452,054.00	\$419,180.00

Bidder's Name	Total Bid	%Under /Over Engineers Estimate
1. R2Build dba R2B Engineering	\$419,180.00	-7.3%
2. Cora Constructors, Inc.	\$588,000.00	30.1%

SECTION 5 - AGREEMENT

CONSTRUCTION AGREEMENT

THIS AGREEMENT is made this **10** day of **May, 2022**, by the **CITY OF GARDEN GROVE** ("**CITY**"), and **_R2BUILD DBA R2B ENGINEERING**, hereinafter referred to as ("**CONTRACTOR**")

RECITALS:

The following recitals are a substantive part of this Agreement:

1. This Agreement is entered into pursuant to City of Garden Grove Council Authorization dated **May 10, 2022**.
2. CITY desires to utilize the services of CONTRACTOR to furnish material, equipment, and labor for the **FP2 – Pressure Monitoring Improvements - Project No. CP1268268 -- Drawing No. W-622**.
3. CONTRACTOR is qualified by virtue of experience, training, education, and expertise to accomplish services.

AGREEMENT

THE PARTIES MUTUALLY AGREE AS FOLLOWS:

- 5.1 General Conditions.** CONTRACTOR certifies and agrees that all the terms, conditions and obligations of the Contract Documents as hereinafter defined, the location of the job site, and the conditions under which the work is to be performed have been thoroughly reviewed, and enters into this Contract based upon CONTRACTOR'S investigation of all such matters and is in no way relying upon any opinions or representations of CITY. It is agreed that this Contract represents the entire agreement. It is further agreed that the Contract Documents including the Notice Inviting Bids, Special Instructions to Bidders, if any, Plans, Specifications and CONTRACTOR's Proposal, are incorporated in this Contract by reference, with the same force and effect as if the same were set forth at length herein, and that CONTRACTOR and its SUBCONTRACTORS, if any, will be and are bound by any and all of said Contract Documents insofar as they relate in any part or in any way, directly or indirectly, to the work covered by this Contract.

"Project" as used herein defines the entire scope of the work covered by all the Contract Documents. Anything mentioned in the Specifications and not indicated in the Plans, or indicated in the Plans and not mentioned in the Specifications, shall be of like effect as if indicated and mentioned in both. In case of discrepancy in the Plans or Specifications, the matter shall be immediately submitted to CITY'S Engineer, without whose decision CONTRACTOR shall not adjust said discrepancy save only at CONTRACTOR's own risk and expense. The decision of the Engineer shall be final.

SECTION 5 - AGREEMENT (Continued)

5.2 Materials and Labor. CONTRACTOR shall furnish, under the conditions expressed in the Plans and Specifications, at CONTRACTOR'S own expense, all labor and materials necessary, except such as are mentioned in the Specifications to be furnished by the CITY, to construct and complete the project, in good workmanlike and substantial order. If CONTRACTOR fails to pay for labor or materials when due, CITY may settle such claims by making demand upon the surety to this Agreement. In the event of the failure or refusal of the surety to satisfy said claims, CITY may settle them directly and deduct the amount of payments from the Contract price and any amounts due to CONTRACTOR. In the event CITY receives a stop notice from any laborer or material supplier alleging non-payment by CONTRACTOR, CITY shall be entitled to deduct all of its costs and expenses incurred relating thereto, including but not limited to administrative and legal fees.

5.3 Project. The PROJECT is described as: FP2 – Pressure Monitoring Improvements - Project No. CP1268268 -- Drawing No. W-622

5.4 Plans and Specifications. The work to be done is shown in a set of detailed Plans and Specifications entitled: FP2 – Pressure Monitoring Improvements - Project No. CP1268268 -- Drawing No. W-622

Said Plans and Specifications and any revision, amendments or addenda thereto are attached hereto and incorporated herein as part of this Contract and referred to by reference. The work to be done must also be in accordance with the General Provisions, Standard Specifications and Standard Plans of the CITY, which are also incorporated herein and referred to by, reference.

5.5 Time of Commencement and Completion. CONTRACTOR shall have **twenty-one (21) calendar days from the award of the Contract** to execute the Contract and supply CITY with all of the documents and information required by the Instruction to Bidders and the other Contract Documents, including but not limited to, the necessary bonds and insurance certificates and endorsements. Once the CITY receives the executed Contract and all of the other properly drafted and executed documents and information, it may issue a Notice to Proceed to the CONTRACTOR. If CONTRACTOR refuses or fails to execute the Contract or refuses or fails to provide the required documents and information within the twenty-one (21) calendar days, the CITY may then rescind the award of the Contract and then award the Contract to the next lowest responsive and responsible bidder.

Upon receipt of the Notice to Proceed, CONTRACTOR agrees to submit shop drawings and traffic control plans **within fourteen (14) calendar days**. Further, upon receipt of the Notice to Proceed the CONTRACTOR shall diligently prosecute the work to completion within **ninety (90) total working days** excluding delays caused or authorized by the CITY as set forth in Sections 5.7, 5.8 and 5.9 hereof.

5.6 Time is of the Essence. Time is of the essence of this Contract. As required by the Contract Documents, CONTRACTOR shall prepare and obtain approval of all shop drawings, details and samples, and do all other things necessary and incidental to the prosecution of CONTRACTOR'S work in conformance with an approved construction progress schedule. CONTRACTOR shall coordinate the work covered by this Contract with that of all other CONTRACTORS, SUBCONTRACTORS and of the CITY, in a manner that will facilitate the efficient completion of the entire work in accordance with Section 5.5 herein. CITY shall have complete control of the premises on which the work is to be performed and shall have the right to decide the time or order in which the various portions of the work shall be installed or the priority of the work of other SUBCONTRACTORS, and, in general, all matters representing the timely and orderly conduct of the work of CONTRACTOR on the premises.

SECTION 5 - AGREEMENT (Continued)

- 5.7 Excusable Delays.** CONTRACTOR shall be excused for any delay in the prosecution or completion of the Project caused by acts of God; inclement weather; damages caused by fire or other casualty for which CONTRACTOR is not responsible; any act of negligence or default of CITY; failure of CITY to make timely payments to CONTRACTOR; late delivery of materials required by this CONTRACT to be furnished by CITY; combined action of the workers in no way caused by or resulting from default or collusion on the part of CONTRACTOR; a lockout by CITY; or any other delays unforeseen by CONTRACTOR and beyond CONTRACTOR's reasonable control.

CITY shall extend the time fixed in Section 5.5 herein for completion of the Project by the number of days CONTRACTOR has thus been delayed, provided that CONTRACTOR presents a written request to CITY for such time extension within fifteen (15) days of the commencement of such delay and CITY finds that the delay is justified. CITY'S decision will be conclusive on the parties to this Contract. Failure to file such request within the time allowed shall be deemed a waiver of the claim by CONTRACTOR.

No claims by CONTRACTOR for additional compensation or damages for delays will be allowed unless CONTRACTOR satisfies CITY that such delays were unavoidable and not the result of any action or inaction of CONTRACTOR and that CONTRACTOR took all available measures to mitigate such damages. Extensions of time and extra compensation as a result of incurring undisclosed utilities would be determined in accordance with SPECIAL PROVISIONS and Section 3-3 of the Standard Specifications for Public Works Construction 2009 Edition (GREEN BOOK). The CITY'S decision will be conclusive on all parties to this Contract.

- 5.8 Extra Work.** The Contract price includes compensation for all work performed by CONTRACTOR, unless CONTRACTOR obtains a written change order signed by a designated representative of CITY specifying the exact nature of the extra work and the amount of extra compensation to be paid all as more particularly set forth in Section 5.9 hereof.

CITY shall extend the time fixed in Section 5.5 for completion of the Project by the number of days reasonably required for CONTRACTOR to perform the extra work, as determined by CITY'S Engineer. The decision of the Engineer shall be final.

5.9 Changes in Project.

- 5.9.1 CITY may at any time, without notice to any surety, by written order designated or indicated to be a change order, make any change in the work within the general scope of the Contract, including but not limited to changes:
- a. In the Specifications (including drawings and designs);
 - b. In the time, method or manner of performance of the work;
 - c. In the CITY -furnished facilities, equipment, materials, services or site; or
 - d. Directing acceleration in the performance of the work.

If CONTRACTOR believes that the written order issued as part of this Section 5.9.1 has caused an increase in costs or time, the CONTRACTOR shall submit a written request for equitable adjustment to the CITY that includes a detailed cost breakdown and time impact analysis in sufficient detail to allow the CITY to analyze the request. Said notice shall be submitted via certified mail within twenty (20) days of the CONTRACTOR'S receipt of the written order. CONTRACTOR'S failure to submit the written request for equitable adjustment within the required twenty (20) days shall constitute a waiver of any potential change order or claim for said alleged change. The CITY shall review CONTRACTOR'S request and shall

SECTION 5 - AGREEMENT (Continued)

provide a written response within thirty (30) days of receipt of the request either approving or denying the request.

- 5.9.2 A change may also be any other conflict, difficulty or issue which the CONTRACTOR believes caused any change to the CONTRACTOR'S costs or project schedule, provided CONTRACTOR gives the CITY written notice and a request for equitable adjustment that includes a detailed cost breakdown and time impact analysis in sufficient detail to allow the CITY to analyze the request. The notice shall also state the date the CONTRACTOR became aware of the issue, circumstances and source of the issue and that CONTRACTOR regards the issue as a change order. Said written notice shall be delivered to the CITY via certified mail within twenty (20) days of CONTRACTOR'S first notice of the issue. CONTRACTOR'S failure to submit the notice, which includes the written request for equitable adjustment within the required twenty (20) days shall constitute a waiver of any potential change order or claim for said alleged change. The CITY shall review CONTRACTOR'S request and shall provide a written response within thirty (30) days of receipt of the request either approving or denying the request.
- 5.9.3 Except as provided in this Section 5.9, no order, statement or conduct of the CITY or its representatives shall be treated as a change under this Section 5.9 or entitle CONTRACTOR to an equitable adjustment.
- 5.9.4 Except for claims based on defective specifications, no claim for any change under paragraph 5.9.1 or 5.9.2 above shall be allowed for any work performed more than 20 days before the CONTRACTOR gives written notice as required in paragraphs 5.9.1 and 5.9.2. In the case of defective specifications for which the CITY is responsible, the equitable adjustment shall include any increased direct cost CONTRACTOR reasonably incurred in attempting to comply with those defective specifications.
- 5.9.5 If CONTRACTOR intends to assert a claim for an equitable adjustment under this Section 5.9, it must, within thirty (30) days after receipt of a denial of a request for equitable adjustment under paragraphs 5.9.1 and 5.9.2, submit a written statement to the CITY setting forth the general nature and monetary extent of such claim. The CITY may extend the 30-day period. CONTRACTOR'S failure to submit the notice of a claim, within the required thirty (30) days shall constitute a waiver of the claim by the CONTRACTOR.
- 5.9.6 No claim by CONTRACTOR for an equitable adjustment shall be allowed if made after final payment under this Agreement.
- 5.9.7 CONTRACTOR hereby agrees to make any and all changes, furnish the materials and perform the work that CITY may require without nullifying this Contract. CONTRACTOR shall adhere strictly to the Plans and Specifications unless a change there from is authorized in writing by the CITY. Under no condition shall CONTRACTOR make any changes to the Project, either in additions or deductions, without the written order of the CITY and the CITY shall not pay for any extra charges made by CONTRACTOR that have not been agreed upon in advance in writing by the CITY. CONTRACTOR shall submit immediately to the CITY written copies of its firm's cost or credit proposal for change in the work. Disputed work shall be performed as ordered in writing by the CITY and the proper cost or credit breakdowns therefore shall be submitted without delay by CONTRACTOR to CITY.

SECTION 5 - AGREEMENT (Continued)

5.10 Liquidated Damages for Delay. The parties agree that if the total work called for under this Contract, in all parts and requirements, is not completed within the time specified in Section 5.5 herein, plus the allowance made for delays or extensions authorized under Sections 5.7, 5.8 and 5.9 herein, the CITY will sustain damage which would be extremely difficult and impractical to ascertain. The parties therefore agree that CONTRACTOR will pay to CITY the sum of **One Thousand Five Hundred dollars (\$1,500.00) per day** for each and every calendar day during which completion of the Project is so delayed. CONTRACTOR agrees to pay such liquidated damages and further agrees that CITY may offset the amount of liquidated damages from any monies due or that may become due CONTRACTOR under the Contract.

5.11 Contract Price and Method of Payment. CITY agrees to pay and the CONTRACTOR agrees to accept as full consideration for the faithful performance of this Contract, subject to any subsequent additions or deductions as provided in approved change orders, the sum of **Four Hundred Nineteen Thousand one Hundred Eighty Dollars and 00/100 (\$419,180.00)** as itemized in the bid proposal.

Progress payments shall be made to the CONTRACTOR on a monthly basis for each successive month as the work progresses. The CONTRACTOR shall be paid such sum as will bring the total payments received since the commencement of the work up to ninety-five percent (95%) of the value of the work completed, less all previous payments, provided that the CONTRACTOR submits the request for payment prior to the end of the day required to meet the payment schedule. The CITY will retain five percent (5%) of the amount of each such progress estimate and material cost until 35 days after the recordation of the Notice of Completion.

Payments shall be made on demands drawn in the manner required by law, accompanied by a certificate signed by the CITY'S Engineer, stating that the work for which payment is demanded has been performed in accordance with the terms of the Contract. Partial payments of the Contract price shall not be considered as an acceptance of any part of the work.

5.12 Substitution of Securities in Lieu of Retention of Funds. Pursuant to Public Contract Code § 22300, the CONTRACTOR will be entitled to post approved securities with the CITY or an approved financial institution in order to have the CITY release funds retained by the CITY to ensure performance of the Contract. CONTRACTOR shall be required to execute an addendum to this Contract together with escrow instructions and any other documents in order to effect this substitution.

5.13 Completion. Within 10 days after the contract completion date of the Project, CONTRACTOR shall file with the CITY'S Engineer its affidavit stating that all workers and persons employed, all firms supplying materials, and all SUBCONTRACTORS upon the Project have been paid in full, and that there are no claims outstanding against the Project for either labor or material, except those certain items, if any, to be set forth in an affidavit covering disputed claims, or items in connection with Stop Notices which have been filed under the provisions of the statutes of the State of California. CITY may require affidavits or certificates of payment and/or releases from any SUBCONTRACTOR, laborer or material supplier.

5.14 CONTRACTOR's Employees Compensation

5.14.1 General Prevailing Rate. CITY has ascertained that State prevailing wage requirements of the California Labor Code including Sections 1770, 1771.5, 1773, 1777.5, and 1776 are required to execute this Contract. If there is a difference

SECTION 5 - AGREEMENT (Continued)

between the minimum wage rates predetermined by the Secretary of Labor and the general prevailing wage rates determined by the Director of the California Department of Industrial Relations for similar classifications of labor, the CONTRACTOR and the SUBCONTRACTORS shall pay not less than the higher wage rate. The CITY will not accept the lower State wage rates. This includes "helper" (or other classifications based on hours of experience) or any other classification. A copy of the prevailing rate of per diem wages shall be posted at the job site.

- 5.14.2 Forfeiture for Violation.** CONTRACTOR shall, as a penalty to the CITY, forfeit one hundred dollars (\$100.00) for each calendar day or portion thereof for each worker paid (either by the CONTRACTOR or any SUBCONTRACTOR under it) less than the greater of State minimum wage rate associated with the duties of the employee in question, in accordance with the State prevailing wage requirements of the California Labor Code, including Sections 1770, 1771.5, 1773, 1777.5, and 1776.
- 5.14.3 Apprentices.** The greater of Section 1777.5, 1777.6 and 1777.7 of the Labor Code of the State of California, regarding the employment of apprentices is applicable to this Contract and the CONTRACTOR shall comply therewith if the prime contract involves thirty thousand dollars (\$30,000.00) or more or twenty (20) working days, or more; or if contracts of specialty CONTRACTORS not bidding for work through the general or prime CONTRACTOR are two thousand dollars (\$2,000.00) or more for five (5) working days or more.
- 5.14.4 Workday.** In the performance of this Contract, not more than eight (8) hours shall constitute a day's work, and CONTRACTOR shall not require more than eight (8) hours of labor in a day from any person employed by him hereunder except as provided in paragraph (5.14.2) above. CONTRACTOR shall conform to Article 3, Chapter 1, Part 7 (Sections 1810 et seq.) of the Labor Code of the State of California, and shall forfeit to the CITY as a penalty, the sum of twenty-five Dollars (\$25.00) for each worker employed in the execution of this Contract by CONTRACTOR or any SUBCONTRACTOR for each calendar day during which any worker is required or permitted to labor more than eight (8) hours in any one calendar day and forty (40) hours in any one week in violation of said Article. CONTRACTOR shall keep an accurate record showing the name and actual hours worked each calendar day and each calendar week by each worker employed by CONTRACTOR in connection with the Project.
- 5.14.5 Record of Wages: Inspection.** CONTRACTOR agrees to maintain accurate payroll records showing the name, address, social security number, work classification, straight-time and overtime hours worked each day and week, and the actual State prevailing wage paid to each journeyman, apprentice, worker or other employee employed by it in connection with the Project and agrees to require that each of its SUBCONTRACTORS does the same. The applicable CONTRACTOR or SUBCONTRACTOR or its agent having authority over such matters shall certify all payroll records as accurate. CONTRACTOR further agrees that its payroll records and those of its SUBCONTRACTORS shall be available to the employee or employee's representative, the Division of Labor Standards Enforcement, and the Division of Apprenticeship Standards and shall comply with all of the provisions of Labor Code Section 1776, in general. CONTRACTOR shall comply with all the provisions of Labor Code Section 1776,

SECTION 5 - AGREEMENT (Continued)

and shall submit payroll records to the Labor Commissioner pursuant to Labor Code Section 1771.4(a)(3). The CONTRACTOR shall submit copies of certified payroll reports **and cancelled checks** for laborers, every week to the CITY. Certified payroll and cancelled checks submittals are due one month after start of construction and every week thereafter. *If the certified payroll and cancelled checks are not submitted, the CONTRACTOR will be notified that compliance is required within five (5) working days or contract work must cease. The CITY will not be responsible for any delay or acceleration charges or any incurred costs or damages as a result of the work stoppage due to CONTRACTOR's failure to comply.* Work shall be cease in an orderly, safe fashion with all vehicle access restored, should this not occur, CITY will correct the deficiencies and deduct the cost from funds due to the CONTRACTOR. In addition, no progress payment shall be made until the copies of certified payroll reports and cancelled checks are submitted.

5.14.6 Contractor Registration. CONTRACTOR and its subcontractors must be registered with the California Department of Industrial Relations pursuant to Labor Code Section 1725.5. This Agreement shall not be effective until CONTRACTOR provides proof of registration to the CITY.

5.14.7 Posting of Job Site Notices. CONTRACTOR shall comply with the job site notices posting requirements established by the Labor Commissioner pursuant to Title 8, California Code of Regulations Section 16461(e) or other regulation promulgated pursuant to Labor Code Section 1771.4(a)(2).

5.14.8 Notice of DIR Compliance Monitoring and Enforcement. Pursuant to Labor Code Section 1771.4, this Project is subject to compliance monitoring and enforcement by the California Department of Industrial Relations.

5.15 Surety Bonds. CONTRACTOR shall, upon entering into performance of this Agreement, furnish bonds in the amount of one hundred percent (100%) of the Contract price bid, to guarantee the faithful performance of the work, and the other in the amount of one hundred percent (100%) of the Contract price bid to guarantee payment of all claims for labor and materials furnished. This Contract shall not become effective until such bonds are supplied to and approved by the CITY.

5.16 Insurance.

5.16.1 CONTRACTOR is also aware of the provisions of Section 3700 of the Labor Code, which requires every employer to be insured against liability for Workers' Compensation or undertake self-insurance in accordance with the provisions of that Code, and will comply with such provisions before commencing the performance of the work of this Contract.

5.16.2 CONTRACTOR and all SUBCONTRACTORS shall carry workers' compensation insurance for the protection of its employees during the progress of the work. The insurer shall waive its rights of subrogation against the CITY, its Officers, Official Agents Employees, Engineers, Volunteers, and Consultants for this Contract, and all public agencies from whom permits will be obtained and their Directors, Officers, Agents and Employees, as determined by the City and shall issue an insurance certificate and waiver of subrogation to the policy evidencing same.

5.16.3 CONTRACTOR shall at all times carry, on all operations hereunder, bodily injury, including death, and property damage liability insurance, including automotive

SECTION 5 - AGREEMENT (Continued)

operations bodily injury and property damage coverage; and builders' all risk insurance. Follows Form excess liability insurance shall be provided for any underlying policy that does not meet the policy limits required by this contract. All insurance coverage shall be in amounts specified by the CITY in the Insurance Requirements and shall be evidenced by the issuance of a certificate and additional insured endorsement in forms prescribed by the CITY and shall be underwritten by insurance companies satisfactory to the CITY for all operations, subcontract work, contractual obligations, product or completed operations, all owned vehicles and non-owned vehicles. Claims made and modified occurrence policies shall not be accepted. Said insurance coverage obtained by the CONTRACTOR, excepting workers' compensation coverage, shall name the CITY, its Officers, Official, Agents, Employees, Engineers, Volunteers, and Consultants for this Contract, and all public agencies from whom permits will be obtained and their Directors, Officers, Agents and Employees, as determined by the CITY, as additional insured on said policies. Additional insured status shall be evidenced in the form of an Additional insured Endorsement (CG 20 10 1185). A sample is included in the appendix of the specifications for reference.

For any claims related to this Project, the Contractor's insurance coverage shall be primary insurance as respects the CITY, its Officers, Officials, Agents, Employees, Engineers, Volunteers, and Consultants for this Contract, and all public agencies from whom permits will be obtained and their Directors, Officers, Agents, and Employees, as determined by the CITY. Any insurance or self-insurance maintained by the CITY, its Officers, Officials, Agents, Employees, Engineers, Volunteers, and Consultants for this Contract, and all public agencies from whom permits will be obtained and their Directors, Officers, Agents, and Employees, as determined by the CITY shall be excess of the CONTRACTOR's insurance and not contribute with it.

- 5.16.4** Before CONTRACTOR performs any work at, or prepares or delivers materials to, the site of construction, CONTRACTOR shall furnish:

COMMENCEMENT OF WORK. CONTRACTOR shall not commence work under this Agreement until all certificates and endorsements have been received and approved by CITY. All insurance required by this Agreement shall contain a Statement of Obligation on the part of the carrier to notify CITY of any material change, cancellation, or termination at least thirty (30) days in advance. Contractor shall also provide a **waiver of subrogation** for **each policy**.

INSURANCE AMOUNTS. CONTRACTOR shall maintain all of the foregoing insurance coverage in force until the work under this Contract is fully completed. The requirement for carrying the foregoing insurance shall not derogate from the provisions for indemnification of CITY by CONTRACTOR under Section 5.17 of this Contract. Notwithstanding nor diminishing the obligations of CONTRACTOR with respect to the foregoing, CONTRACTOR shall subscribe for and maintain in full force and effect during the life of this Contract, the following insurance in amounts not less than the amounts specified and issued by a company admitted and licensed in California and having a Best's Guide Rating of A-Class VII or better **(Claims made and modified occurrence policies are not acceptable):**

SECTION 5 - AGREEMENT (Continued)

Workers' Compensation	As required by the State of California.
Employer's Liability	\$1,000,000 per accident for bodily injury or disease.
Commercial General Liability (including operations, products and completed operations, and not excluding XCU)	\$5,000,000 per occurrence for bodily injury, personal injury and property damage. Coverage shall include mobile equipment.
Automobile Liability, including non-owned and hired vehicles	\$2,000,000 combined single limit for bodily injury and property damage.
Contractor's Pollution Legal Liability	\$1,000,000 per occurrence or claim, and \$2,000,000 policy aggregate.

Excess liability, follows form coverage, shall be provided for any underlying policy that does not meet the policy limits required and set forth herein. Insurance companies must be acceptable to CITY and have a Best's Guide Rating of A-, Class VII or better, as approved by CITY.

An Additional Insured Endorsement, ongoing and products-completed operations, and including mobile equipment, for the Commercial General Liability policy shall designate CITY, its Officers, Officials, Agents, Employees, Engineers, Volunteers, and Consultants for this Contract, and all public agencies from whom permits will be obtained and their Directors, Officers, Agents and Employees, as determined by the CITY as additional insureds for liability arising out of work or operations performed by or on behalf of the CONTRACTOR. CONTRACTOR shall provide to CITY proof of insurance and endorsement forms that conform to City's requirements, as approved by the CITY.

An Additional Insured Endorsement for Automobile Liability policy shall designate CITY, its Officers, Officials, Agents, Employees, Engineers, Volunteers, and Consultants for this Contract, and all public agencies from whom permits will be obtained and their Directors, Officers, Agents and Employees, as determined by the CITY as additional insureds for automobiles owned, leased, hired, or borrowed by the CONTRACTOR. CONTRACTOR shall provide to CITY proof of insurance and endorsement forms that conform to City's requirements, as approved by CITY.

An Additional Insured Endorsement for Contractors' Pollution Legal Liability policy shall designate CITY, its Officers, Officials, Agents, Employees, Engineers, Volunteers, and Consultants for this Contract, and all public agencies from whom permits will be obtained and their Directors, Officers, Agents and Employees, as determined by the CITY as additional insureds for liability arising out of work or operations performed by or on behalf of the CONTRACTOR. CONTRACTOR shall provide to CITY proof of insurance and endorsement forms that conform to City's requirements, as approved by the CITY.

In the event any of CONTRACTOR'S underlying policies do not meet policy limits within the insurance requirements, CONTRACTOR shall provide coverage under an excess liability policy. The policy must be a follows form excess/umbrella policy. CONTRACTOR shall provide the **schedule of underlying policies** for an excess/umbrella liability policy, state that the excess/umbrella policy **follows form** on the insurance certificate, and provide an **additional insured endorsement** for the excess/umbrella liability policy designating CITY, its Officers, Officials, Agents, Employees, Engineers, Volunteers, and Consultants for

SECTION 5 - AGREEMENT (Continued)

this Contract, and all public agencies from whom permits will be obtained and their Directors, Officers, Agents and Employees, as determined by the CITY as additional insureds.

A primary/non-contributory endorsement shall be provided to CITY for each policy. For any claims related to this Agreement, CONTRACTOR's insurance coverage shall be primary insurance as respects CITY, its officers, officials, agents, employees, and volunteers for this contract and all public agencies from whom permits will be obtained and their directors, officers, agents, and employees as determined by CITY. Any insurance or self-insurance maintained by CITY, its officers, officials, agents, employees, and volunteers for this contract and all public agencies from whom permits will be obtained and their directors, officers, agents, and employees, as determined by CITY shall be excess of the CONTRACTOR's insurance and shall not contribute with it. CONTRACTOR shall provide to CITY proof of insurance and endorsement forms that conform to CITY's requirements, as approved by the CITY.

CITY or its representatives shall at all times have the right to inspect and receive the original or a certified copy of all said policies of insurance, including certificates. CONTRACTOR shall pay the premiums on the insurance hereinabove required.

If CONTRACTOR maintains higher insurance limits than the minimums shown above, CONTRACTOR shall provide coverage for the higher insurance limits otherwise maintained by the CONTRACTOR

- 5.17 Risk and Indemnification.** All work covered by this Contract done at the site of construction or in preparing or delivering materials to the site shall be at the risk of CONTRACTOR alone. CONTRACTOR agrees to save, indemnify and keep the CITY, its Officers, Agents, Employees, Engineers, and Consultants for this Contract, and all public agencies from whom permits will be obtained and their directors, Officers, Agents and Employees harmless against any and all liability, claims, judgments, costs and demands, including demands arising from injuries or death of persons (CONTRACTOR'S employees included) and damage to property, arising directly or indirectly out of the obligations herein undertaken or out of the operations conducted by CONTRACTOR, save and except claims or litigation arising through the negligence or willful misconduct of CITY and will make good to reimburse CITY for any expenditures, including reasonable attorneys' fees CITY may incur by reason of such matters, and if requested by CITY, will defend any such suits at the sole cost and expense of CONTRACTOR.

5.18 Termination.

- 5.18.1** This Contract may be terminated in whole or in part in writing by the CITY for its convenience, provided that the CONTRACTOR is given (1) not less than ten (10) calendar days written notice (delivered by certified mail, return receipt requested) of intent to terminate, and (2) an opportunity for consultation with the terminating party prior to termination.
- 5.18.2** If termination for default or convenience is effected by the CITY, an equitable adjustment in the price provided for in this Contract shall be made, but (1) no amount shall be allowed for anticipated profit on unperformed services or other work, and (2) any payment due to the CONTRACTOR at the time of termination may be adjusted to cover any additional costs to the CITY because of the CONTRACTOR'S default.

SECTION 5 - AGREEMENT (Continued)

5.18.3 Upon receipt of a termination action under paragraph (5.18.1) or (5.18.2) above, the CONTRACTOR shall (1) promptly discontinue all affected work (unless the notice directs otherwise), and (2) deliver or otherwise make available to the CITY all data, drawings, specifications, reports, estimates, summaries and such other information and materials as may have been accumulated by the CONTRACTOR in performing this Contract whether completed or in process.

5.18.4 Upon termination under paragraphs (5.18.1) and (5.18.2) above, the CITY may take over the work and may award another party an agreement to complete the work under this Contract.

5.19 Warranty. The CONTRACTOR agrees to perform all work under this Contract in accordance with the CITY 's designs, drawings and specifications.

The CONTRACTOR guarantees for a period of one (1) year from the date of the notice of completion of the work that the completed work is free from all defects due to faulty materials, equipment or workmanship and that he shall promptly make whatever adjustments or corrections which may be necessary to cure any defects, including repairs or any damage to other parts of the system resulting from such defects. The CITY shall promptly give notice to the CONTRACTOR of observed defects. In the event that the CONTRACTOR fails to make adjustments, repairs, corrections or other work made necessary by such defects, the CITY may do so and charge the CONTRACTOR the cost incurred. The performance bond shall remain in full force and effect through the guarantee period.

The CONTRACTOR'S obligations under this clause are in addition to the CONTRACTOR'S other express or implied assurances of this Contract or state law and in no way diminish any other rights that the CITY may have against the CONTRACTOR for faulty materials, equipment or work.

5.20 Attorneys' Fees. If any action at law or in equity is necessary to enforce or interpret the terms of this Contract, each shall bear its own attorneys' fees, costs and necessary disbursements. Notwithstanding the foregoing, if any action is brought against the CONTRACTOR or any SUBCONTRACTOR to enforce a Stop Notice or Notice to Withhold, which named the CITY as a party to said action, the CITY shall be entitled to reasonable attorneys' fees, costs and necessary disbursements arising out of the defense of such action by the CITY. The CITY shall be entitled to deduct its costs for any Stop Notice filed, whether court action is involved or not.

5.21 Notices. Any notice required or permitted under this Contract may be given by ordinary mail at the address set forth below. Any party whose address changes shall notify the other party in writing.

To CITY:

City of Garden Grove
Public Works Department
Attention: Rebecca Li, P.E.
13802 Newhope Street
Garden Grove, CA 92843
(714) 741-5562, (714) 638-9906 Fax

TO CONTRACTOR:

SIGNATURE ON NEXT PAGE

SECTION 5 - AGREEMENT (Continued)

IN WITNESS THEREOF, these parties have executed this Construction Agreement on the day and year shown below.

"CITY"
CITY OF GARDEN GROVE

Date: _____

By: _____
Scott C. Stiles
City Manager

ATTEST:

City Clerk

Date: _____

"CONTRACTOR"
DocuSigned by:
Massoud Jami

CBE392032FFA4F8...

CONTRACTOR'S State License No. 1031564
(Expiration Date: 10/31/2023)

By: Massoud Jami

Title: President

Date: 4/19/2022

APPROVED AS TO FORM:

DocuSigned by:
Omey Nandora

8A61EE779B44411...
City of Garden Grove
City Attorney

Date: 4/19/2022

If CONTRACTOR is a corporation, a Corporate Resolution and/or Corporate Seal is required.

SECTION 5 - AGREEMENT (Continued)**FAITHFUL PERFORMANCE BOND**

Bond No. _____
 Premium _____

NOTICE: TO WHOM IT MAY CONCERN: those we, _____,
 _____,
 as Principal, and _____,
 as Surety, are held and firmly bound unto The City of Garden Grove, (CITY) in the sum of _____

_____ Lawful money of the United States, for the payment of which we bind heirs, our executors, administrators, successors, and ourselves jointly and severally.

That the Surety's office is located at _____,
 telephone no. _____; the Surety is licensed to do business in the State of California; and the California Insurance Agent's License No., address, and telephone no. are as follows:

License No.: _____

Address: _____

Telephone No.: _____

That the following clause must be completed if, in fact, a non-resident agent for the Surety is a party to the transaction:

Name of non-resident agent: _____

Non-resident agent's office address: _____

Telephone No.: _____

THE CONDITION OF THIS OBLIGATION IS SUCH, that:

1. The Principal has agreed entered into a contract attached hereto, dated the ____ day of ____, 20____, with THE CITY OF GARDEN GROVE for **Construction of SCADA FP2 – Pressure Monitoring Improvements - Project No. CP1268268 -- Drawing No. W-622.**
2. If the Principal shall well and truly perform, or cause to be performed, each and all of the requirements and obligations of the contract to be performed by the Principal, as set forth in the contract, then this bond shall be null and void; otherwise, it shall remain in full force and effect. In the event that suit is instituted to recover on this bond, the Surety will pay reasonable attorneys' fees.
3. Further, the Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration, or modification of the contract documents or of work performed shall in any way affect its obligation on this bond, and it does hereby waive notice of any change, extension of time, alteration, or modification of the contract documents, or of work to be performed.

SECTION 5 - AGREEMENT (Continued)**FAITHFUL PERFORMANCE BOND (Continues)**

Executed this ___ day of _____, 20__

Principal_____
PrincipalBy: _____
SuretyBy: _____
Attorney-in-Fact_____
California Resident AgentBy: _____
Non-resident Agent - Attorney-in-FactSTATE OF CALIFORNIA)
)
COUNTY OF _____) ss.On this ___ day of _____, 20__, before me, a Notary Public in and for said County, residing therein, duly commissioned and sworn, personally appeared _____ known to me to be the Attorney-in-Fact of the _____, of
(Corporation)_____, and acknowledged that it executed the attached bond to the
(State)

Garden Grove Sanitary City as such Attorney-in-Fact and as the free act and deed of the corporation, and that the bond was executed on behalf of the corporation by authority of its Board of Directors.

IN WITNESS WHEREOF, I have herewith set my hand and affixed my Official Seal, the day and year in this certificate first above written.

(Acknowledgment by Non-resident Agent as Attorney-in-Fact must be attached.)

Notary Public in and for said County and State
My Commission expires: _____

SECTION 5 - AGREEMENT (Continued)**LABOR AND MATERIAL BOND**

Bond No. _____

Premium _____

NOTICE: TO WHOM IT MAY CONCERN: those we, _____

_____,
 as Principal, and _____, as Surety,
 are held and firmly bound unto The City of Garden Grove, California ("CITY") in the sum of
 Dollars (\$_____), lawful money of the United States, for the payment of the sum, we bind heirs, our
 executors, administrators, successors, and ourselves jointly and severally.

That the Surety's office is located at _____,
 _____ telephone no. _____; the Surety is licensed to do business in the State of California;
 and the California Insurance Agent's License No., address, and telephone no. are as follows:

License No.: _____

Address: _____

Telephone No.: _____

That the following clause must be completed if, in fact, a non-resident agent for the Surety is
 a party to the transaction:

Name of non-resident agent: _____

Non-resident agent's office address: _____

Telephone No.: _____

THE CONDITION OF THIS OBLIGATION IS SUCH, that:

1. The Principal has entered into a contract attached hereto, dated _____ day of _____, 20____, with the CITY OF GARDEN GROVE for **Construction of SCADA FP2 – Pressure Monitoring Improvements - Project No. CP1268268 -- Drawing No. W-622.**
2. If the Principal, its heirs, executors, administrators, successors, or assigns, or SUBCONTRACTORS, shall fail to pay for any materials, provisions, provender, or other supplies or teams, implements, or machinery used in, upon, for, or about, the performance of the improvement, or for any work or labor thereon of any kind, or for amounts due under the Unemployment Insurance Code with respect to work or labor, and provided that the claimant shall have complied with the provision of the code, the Surety or Sureties will pay for same in the amount not exceeding the sum specified in this bond; otherwise, the above obligation shall be void. In case suit is brought upon this bond, the Surety will pay reasonable attorneys' fees.
3. The Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration, or modification of the contract documents, or of work performed, shall in any way affect its obligation on this bond, and it does hereby waive notice of any change, extension of time, alteration, or modification of the contract documents, or of work to be performed.

SECTION 5 - AGREEMENT (Continued)**LABOR AND MATERIAL BOND (Continued)**

4. This bond shall inure to the benefit of any and all persons, companies, and corporations entitled to the claims under Civil Code 3181 et seq., so as to give a right of action to them or their assignees in any suit brought upon this bond.

Executed this __ day of _____, 20__.

Principal

Principal

By: _____
Surety

By: _____
Attorney-in-Fact

California Resident Agent

By: _____
Non-resident Agent - Attorney-in-Fact

STATE OF CALIFORNIA)
)
COUNTY OF _____) ss.

On this __ day of _____, 20__, before me, a Notary Public in and for said County and State, personally appeared _

_____ known to me to be the Attorney-in-Fact of
the _____, of _____

(Corporation)

_____, and acknowledged that it executed the attached bond to the
(State)

Garden Grove Sanitary City as such Attorney-in-Fact and as the free act and deed of the corporation, and that the bond was executed on behalf of the corporation by authority of its Board of Directors.

IN WITNESS WHEREOF, I have herewith set my hand and affixed my Official Seal, the day and year in this certificate first above written.

(Acknowledgment by Non-resident Agent as Attorney-in-Fact must be attached.)

Notary Public in and for said County and State
My Commission expires: _____

SECTION 5 - AGREEMENT (Continued)**ESCROW AGREEMENT FOR SECURITY DEPOSITS IN LIEU OF RETENTION**

This Escrow Agreement is made and entered into by and between _____
 whose address is _____,
 hereinafter called "Owner", _____,
 whose address is _____,
 hereinafter called "CONTRACTOR", _____,
 and _____, whose address
 is _____,
 hereinafter called "escrow agent."

For the consideration hereinafter set forth, the Owner, CONTRACTOR, and escrow agent agree as follows:

(1) Pursuant to Section 22300 of the Public Contract Code of the State of California, the CONTRACTOR has the option to deposit securities with the escrow agent as a substitute for retention earnings required to be withheld by the Owner pursuant to the construction contract entered into between the Owner and CONTRACTOR for _____ in the amount of _____ dated _____ (hereafter referred to as the "contract"). Alternatively, on written request of the CONTRACTOR, the Owner shall make payments of the retention earnings directly to the escrow agent. When the CONTRACTOR deposits the securities as a substitute for the contract earnings, the escrow agent shall notify the Owner within ten days of the deposit. The market value of the securities at the time of the substitution shall be at least equal to the cash amount then required to be withheld as retention under the terms of the contract between the Owner and CONTRACTOR. Securities shall be held in the name of the _____, and shall designate the CONTRACTOR as the beneficial Owner.

(2) The Owner shall make progress payments to the CONTRACTOR for those funds which otherwise would be withheld from progress payments pursuant to the contract provision, provided that the escrow agent holds securities in the form and amount specified above.

(3) When the Owner makes payment of retentions earned directly to the escrow agent, the escrow agent shall hold them for the benefit of the CONTRACTOR until such time as the escrow created under this contract is terminated. The CONTRACTOR may direct the investment of the payments into securities. All terms and conditions of this agreement and the rights and responsibilities of the parties shall be equally applicable and binding when the Owner pays the escrow agent directly.

(4) The CONTRACTOR shall be responsible for paying all fees for the expenses incurred by the escrow agent in administering the escrow account. These expenses and payment terms shall be determined by the CONTRACTOR and escrow agent.

(5) The interest earned on the securities or the money market accounts held in escrow and all interest on the interest shall be the sole account of CONTRACTOR and shall be subject to withdrawal by CONTRACTOR at any time and from time to time without notice to the Owner.

(6) The CONTRACTOR shall have the right to withdraw all or any part of the principal in the escrow account only by written notice to the escrow agent accompanied by written authorization from the Owner to the escrow agent that the Owner consents to the withdrawal of the amount sought to be withdrawn by CONTRACTOR.

SECTION 5 - AGREEMENT (Continued)

(7) The Owner shall have a right to draw upon the securities in the event of default by the CONTRACTOR. Upon seven days' written notice to the escrow agent from the Owner of the default, the escrow agent shall immediately convert the securities to cash and shall distribute the cash as instructed by the Owner.

(8) Upon receipt of written notification from the Owner certifying that the contract is final and complete, and that the CONTRACTOR has complied with all requirements and procedures applicable to the contract, the escrow agent shall release to the CONTRACTOR all securities and interest on deposit less escrow fees and charges of the escrow account. The escrow shall be closed immediately upon disbursement of all moneys and securities on deposit and payment of fees and charges.

(9) The escrow agent shall rely on the written notifications from the Owner and the CONTRACTOR pursuant to Sections (1) to (8), inclusive, of this agreement and the Owner and CONTRACTOR shall hold the escrow agent harmless from the escrow agent's release, conversion, and disbursement of the securities and interest as set forth above.

(10) The names of the persons who are authorized to give written notice or to receive written notice on behalf of the Owner and on behalf of the CONTRACTOR in connection with the foregoing, and exemplars of their respective signatures are as follows:

On behalf of the Owner:

On behalf of the CONTRACTOR:

On behalf of the Owner:
Title

On behalf of the CONTRACTOR:
Title

Name

Name

Signature

Signature

Address

Address

SECTION 5 - AGREEMENT (Continued)

On behalf of the escrow agent:
Title

Title

Name

Name

Signature

Signature

Address

Address

At the time the escrow account is opened, the Owner and CONTRACTOR shall deliver to the escrow agent a fully executed counterpart of this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement by their proper officers on the date first set forth above.

Owner/CONTRACTOR _____

Date: _____

Title/Title _____

Approved as to Form _____

City of Garden Grove
City Attorney

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To:	Scott C. Stiles	From:	Lisa L. Kim
Dept.:	City Manager	Dept.:	Community and Economic Development
Subject:	Information update on the Civic Center Community Engagement Project as requested by City Manager Stiles.	Date:	5/10/2022

OBJECTIVE

To provide an update to the City Council on the Civic Center Community Engagement project.

BACKGROUND

In 2019, Garden Grove residents approved Measure O, a local sales tax to support annual funding for public safety. Through various prior studies, past efforts demonstrate the City's dedication to investing in itself and revitalizing Garden Grove to make it a safer, more pedestrian friendly place with improved amenities, safe and clean neighborhoods, and high quality public safety services for all current and future residents. The City of Garden Grove is planning to reinvest in itself by exploring opportunities in the Civic Center area for improved public amenities and also evaluate the prospects of replacing and modernizing the Police Department public safety facilities to better meet the needs of the community.

In January of 2020, a police facilities space needs assessment was conducted to address current and future needs of the Garden Grove Police Department (GGPD). Findings of the report identified deficiencies in the existing GGPD facilities and insufficient spacing available for building, parking, and site needs to accommodate current and future demands of the growing community.

DISCUSSION

COMMUNITY OUTREACH

The City of Garden Grove is launching a public outreach and community engagement effort to work hand-in-hand with Garden Grove residents to explore opportunities in the civic center area for improved public amenities and also evaluate the prospects of replacing and modernizing the Police Department public safety facilities.

Through the public engagement process, the City intends to inform and engage with the community, ensuring participation from the broad range of stakeholders identifying the specific needs of the community. The City intends to use a comprehensive approach utilizing a wide variety of tools and methods for community outreach.

WEBSITE

A website dedicated to the project (ggcity.org/civic-center-community-engagement) is available with regular updates, educational information, flyers, and news to allow the community to stay connected and informed.

SOCIAL MEDIA

Ongoing social media presence will be maintained to inform the community of news and updates through all of the City's social media accounts.

OPEN HOUSE

On May 4, 2022, at the Garden Grove Community Meeting Center (CMC), from 6:00 p.m. to 8:00 p.m., the City of Garden Grove held an in-person Open House for all residents of the community to join the conversation. Participants learned more about the project, and most importantly, provided their input on the planning process for the new Police Department facility and other community improvements in the larger Civic Center area.

On May 12, 2022, the City of Garden Grove will hold a Virtual Open House from 6:00 p.m. to 8:00 p.m., to allow for any persons who weren't able to attend the in-person Open House to attend the virtual meeting and provide their input on potential improvements in the Civic Center area.

FINANCIAL IMPACT

None.

RECOMMENDATION

This report is for informational purposes only to receive and file.

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To:	Scott C. Stiles	From:	Omar Sandoval
Dept.:	City Manager	Dept.:	City Attorney
Subject:	Introduction and first reading Date: 5/10/2022 of an ordinance to add Chapters 8.92 and 8.94 to Title 8 of the Garden Grove Municipal Code as requested by Mayor Pro Tem Diedre Thu-Ha Nguyen		

OBJECTIVE

For the City Council to conduct a first reading and introduction of an ordinance to prohibit the unlawful possession of catalytic converters within the City, and repairs and sales of bicycles and bicycle parts on public property.

BACKGROUND

At the City Council Meeting held on April 26, 2022, Mayor Pro Tem Diedre Thu-Ha Nguyen asked and received by a unanimous vote that the City Council support listing an ordinance to establish legal authority to protect the public and deter criminal activity and prohibit unlawful possession of catalytic converters and sales and repairs of bicycles within the City. Over the past several years, thefts of catalytic converters within the City of Garden Grove, as well as within jurisdictions across Orange County and California as a whole, have increased dramatically. In addition, there has been an increase of bicycle thefts due to both a general increase in property related crimes as well as a shortage of bicycles and bicycle parts with many of these crimes going unreported to police.

DISCUSSION

Over the past three years, the number of catalytic converter thefts within the City has increased dramatically. According to crime statistics from the Garden Grove Police Department there were 163 reported catalytic converter thefts reported in the City. That number increased by approximately 375% in 2021 to a total of 607 such thefts. And, in the first four months of 2022 alone, there have been 216 reported catalytic converter thefts. Projected out for the remainder of the year, the City can expect a total of 864 catalytic converter thefts by the end of 2022. This trend is not unique to Garden Grove.

The rise in catalytic converter thefts can be attributed to several factors. First, a theft of a catalytic converter can be accomplished within a matter of seconds using common household tools such as a reciprocating saw or handheld circular saw. This, coupled with the ease with which criminals can access a vehicle's catalytic converter, makes it nearly impossible to catch criminals in the act of committing a catalytic converter theft. Next, catalytic converters contain precious metals such as platinum, palladium, and rhodium, which can be recycled for substantial sums. As a result, criminals sell the stolen catalytic converters to scrap metal yards who, in turn, remove the precious metals and sell them for a high profit. Catalytic converter thefts are nearly impossible for law enforcement agencies to investigate because the stolen catalytic converters do not have any identifying markings (e.g. serial numbers, vehicle identification numbers, or license plate numbers) which can be used to identify victims of theft. Without a victim of a theft, law enforcement officers cannot arrest suspected criminals for mere possession of a catalytic converter that appears to be stolen. Thus, despite the fact that there are very few instances when an individual would lawfully be in possession of a catalytic converter that is not attached to a vehicle, criminals cannot be charged with any offense given the lack of a specifically identifiable victim. There are currently no federal, state, or local laws or regulations which criminalize the possession of a catalytic converter which is not attached to a vehicle. Further, there is no federal, state, or local law which criminalizes the sale or recycling of unlawfully obtained catalytic converters.

The lack of regulation in this area incentivizes criminals to steal catalytic converters and scrap yard and similar businesses to purchase the stolen items in order to recycle the precious metals for a profit. Finally, there are currently no federal, state, or local laws or regulations which require individuals in possession of catalytic converters which are not attached to vehicles to provide proof to law enforcement of lawful possession. This limits law enforcement's ability to protect the public by deterring catalytic converter thefts, as well as limits law enforcement's ability to seize catalytic converters which are suspected to be stolen unless an identifiable victim can be located. Given the lack of regulation in this area, the majority of catalytic converter thefts within the City of Garden Grove go unsolved. As to the increase of bicycle thefts, many of these bicycles are stolen and then dismantled in public areas in the City of Garden Grove and sold within days of being stolen. There is a narrow window for stolen bicycles to be recovered while they are being taken apart in public spaces before being sold.

Such open-air "bike chop shops" can be seen throughout the City, but confronting the illegal activities this practice supports is difficult without better tools to reduce the illegal activity. Thus, creating a specific law for the removal of bicycles and/or bicycle parts from the public right-of-way and public property will add an enforcement tool to remove clutter from the public right-of-way and public property, prevent illegal commercial activity, and, if any bicycles or bicycle parts are lost or stolen, restore such items to their lawful owners and deter future bicycle theft. This ordinance will provide the Garden Grove Police Department with clearly established legal authority to protect the public and deter criminal activity.

FINANCIAL IMPACT

None.

RECOMMENDATION

It is recommended that the City Council:

Introduce for first reading and pass to second reading the Ordinance entitled:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GARDEN GROVE, CALIFORNIA, ADDING CHAPTERS 8.92 AND 8.94 TO TITLE 8 OF THE GARDEN GROVE MUNICIPAL CODE ESTABLISHING REGULATIONS PROHIBITING THE UNLAWFUL POSSESSION OF CATALYTIC CONVERTERS IN THE CITY, AND REPAIRS AND SALES OF BICYCLES AND BICYCLE PARTS ON PUBLIC PROPERTY.

ATTACHMENTS:

Description	Upload Date	Type	File Name
Ordinance	5/4/2022	Ordinance	5-10-22_Ordinance_re_Catalytic_Converters_and_Bicycles.pdf

ORDINANCE NO.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GARDEN GROVE, CALIFORNIA, ADDING CHAPTERS 8.92 AND 8.94 TO TITLE 8 OF THE GARDEN GROVE MUNICIPAL CODE ESTABLISHING REGULATIONS PROHIBITING THE UNLAWFUL POSSESSION OF CATALYTIC CONVERTERS IN THE CITY, AND REPAIRS AND SALES OF BICYCLES AND BICYCLE PARTS ON PUBLIC PROPERTY

City Attorney Summary

This ordinance adds Chapter 8.92 and 8.94 to Title 8 of the Garden Grove Municipal Code to prohibit the unlawful possession of catalytic converters in the city, and repairs and sales of bicycles and bicycle parts on public property. The regulations prohibit the possession of any catalytic converter that is not attached to a vehicle unless the possessor has valid documentation or other proof to establish that they are in lawful possession of the catalytic converter. The regulations further prohibit the assembly, disassembly, sale, offer to sale, distribute, offer to distribute, store, or possess three or more bicycles, bicycle frame with the gear cables or brakes cable cut, two or more bicycles with missing parts or five or more bicycle parts on any street, sidewalk, alley, or public property within the City

WHEREAS, the City of Garden Grove and its citizens have experienced a dramatic increase in the theft of catalytic converters over the past several years; and

WHEREAS, the number of catalytic converter thefts in the City of Garden rose from approximately 163 in the year 2020, to 607 in the year 2021, marking an increase of approximately 375% over that period; and

WHEREAS, in the first 4 months of 2022, the City has already experienced approximately 216 catalytic converter thefts; and

WHEREAS, the nature of catalytic converter thefts makes it difficult for law enforcement to prosecute offenders due to the fact that it is extremely difficult to identify victims of the thefts; and

WHEREAS, there are currently no federal, state, or local laws or regulations which criminalize the unlawful possession within the City of catalytic converters which are not attached to vehicles; and.

WHEREAS, there are currently no federal, state, or local laws or regulations which prohibit the unlawful recycling or sale of unlawfully obtained catalytic converters within the City, thus leading to the increase of such activity within the City; and

WHEREAS, there are currently no federal, state, or local laws or regulations which require individuals in possession of catalytic converters which are not attached to vehicles to provide proof to law enforcement of lawful possession, which limits law enforcement's ability to protect the public by deterring catalytic converter thefts, as

well as limits law enforcement's ability to seize catalytic converters which are suspected to be stolen unless an identifiable victim has been located; and

WHEREAS, catalytic converter thefts are on the rise because individuals are incentivized to commit such thefts for many reasons including, but not limited to, (1) the ease such thefts can be committed in a very short period of time with common tools, (2) the ability to recycle catalytic converters as scrap metal for high dollar amounts ranging from \$200 to \$1,200 per catalytic converter, and (3) loopholes in legislation which protect criminals from prosecution unless a specific victim can be identified; and

WHEREAS, finding victims of these crimes is nearly impossible because it is extremely difficult to catch criminals in the act of unlawfully removing a catalytic converter, coupled with the fact that catalytic converters do not have any identifying marks which would allow law enforcement to trace stolen catalytic converters to a specific vehicle or victim; and

WHEREAS, due to the lack of legislation in this area, most catalytic converter thefts go unsolved, which is fundamentally unacceptable for the citizens of Tustin; and

WHEREAS, the citizens of Garden Grove and the Garden Grove Police Department are in need of legislation for multiple reasons including, but not limited to: (1) the need for deterrence by establishing zero-tolerance for catalytic converter thefts, (2) creating penalties for possessing stolen catalytic converters, (3) preventing criminals from profiting from the sale and recycling of stolen catalytic converters, (4) providing indirect justice to victims of catalytic converter theft, and (5) minimizing the fiscal and personnel impact on the City of Garden Grove caused by catalytic converter thefts and related investigations; and

WHEREAS, individuals who are in possession of stolen catalytic converters recycle them for substantial sums while the victims of such thefts are required to pay thousands of dollars to repair their vehicles, are inconvenienced by the time such repairs take, and feel less safe in their community; and

WHEREAS, there has been a recent nationwide increase of bicycle theft due to both a general increase in property related crimes as well as a shortage of bicycles and bicycle parts with many of these crimes going unreported to police; and

WHEREAS, many of these bicycles are stolen and then dismantled in public areas in the City of Garden Grove and sold within days of being stolen. There is a narrow window for stolen bicycles to be recovered while they are being taken apart in public spaces before being sold; and

WHEREAS, such open-air "bike chop shops" can be seen throughout the City, but confronting the illegal activities this practice supports is difficult without better tools to reduce the illegal activity; and

WHEREAS, creating a specific law for the removal of bicycles and/or bicycle parts from the public right-of-way and public property will add an enforcement tool to remove clutter from the public right-of-way and public property, prevent illegal commercial activity, and, if any bicycles or bicycle parts are lost or stolen, restore such items to their lawful owners and deter future bicycle theft; and

WHEREAS, this Ordinance is necessary to provide the City of Garden Grove Police Department with clearly established legal authority to protect the public and deter this criminal activity.

Now, therefore, the City Council of the City of Garden Grove does hereby ordain as follows:

SECTION 1. Chapter 8.92 is hereby added to Title 8 of the Garden Grove Municipal Code to read as follows:

**CHAPTER 8.92
UNLAWFUL POSSESSION OF CATALYTIC CONVERTERS**

8.92.010 – Unlawful Possession of a Catalytic Converter

- A. It shall be unlawful to possess any catalytic converter that is not attached to a vehicle unless the possessor has valid documentation or other proof to establish that they are in lawful possession of the catalytic converter.
- B. For purposes of this section, "lawful possession" includes being the lawful owner of the catalytic converter, or in possession of the catalytic converter with the lawful owner's written consent. It is not required to prove that a catalytic converter was stolen to establish that the possession is not a "lawful possession."
- C. For purposes of this section, "documentation or other proof" means written document(s) that clearly identify the vehicle from which the catalytic converter originated and includes, but is not limited to the following document types: bill of sale from the original owner with photographs, documentation from an auto-body shop proving the owner relinquished the catalytic converter to the auto-body shop, verifiable written or electronic communication from the previous owner to the possessor relinquishing ownership of the catalytic converter, photographs of the vehicle from which the catalytic converter originated and which show the vehicle's license plate or vehicle identification number (VIN), or vehicle registration for the vehicle from which the catalytic converter originated, coupled with a corresponding license plate or VIN number etched onto the catalytic converter. The validity

of "documentation or other proof" shall be based on the totality of the circumstances.

- D. Each and every violation of this section shall constitute a separate violation and shall be subject to remedies and enforcement as set forth in the Garden Grove Municipal Code. Each and every catalytic converter which is unlawfully possessed constitutes a separate violation of this section.
- E. Violations of this section constitute misdemeanors and upon conviction are punishable by a fine not to exceed \$1,000, imprisonment in the county jail for a period of up to six (6) months, or by both such fine and imprisonment. Notwithstanding the foregoing, violations of this section may, at the discretion of the City Attorney, be prosecuted as infractions.
- F. The remedies provided herein are not to be construed as exclusive remedies. The City is authorized to pursue any proceedings that are authorized by this Code or any other law for violations of this section.

SECTION 2. Chapter 8.94 is hereby added to Title 8 of the Garden Grove Municipal Code to read as follows:

**CHAPTER 8.94
PROHIBITION ON REPAIRS AND SALES OF BICYCLES
AND BICYCLE PARTS ON PUBLIC PROPERTY**

8.94.010 Purpose and Intent.

The purpose of this Chapter is to provide an enforcement tool to prevent illegal commercial activity, remove clutter from the public right-of-way and public property, and, if any bicycles or bicycle parts are lost or stolen, restore such items to their lawful owners and deter future bicycle theft.

8.94.020 Repairs and sales on public property prohibited.

Except where otherwise stated in this Chapter, no person shall assemble, disassemble, sell, offer to sell, distribute, offer to distribute, store, or possess the following items on any street, sidewalk, alley, or public property within the City:

- A. Three (3) or more bicycles;
- B. A bicycle frame with the gear cables or brakes cable cut;
- C. Two (2) or more bicycles with missing parts (the term "parts" shall mean handlebars, wheels, forks, pedals, cranks, seats, frames or chains); or

- D. Five (5) or more bicycle parts.

8.94.030 Exceptions.

The prohibition contained in Section 8.94.020 of this Chapter shall not apply in any of the following situations:

- A. An individual is operating under a valid City of Garden Grove License or Permit authorizing such activities.
- B. The owner of a bicycle or bicycle part is present during the repair of his or her single bicycle or bicycle part. Supporting evidence for a claim of lawful ownership may include, but is not limited to, video or photographic evidence, a bill of sale, the correct serial number, bicycle registration, and the like.

SECTION 3. Severability. If any section, sub-section, clause or phrase in this Ordinance or the application thereof to any person or circumstances is for any reason held invalid, the validity of the remainder of this Ordinance or the application of such provisions to other persons or circumstances shall not be affected.

SECTION 4. Effective Date. This City Clerk shall certify passage of this Ordinance and this Ordinance shall be published as required by law and shall take effect as provided by law.

City of Garden Grove

INTER-DEPARTMENT MEMORANDUM

To:	Scott C. Stiles	From:	Maria Stipe
Dept.:	City Manager	Dept.:	City Manager
Subject:	Consideration of a five percent business license tax rebate program to incentivize alternative work schedules for Garden Grove businesses as requested by Council Member Brietigam. (<i>Action Item</i>)		
		Date:	5/10/2022

OBJECTIVE

For the City Council to discuss the potential implementation of a 5% business license tax rebate program that would incentivize alternative work schedules for Garden Grove businesses with 10 or more employees.

BACKGROUND

At the April 26, 2022, City Council Meeting, Council Member George Brietigam proposed implementing a 5% business license tax rebate program to incentivize alternative work schedules (e.g., 10/40 or 9/80 work shifts) for commercial businesses in the City with ten or more employees. Some of the potential benefits cited by Council Member Brietigam were: reduced traffic, reduced air pollution, reduced fossil fuel consumption, enhanced quality of life for employees, and reduced business license taxes for commercial businesses. At the meeting, the City Council approved an action item for staff to gather basic cost information to support further discussion and consideration at the May 10, 2022, City Council meeting.

DISCUSSION

The Finance Department has provided the following information, based on current documentation:

- Of the City's 5,200 brick and mortar commercial businesses, approximately 700 have 10 or more employees and could qualify for the program.
- If all 700 businesses participated, the potential cost in lost revenue in Business License Tax could be up to \$89,000 per year.

- The maximum business license tax rebate would be \$127.50, per business per year.
- A list of example businesses and rebate amounts is attached for reference.
- Implementation would require the City Council to adopt a Resolution outlining the program criteria, and the City's business tax renewal form would be modified accordingly.
- Modification of the business tax renewal form and fee calculation would be relatively straight forward, yet enforcement/compliance verification would not be feasible.

FINANCIAL IMPACT

If the program is implemented, the potential cost in lost revenue in Business License Tax, based on current data, would be up to \$89,000 per year.

RECOMMENDATION

It is recommended that the City Council:

- Provide direction to staff regarding implementation of the proposed 5% business license tax rebate program.

ATTACHMENTS:

Description	Upload Date	Type	File Name
List of example businesses and rebate amounts	5/4/2022	Backup Material	5%_Business_License_Tax_Rebate_Proposal_Example_List.2022.pdf

5% BUSINESS LICENSE TAX REBATE PROPOSAL				
				\$ 4,773.43
BUSINESS TYPE	# OF EMPS	LAST TAX PYMT	45	5% AMT
GROCERY STORE	90	\$ 2,550.00		\$ 127.50
FASTENER MFG	92	\$ 2,550.00		\$ 127.50
RESTAURANT	95	\$ 538.90		\$ 26.95
RESTAURANT	95	\$ 258.40		\$ 12.92
METAL CONTAINER MFG	95	\$ 2,550.00		\$ 127.50
RETAIL	96	\$ 2,550.00		\$ 127.50
RESTAURANT	97	\$ 845.27		\$ 42.26
RESTAURANT	100	\$ 1,043.80		\$ 52.19
GROCERY STORE	100	\$ 2,550.00		\$ 127.50
RESTAURANT	100	\$ 501.50		\$ 25.08
GROCERY STORE	100	\$ 2,550.00		\$ 127.50
PACKAGING	100	\$ 2,550.00		\$ 127.50
GROCERY STORE	100	\$ 2,550.00		\$ 127.50
CONVALESCENT HOSPITAL	110	\$ 2,550.00		\$ 127.50
HEALTH CARE SERVICES	117	\$ 2,550.00		\$ 127.50
NURSING CARE FACILITY	117	\$ 2,039.67		\$ 101.98
CAR DEALERSHIP	120	\$ 2,550.00		\$ 127.50
MACHINE SHOP	121	\$ 2,550.00		\$ 127.50
CATERING SERVICE	125	\$ 110.50		\$ 5.53
GROCERY STORE	138	\$ 2,550.00		\$ 127.50
RETAIL	140	\$ 2,550.00		\$ 127.50
CONVALESCENT HOSPITAL	144	\$ 2,550.00		\$ 127.50
GENERAL ENGINEERING CTR	150	\$ 2,550.00		\$ 127.50
HOTEL	150	\$ 1,073.55		\$ 53.68
CORPORATE OFFICE	172	\$ 42.50		\$ 2.13
NURSING HOME	174	\$ 2,550.00		\$ 127.50
HOTEL	180	\$ 529.55		\$ 26.48
CIRCUIT MFG	185	\$ 2,550.00		\$ 127.50
FOOD MFG	189	\$ 2,550.00		\$ 127.50
RETAIL	190	\$ 2,550.00		\$ 127.50
GENERAL CONTRACTOR	200	\$ 2,550.00		\$ 127.50
CONVALESCENT HOSPITAL	203	\$ 2,550.00		\$ 127.50
RETAIL	207	\$ 2,550.00		\$ 127.50
MEDICAL OFFICES	215	\$ 2,550.00		\$ 127.50
PLASTIC GIFT MFG	224	\$ 2,550.00		\$ 127.50
POLYMER COMPONENTS MFG	226	\$ 2,550.00		\$ 127.50
RETAIL	272	\$ 2,550.00		\$ 127.50
MEDICAL DEVICE MFG	310	\$ 1,785.00		\$ 89.25
RETAIL	323	\$ 2,550.00		\$ 127.50
AIRCRAFT INTERIOR MFG	350	\$ 2,550.00		\$ 127.50
AEROSPACE MFG	409	\$ 2,550.00		\$ 127.50
HOTEL	424	\$ 2,550.00		\$ 127.50
HOSPITAL	516	\$ 2,550.00		\$ 127.50
AIRCRAFT FASTENER MFG	625	\$ 2,550.00		\$ 127.50
HOTEL	700	\$ 2,550.00		\$ 127.50
BUSINESS LICENSE TAXES ARE ASSESSED ANNUALLY AND RANGE FROM A BASE TAX OF \$42.50 TO A CAP OF \$2550.00				