

Site Summary :

Minimum Lot Size
: 43' x 79.7' = 3,427 sq.ft.

Total Units : 13
P-1 : 5 (2,524 sq.ft.)
P-2 : 8 (2,807 sq.ft.)

Gross Site Area : ± 1.78 Acres
Gross Density : ± 7.3 DU/Acre

*Net Lot Area : ± 1.30 Acres
Net Density : ± 10 DU/Acre
*(Gross Area minus Private Streets)

Parking Required :
9.12.040.060 Special Requirements
Small Lot Subdivision Dwellings :
3.75 Spaces/Unit
Total Spaces Required : 49

Parking Provided :
2 Garage Spaces/Unit = 26
1 Driveway Apron Space/Unit = 13
Unassigned Guest Parking Spaces = 12
Total Spaces Provided = 51 (3.92:1)

Common Open Space Required :
200 sq.ft. x 13 = 2,600
Common Open Space Provided :
± 2,864 sq.ft. (220.3 sq.ft./Unit)

Minimum Building Setbacks :
From back of sidewalk :
Living : 10'
Garage : 19'
Porch : 10'

Side :
From Lot Line : 4'
Rear :
From Lot Line : 15' (Lots 1-5)
From Lot Line : 20' (Lots 6-13)
Building Separation : 8' min.

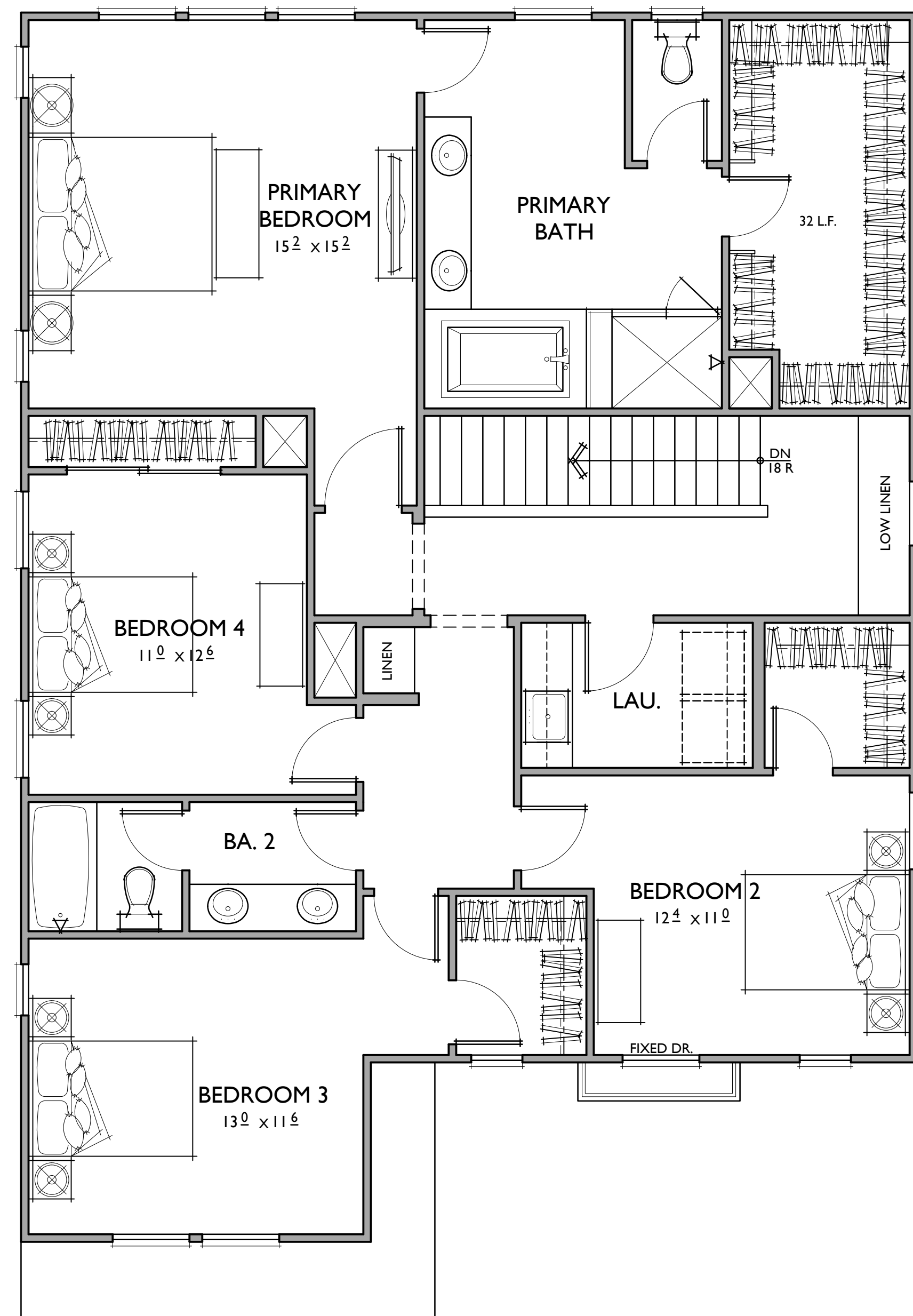




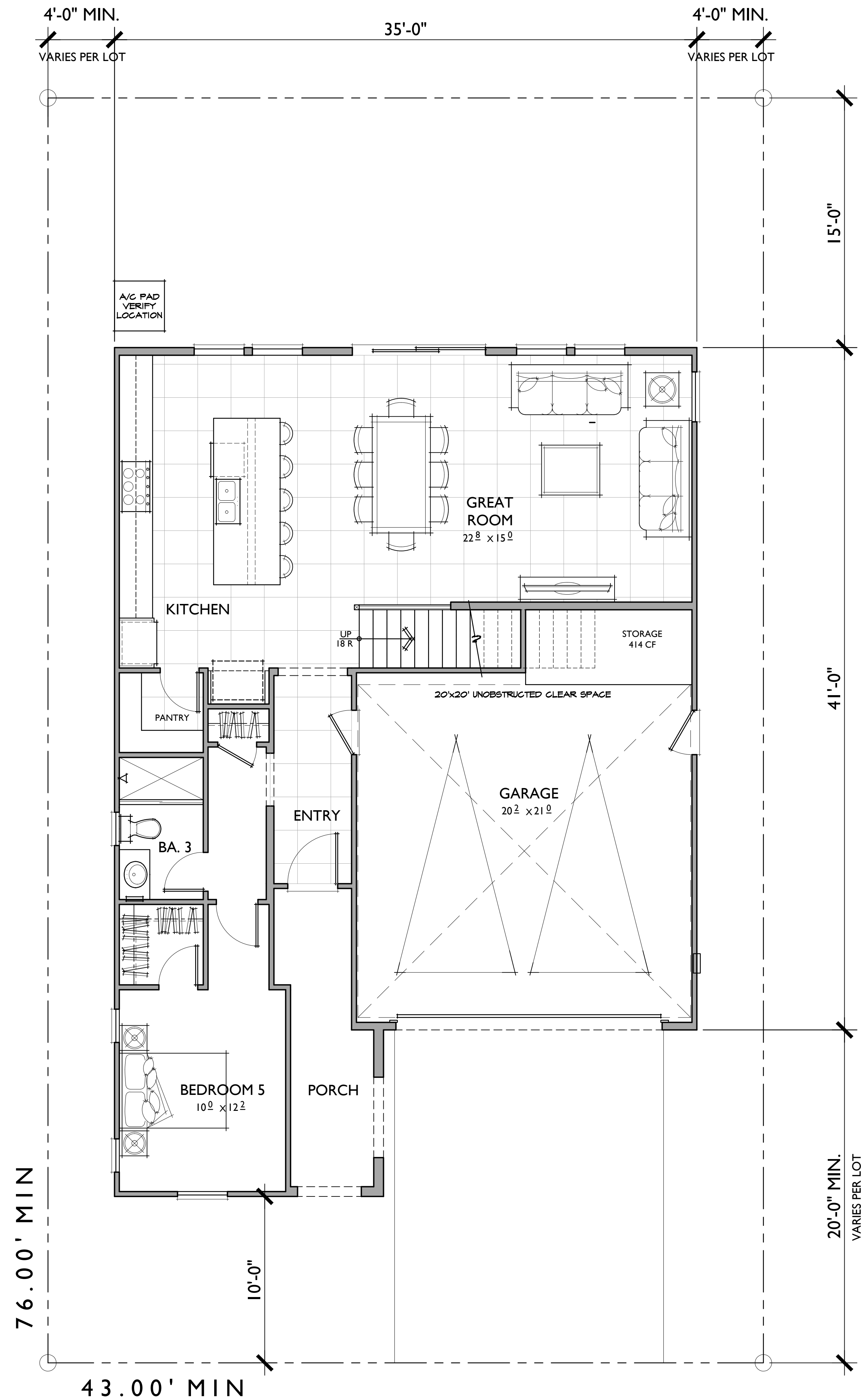
SPANISH



CONTEMPORARY SPANISH



SECOND FLOOR



FIRST FLOOR

PLAN I
 5 BEDROOMS / 3 BATHS
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,040 SQ. FT.
2ND FLOOR	1,484 SQ. FT.
TOTAL LIVING	2,524 SQ. FT.
2 - CAR GARAGE	481 SQ. FT.
PORCH	93 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



REAR

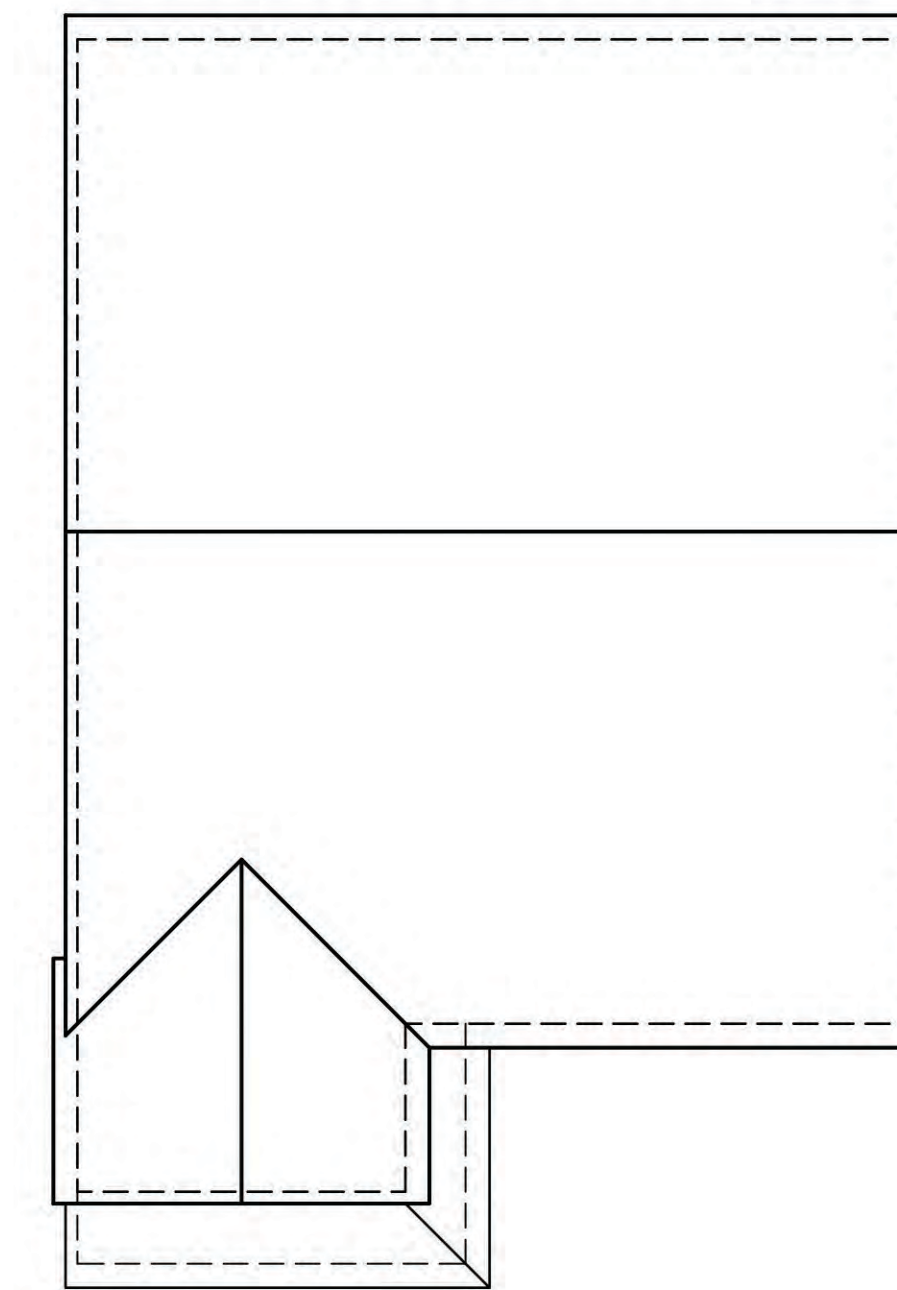


FRONT

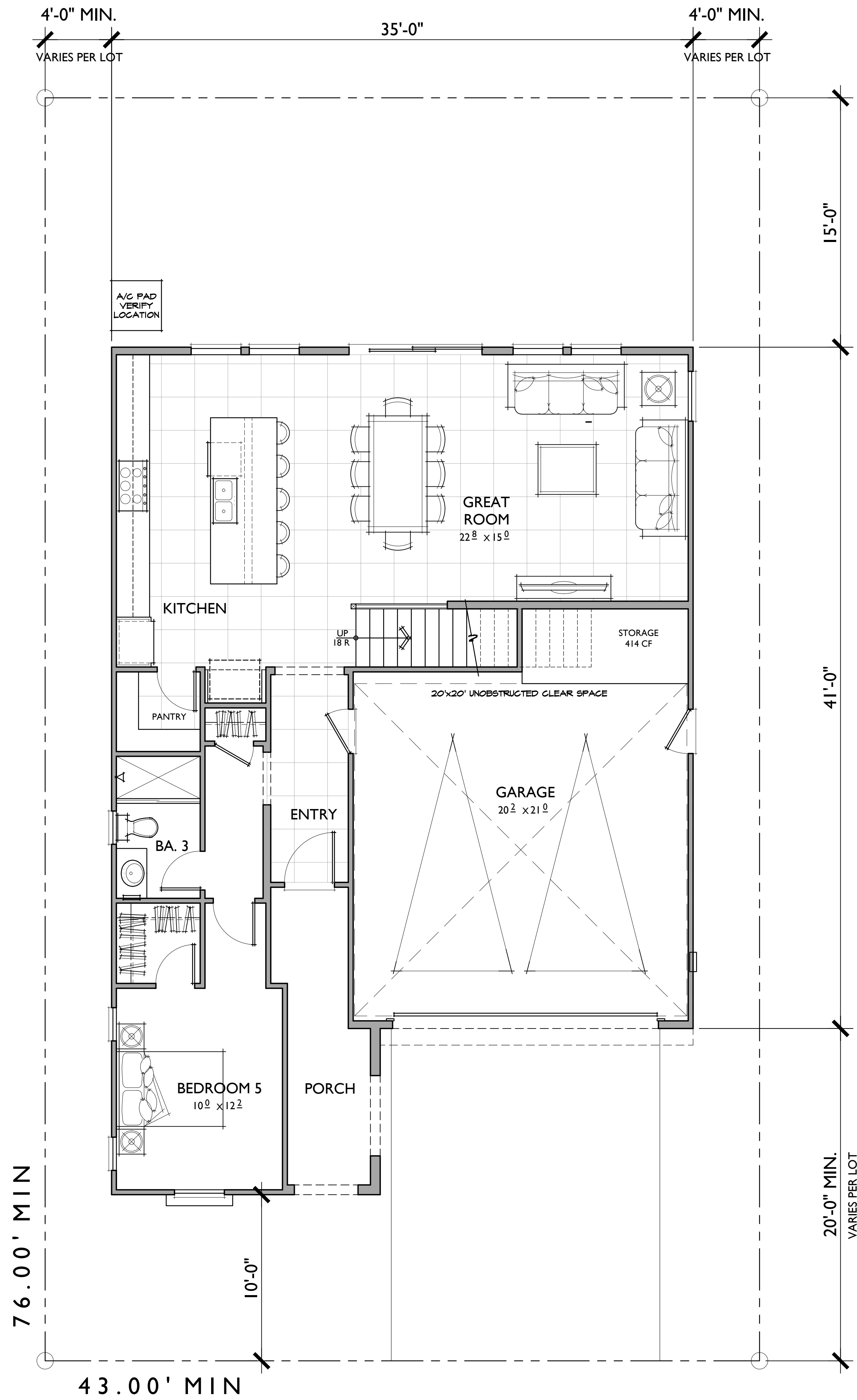
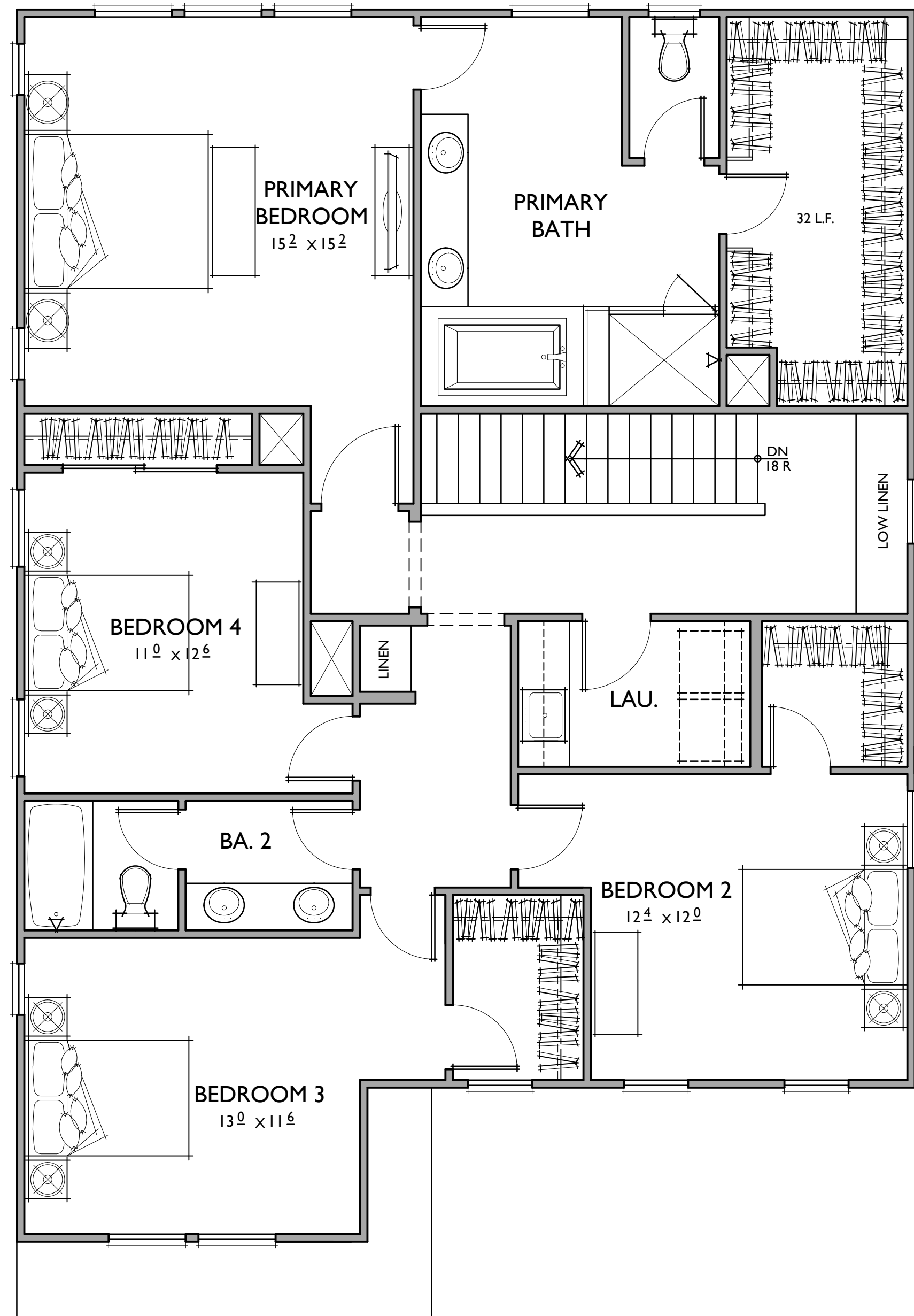
A
1/4"=1'-0"



LEFT



RIGHT



FIRST FLOOR

PLAN I

5 BEDROOMS / 3 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	1,040 SQ. FT.
2ND FLOOR	1,506 SQ. FT.
TOTAL LIVING	2,546 SQ. FT.
2 - CAR GARAGE	481 SQ. FT.
PORCH	93 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



REAR

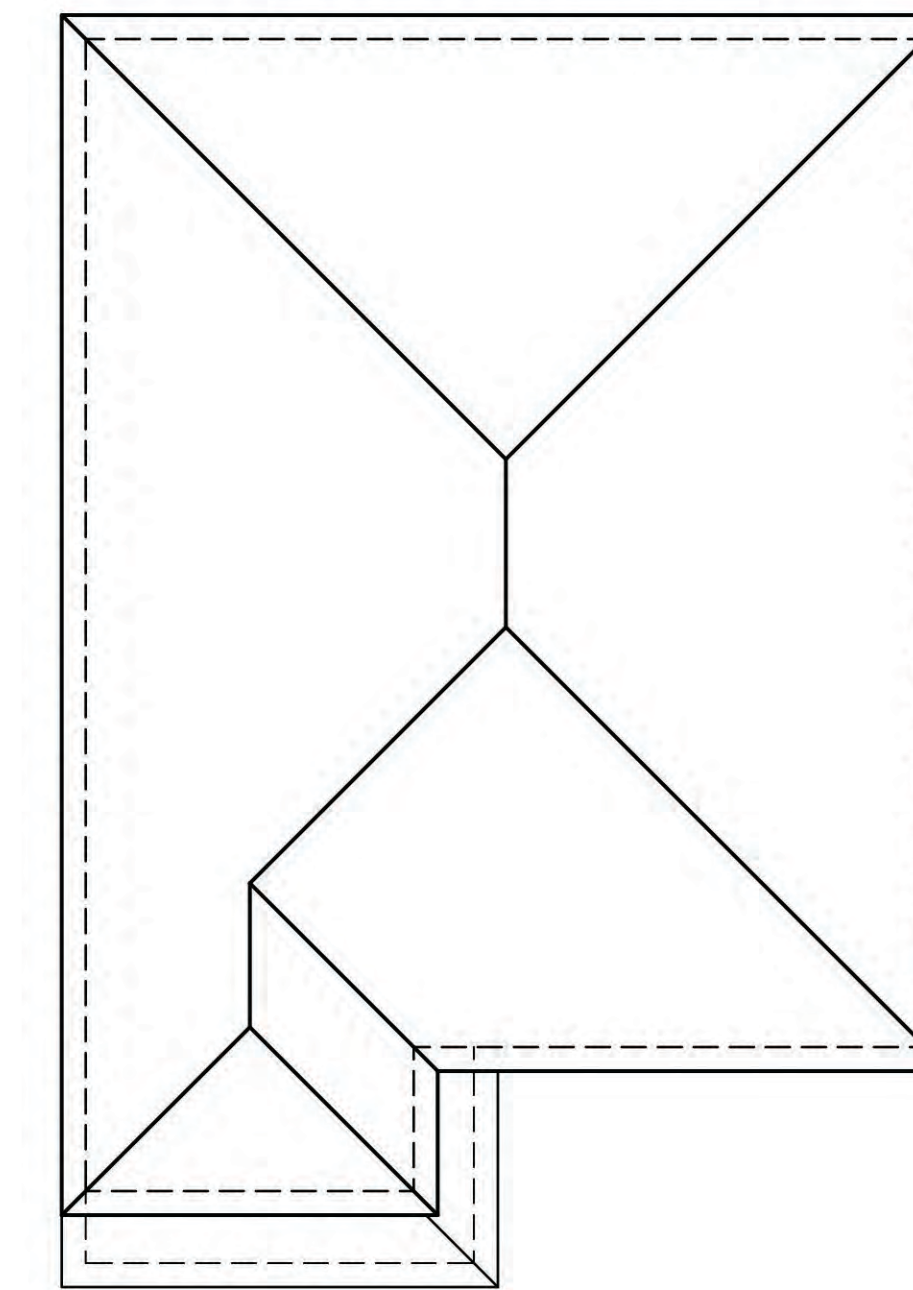


FRONT

B
1/4"=1'-0"



LEFT



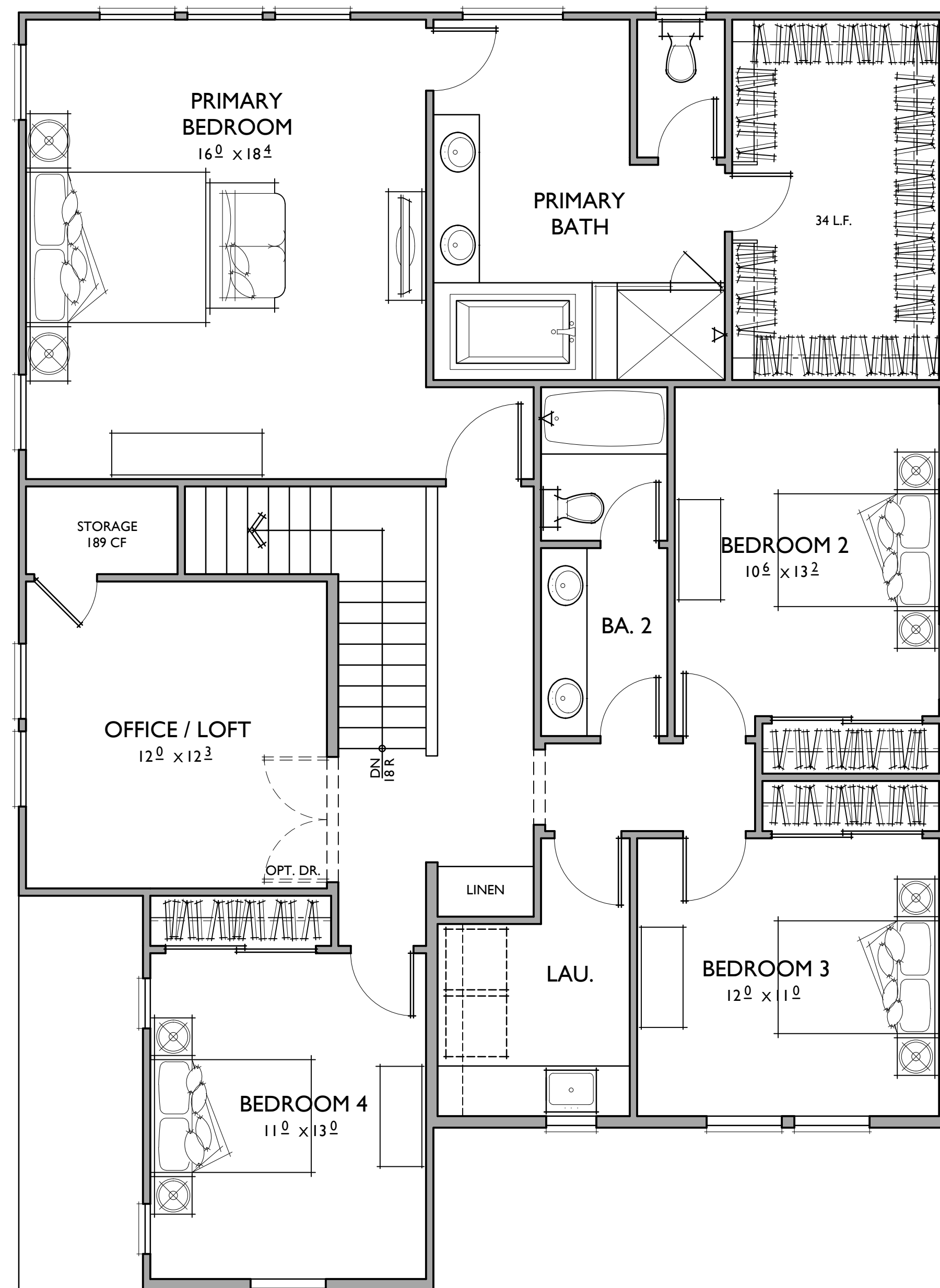
RIGHT



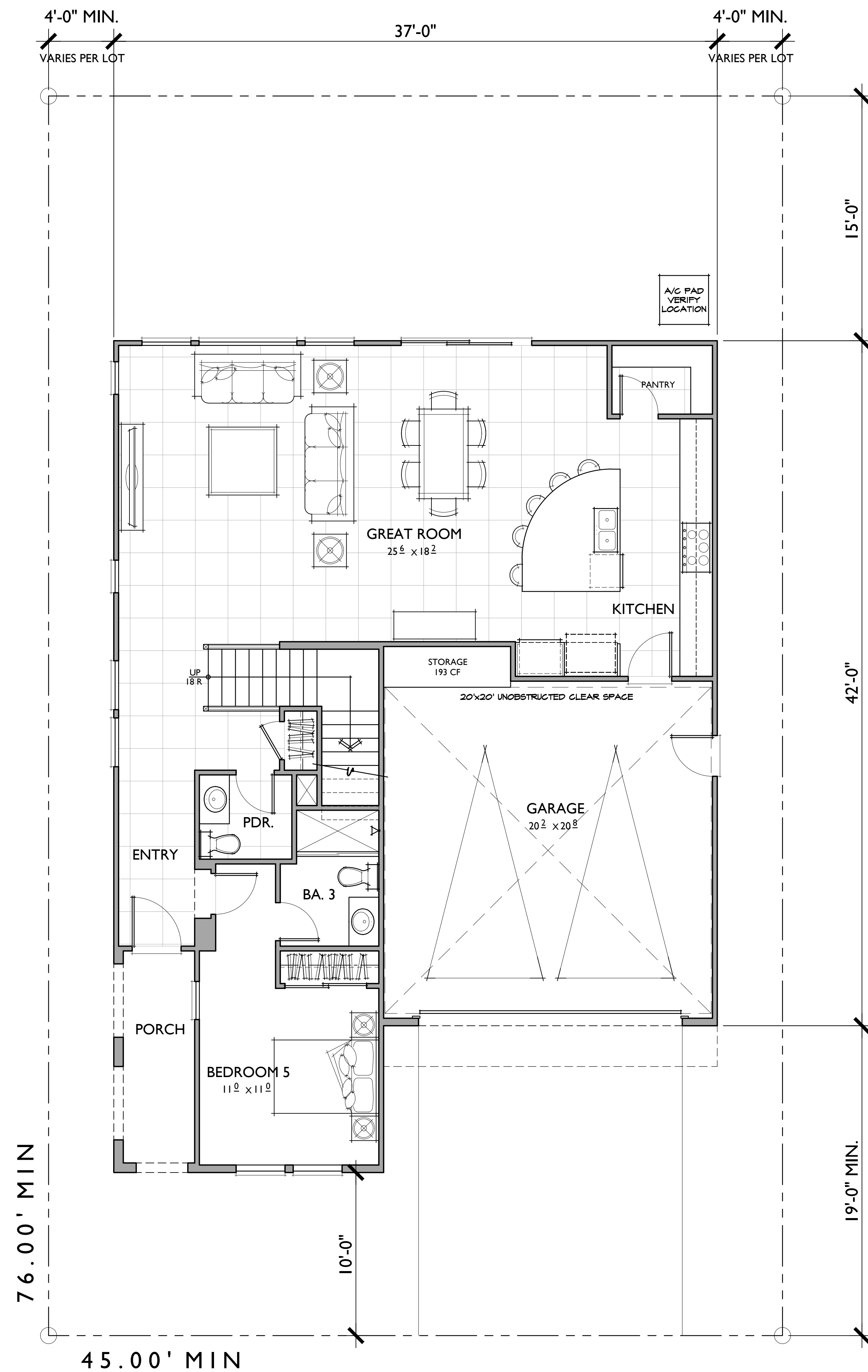
SPANISH



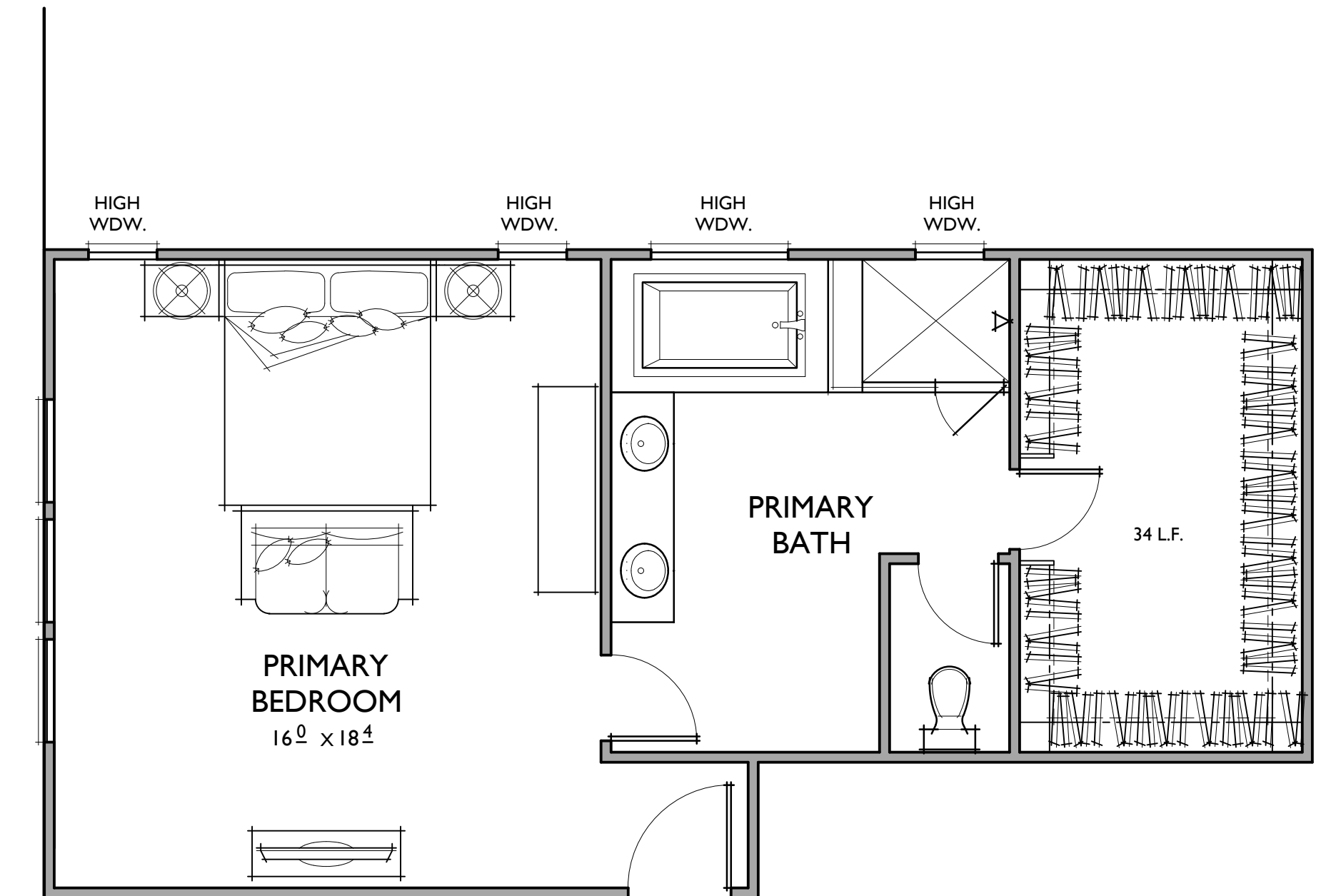
CONTEMPORARY SPANISH



SECOND FLOOR



FIRST FLOOR



ALTERNATE PRIMARY BEDROOM

Alternate for lots 6-9

PLAN 2

5 BEDROOMS / 3.5 BATHS + OFFICE
2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	1,187 SQ. FT.
2ND FLOOR	1,620 SQ. FT.
TOTAL LIVING	2,807 SQ. FT.
2 - CAR GARAGE	449 SQ. FT.
PORCH	67 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



REAR



FRONT

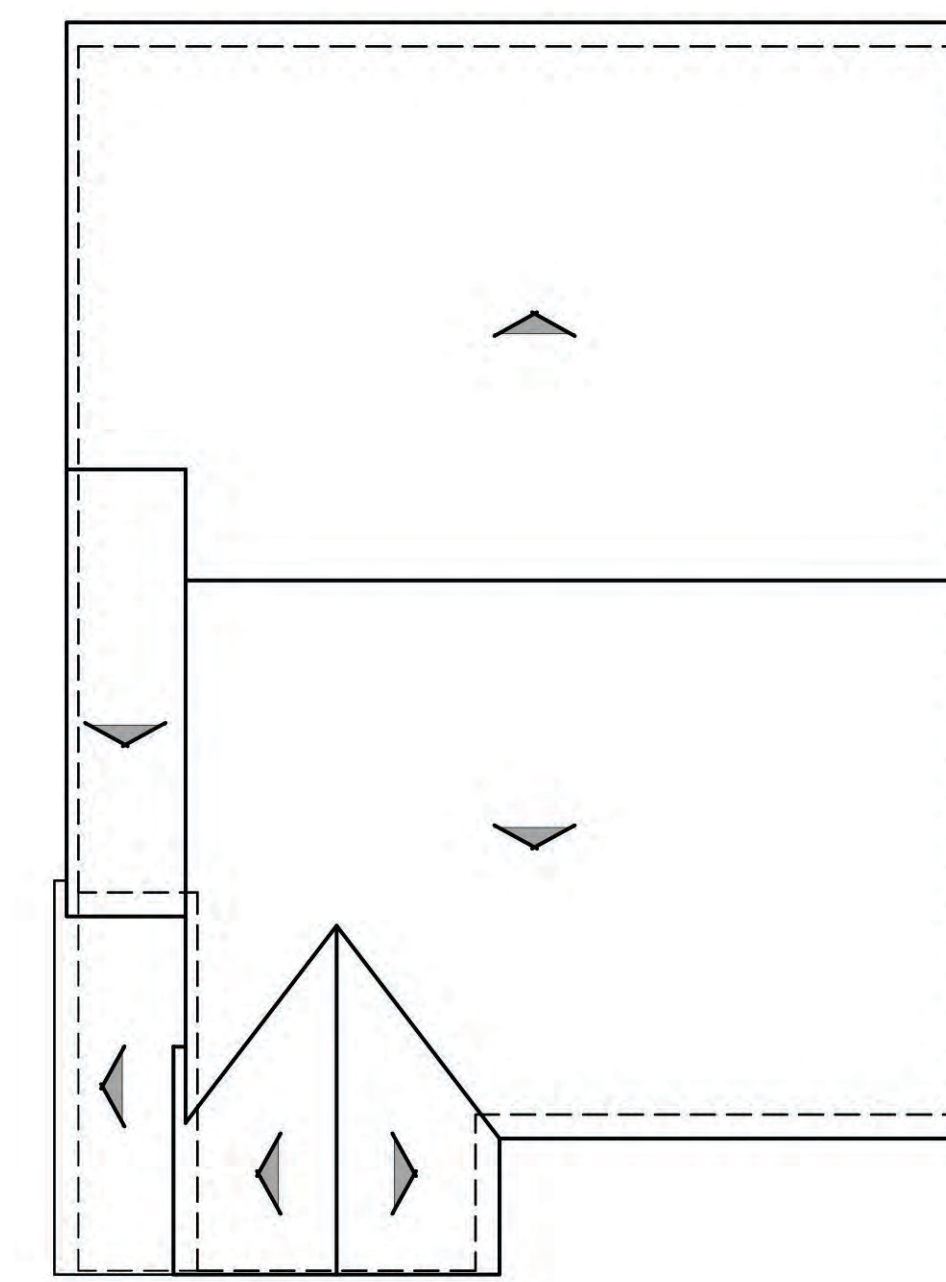
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1/4"=1'-0"



LEFT



RIGHT

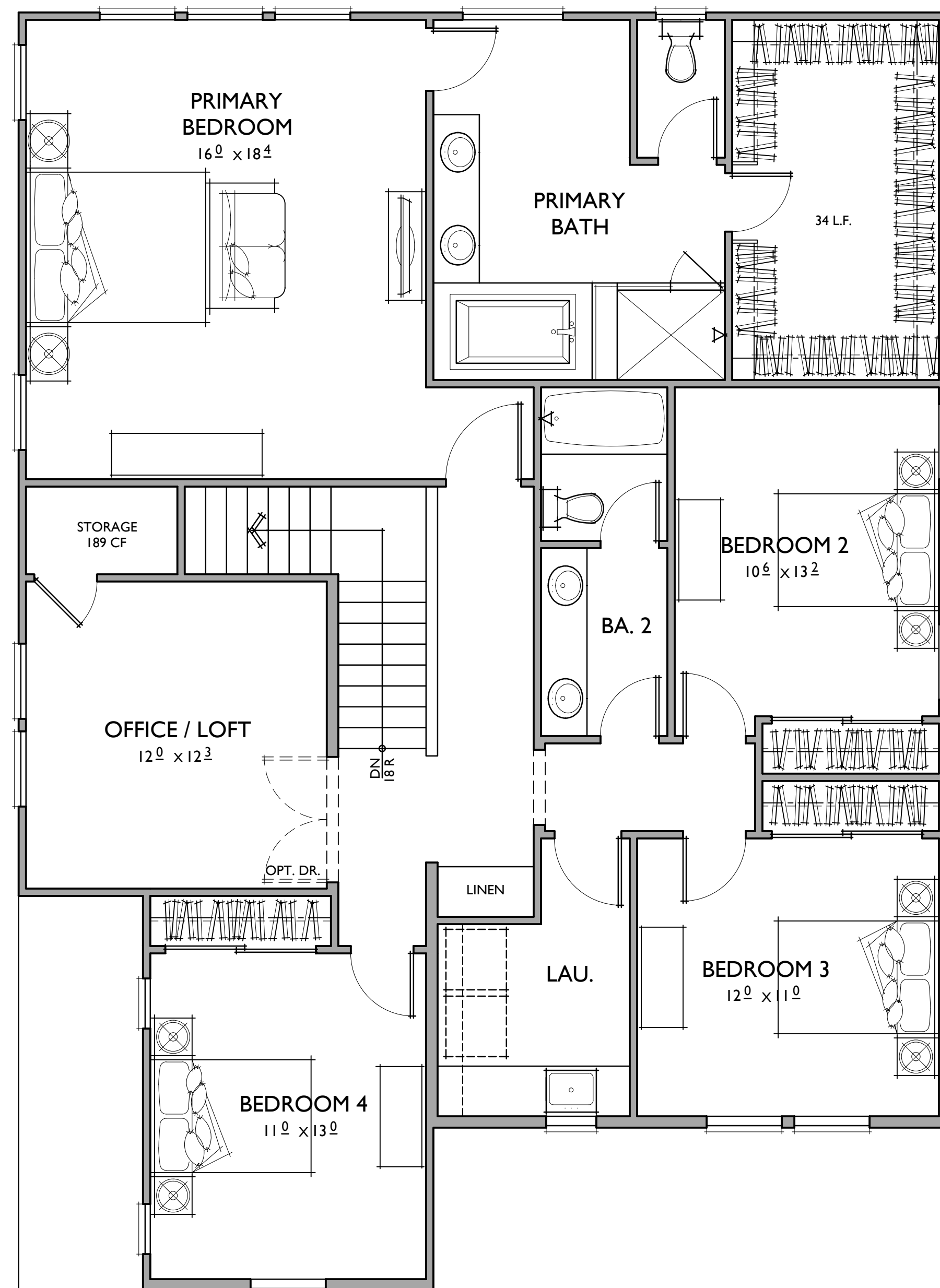


ROOF PLAN

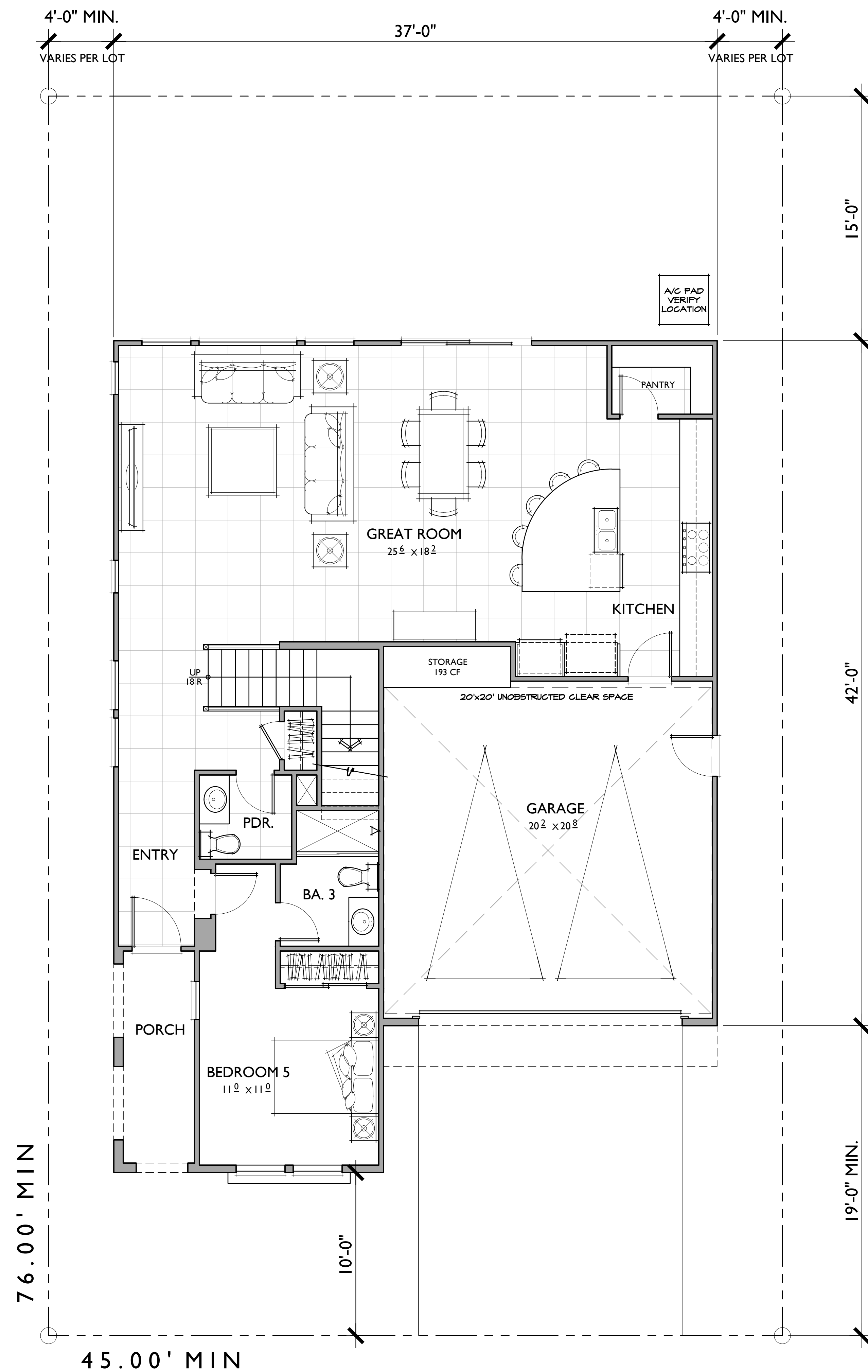
A

PITCH: 4:12
RAKE: 6"
EAVE: 12"
ROOF MATERIAL: CONCRETE 'S' TILE

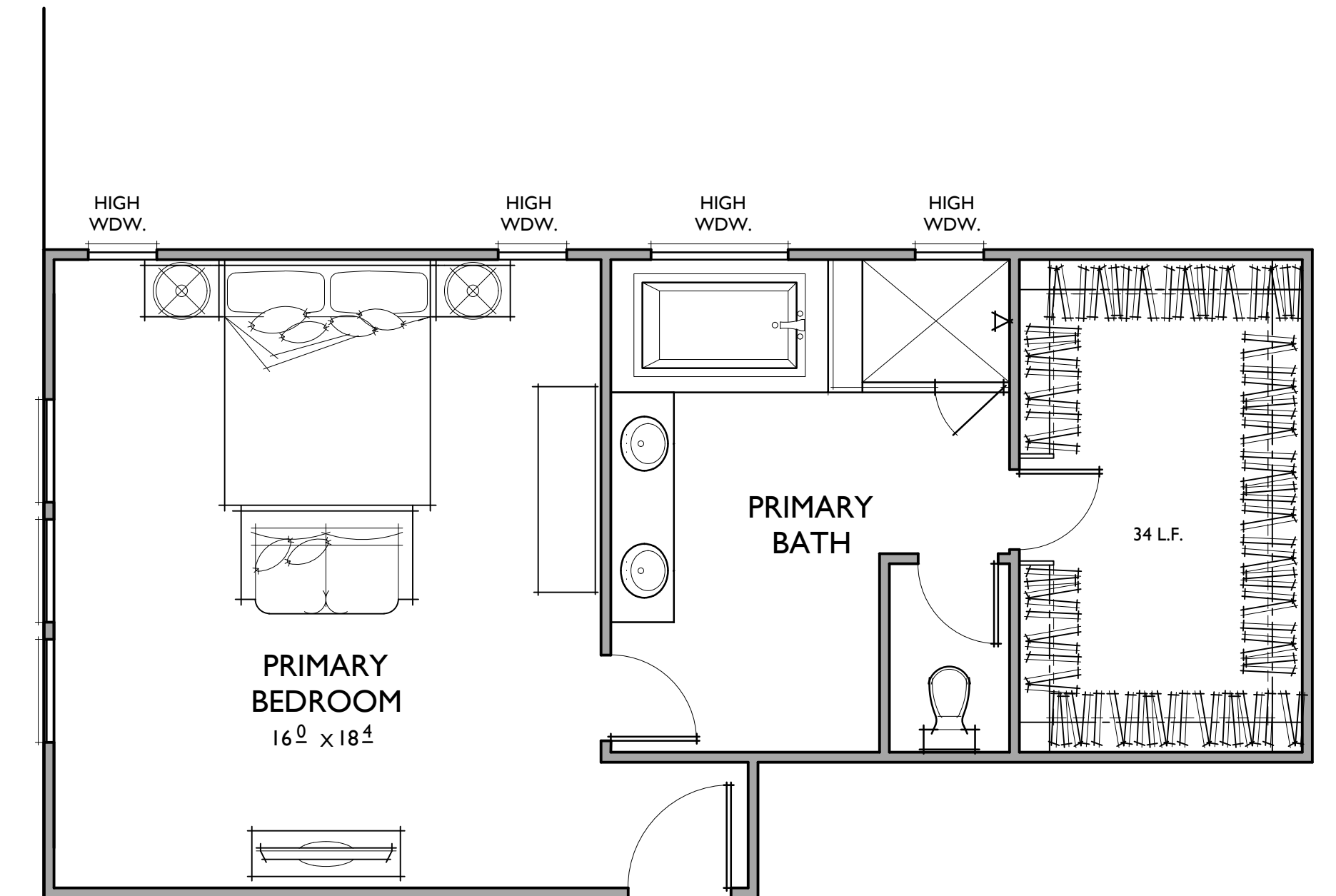




SECOND FLOOR



FIRST FLOOR



ALTERNATE PRIMARY BEDROOM

Alternate for lots 6-9

PLAN 2

5 BEDROOMS / 3.5 BATHS + OFFICE
2 - CAR GARAGE

FLOOR AREA TABLE

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NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



REAR

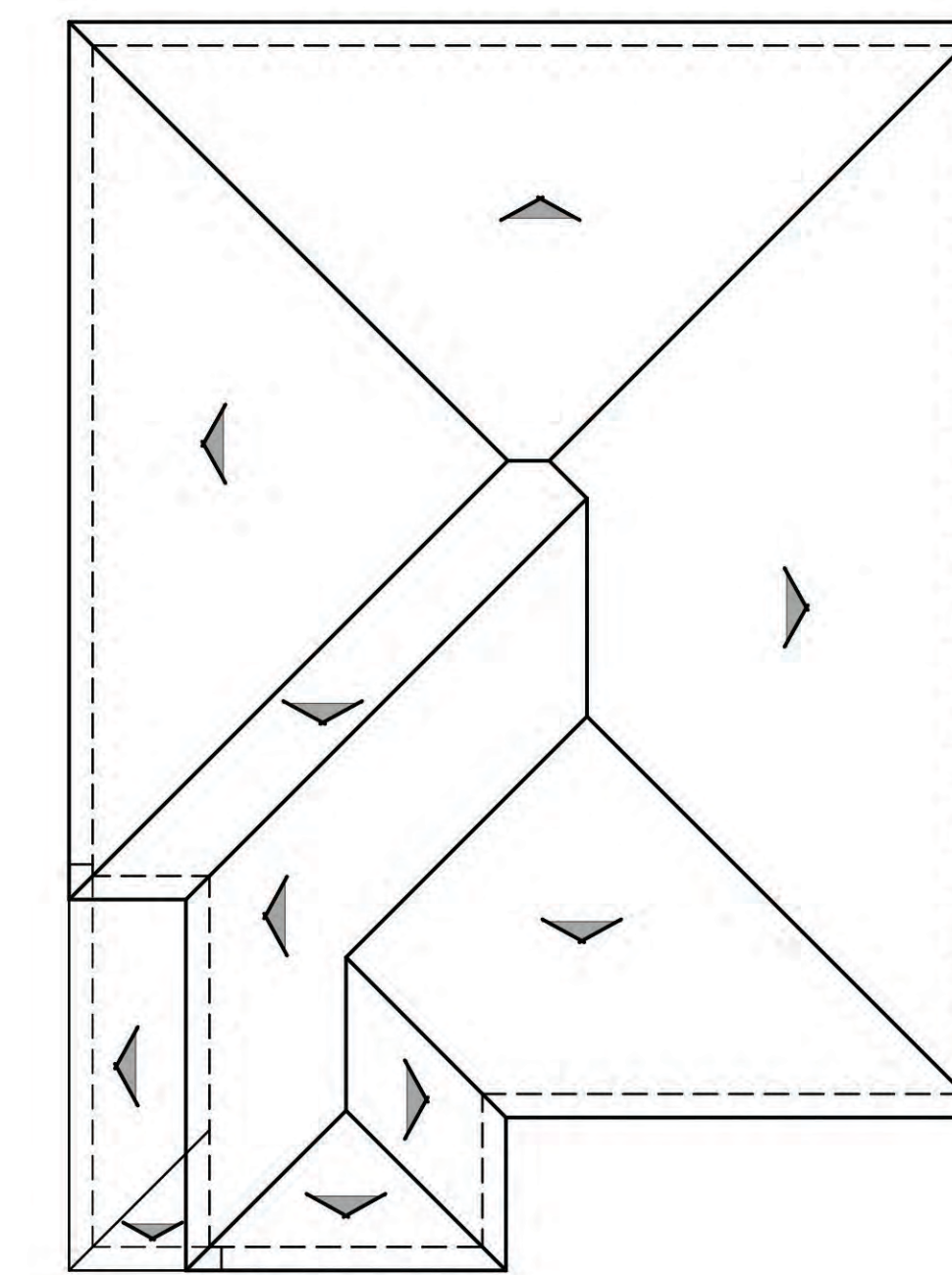


FRONT

B
1/4"=1'-0"



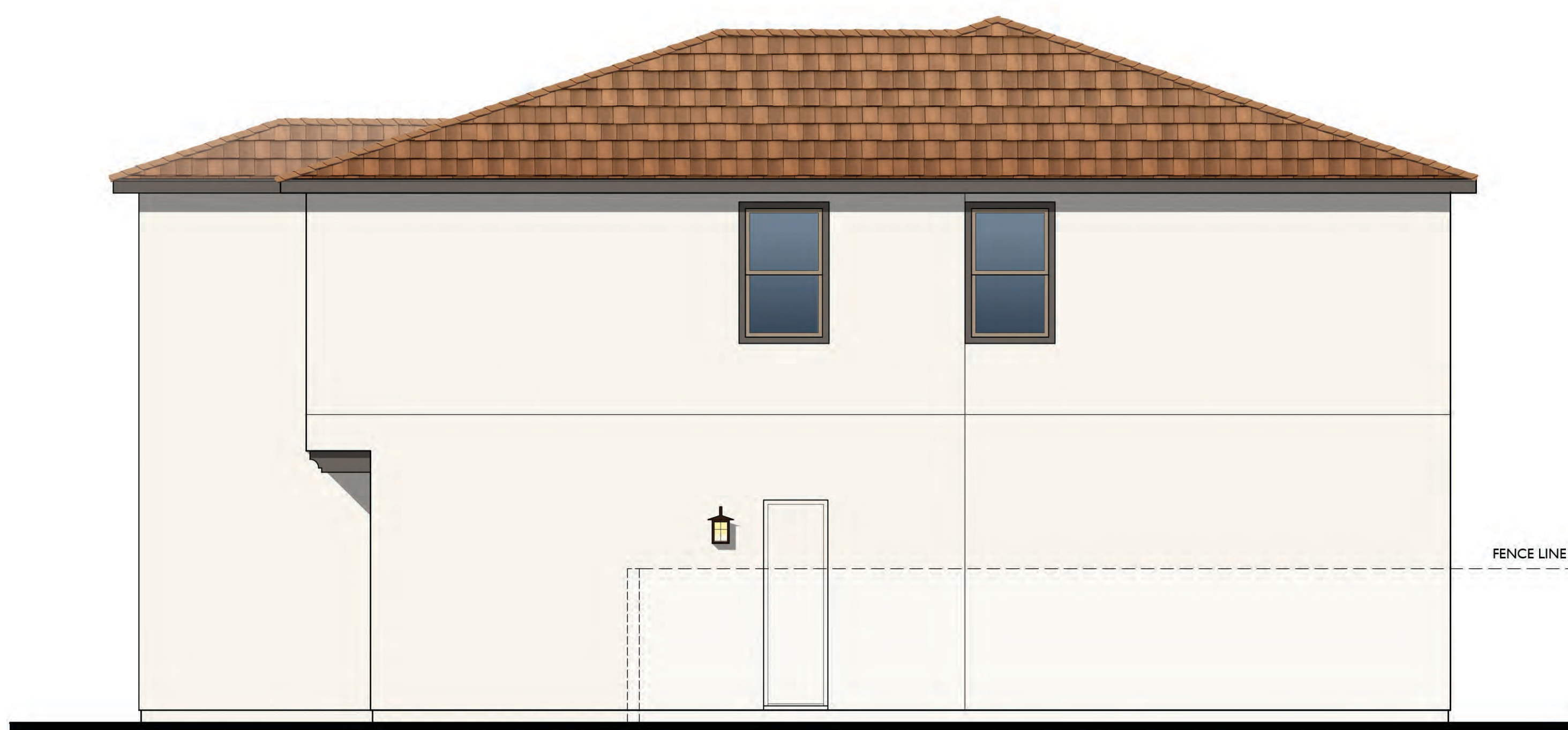
LEFT



ROOF PLAN

B

PITCH: 4:12
RAKE: 12"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE



RIGHT



ENHANCED LEFT ELEVATION

LOTS 1,10 , 13



REAR ELEVATION - ALT. PRIMARY BED

LOTS 6-9



9071 LAMPSON AVE
GARDEN GROVE, CA

DIGITAL COLOR BOARDS
APRIL 7, 2022

JOB #839-22055

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS



9071 LAMPSON AVENUE
GARDEN GROVE, CA
JOB 839-22055
COLOR SELECTION CHART

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS

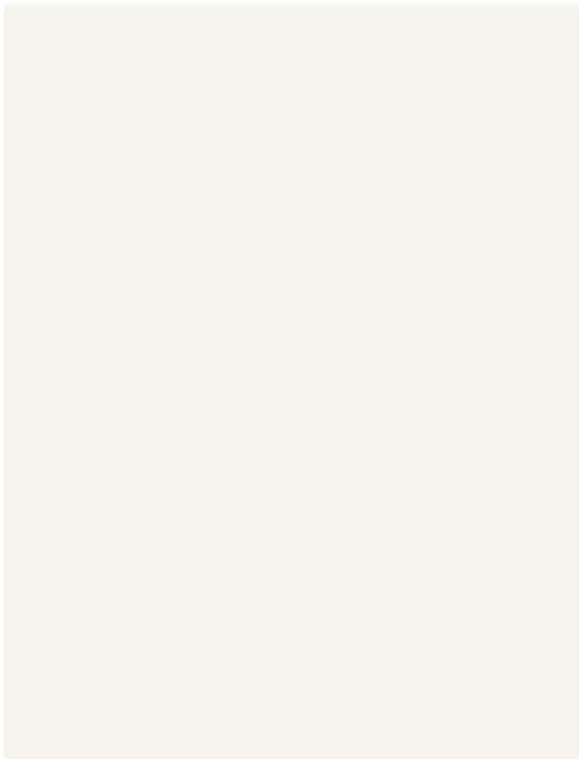
ROOF: EAGLE APRIL 7, 2022
PAINT: SHERWIN WILLIAMS
STUCCO: OMEGA

	SCHEME 1	SCHEME 2	SCHEME 3
FASCIA, EAVES, TRIM, HEADER, GARAGE DOOR, GABEL SIDING	SW 7505 MANOR HOUSE	SW 9090 CARAIBE	SW 7510 CHATEAU BROWN
SHUTTERS & ENTRY DOOR	SW 9141 WATERLOO	SW 6187 ROSEMARY	SW 7074 SOFTWARE
STUCCO	¼ 12 (SW 7566)	12 (SW 6119)	¾ A822 (SW 7637)
WINDOW FRAME	TAN	TAN	TAN
ROOF	3645	3680	3636

SCHEME 1



'S' ROOF - EAGLE 3645



BASE STUCCO
OMEGA 1/4 12



FASCIA, EAVES, HEADERS, BEAMS, KICKERS,
SIDE & GARAGE DOORS
SW 7505 MANOR HOUSE

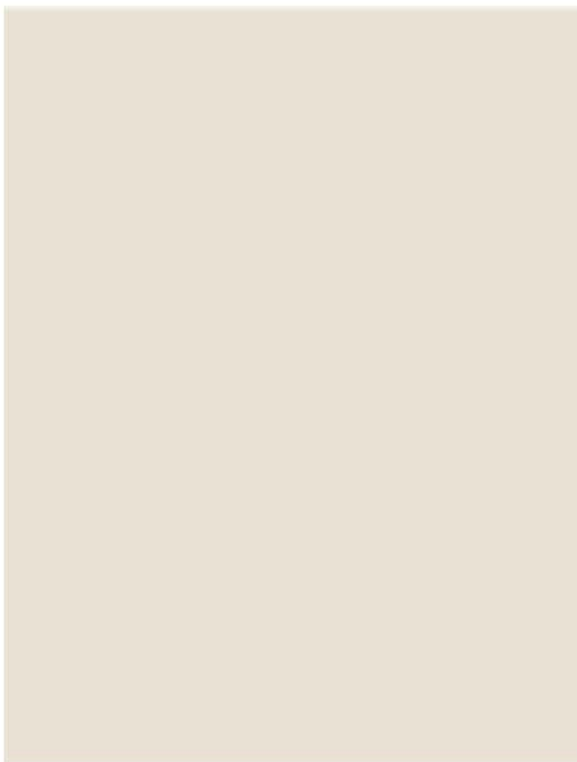


SHUTTERS & ENTRY DOOR
SW 9141 WATERLOO

SCHEME 2



'S' ROOF - EAGLE 3680



BASE STUCCO
OMEGA 12



FASCIA, EAVES, HEADERS, BEAMS, KICKERS,
SIDE & GARAGE DOORS
SW 9090 CARAIBE

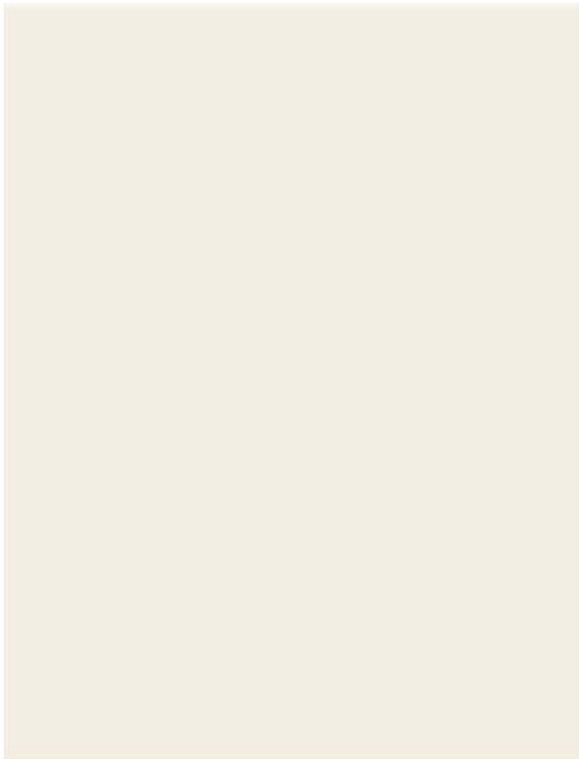


SHUTTERS & ENTRY DOOR
SW 6187 ROSEMARY

SCHEME 3



'S' ROOF - EAGLE 3680



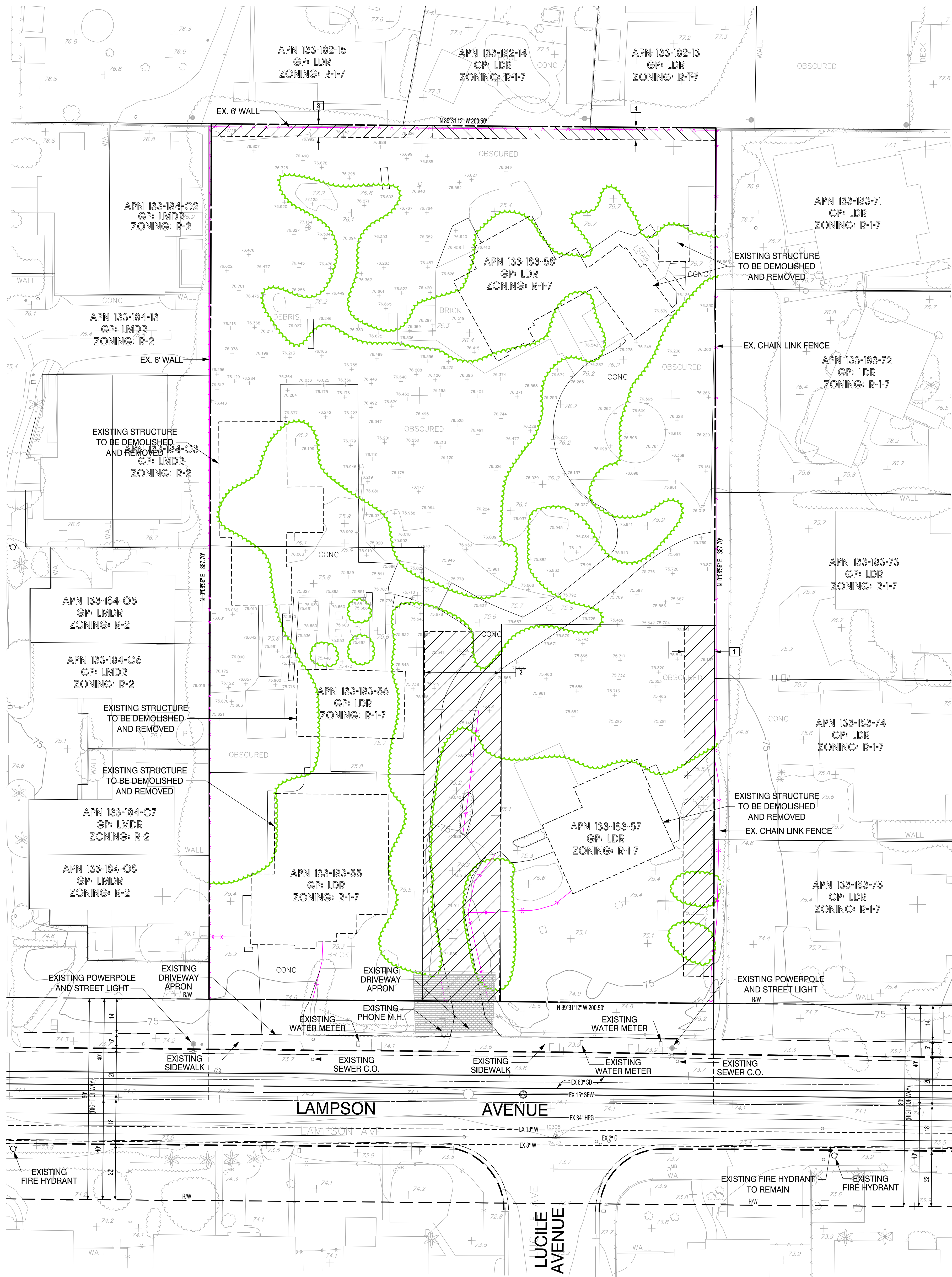
BASE STUCCO
OMEGA 3/4 A 872



FASCIA, EAVES, HEADERS, BEAMS, KICKERS,
SIDE & GARAGE DOORS
SW 7510 CHATEAU BROWN

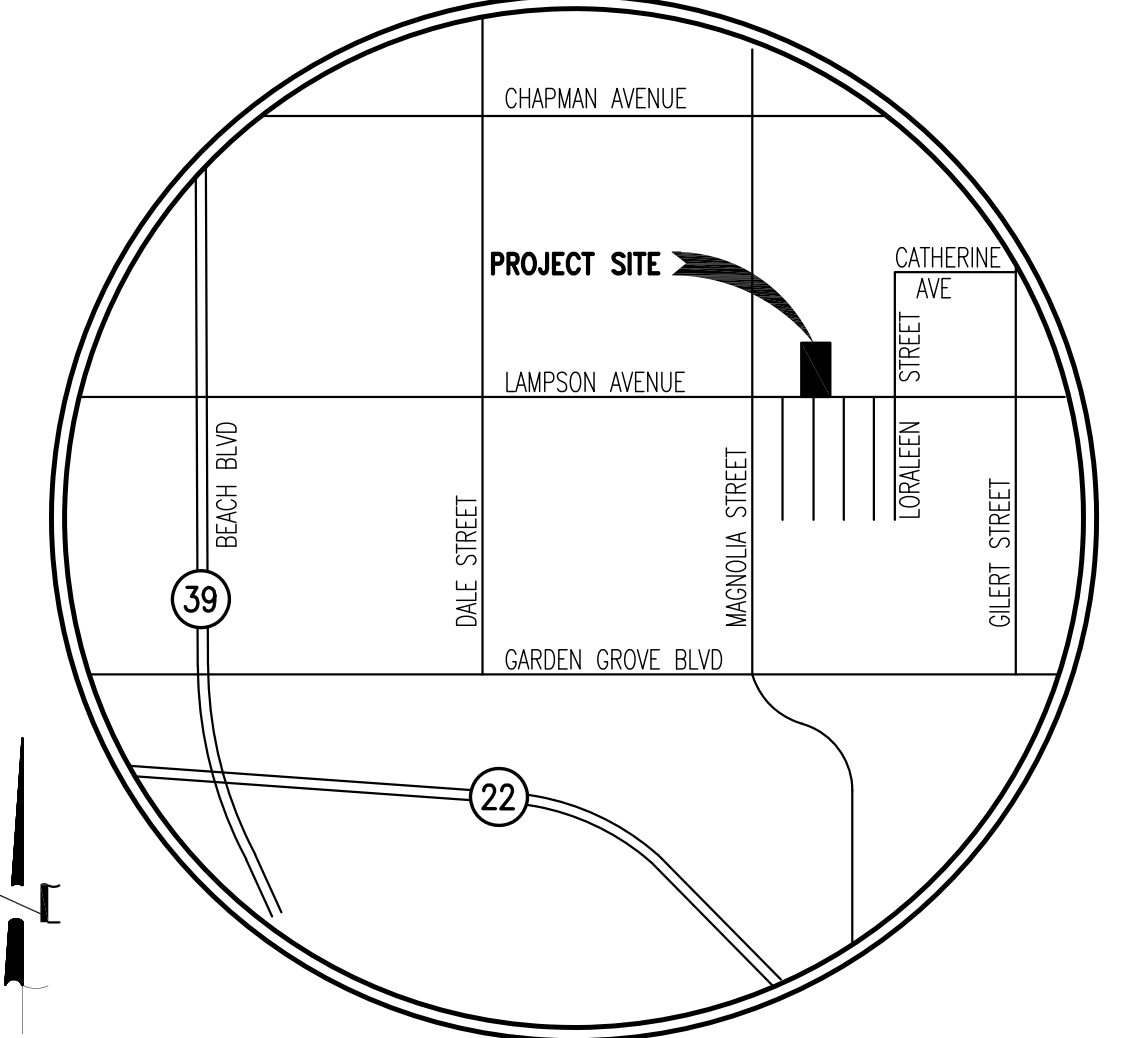


SHUTTERS & ENTRY DOOR
SW 7074 SOFTWARE



LEGEND

- EX. SD — EXISTING STORM DRAIN
- EX. SS — EXISTING SANITARY SEWER
- EX. DW — EXISTING POTABLE WATER
- G — EXISTING GAS LINE
- T — TENTATIVE TRACT BOUNDARY
- C — CHAIN LINK FENCE
- W — 6' WALL
- E — EXISTING UTILITY EASEMENT
- T — EXISTING TREE



VICINITY MAP

N.T.S.
2006 THOMAS BROTHERS
MAP BOOK, PAGES 3, GRID -

ASSESSORS PARCEL NUMBER

133-183-55, APN: 133-183-56, APN: 133-183-57, APN: 133-183-58

EASEMENTS:

- 1 AN EASEMENT FOR SEWER AND WATER LINES OVER THE EASTERLY 12.00 FEET OF PARCEL 4, IN THE CITY OF GARDEN GROVE, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, TO BE ABANDONED.
- 2 AN EASEMENT FOR ACCESS AND UTILITY PURPOSES OVER THE MOST SOUTHERLY 150.00 FEET OF PARCEL 1, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, AND FURTHER SHOWN AS A 30.50-FOOT BY 150.00-FOOT STRIP BY INDORSEMENT OF SAID PARCEL MAP, TO BE ABANDONED.
- 3 AN EXISTING 5.00-FOOT SCE EASEMENT FOR POLE LINES AND CONDUITS, FILED IN BOOK 3129, PAGE 213, OF OFFICIAL RECORDS, TO BE PROTECTED IN PLACE.
- 4 AN EXISTING 5.00-FOOT SCE EASEMENT FOR POLE LINES AND CONDUITS, FILED IN BOOK 3195, PAGE 156, OF OFFICIAL RECORDS, TO BE PROTECTED IN PLACE.

LEGAL DESCRIPTION:

PARCEL A:
PARCEL 1, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

PARCEL B:
PARCEL 2, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

PARCEL C:
PARCEL 3, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

PARCEL D:
PARCEL 4, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

UTILITIES

- | | |
|--|--|
| WATER
CITY OF GARDEN GROVE WATER DEPT.
11391 ACACIA PARKWAY
GARDEN GROVE, CA 92840
(714) 741-5078 | CABLE
TIME WARNER
11935 VALLEY VIEW STREET
GARDEN GROVE, CA 92845
(714) 903-4000 |
| SEWER
CITY OF GARDEN GROVE SANITARY DISTRICT
13802 NEWHOPE STREET
GARDEN GROVE, CA 92843
(714) 741-5395 | TRASH
GARDEN GROVE SANITARY DISTRICT
C/O REPUBLIC SERVICES
1131 NORTH BLUE GUM STREET
ANAHEIM, CA 92806
(800) 700-5610
(714) 238-3300 |
| GAS
SOUTHERN CALIFORNIA GAS COMPANY
713 NORTH MAIN STREET
SANTA ANA, CA 92701
(800) 427-2200 | PHONE
VERIZON
(800) 483-4000 |
| ELECTRIC
SOUTHERN CALIFORNIA EDISON
7333 BOLSA
WESTMINSTER, CA 92683
(800) 655-4555 | |

APPLICANT/DEVELOPER

PLC COMMUNITIES
888 SAN CLEMENTE DRIVE, SUITE 200
NEWPORT BEACH, CA 92660
Tel: (949) 721-8200
ATTN: BILL HOLMAN

OWNER

RAY A BICKNELL AND JO. H. BICKNELL
TRUSTEES OF THE BICKNELL FAMILY TRUST
9071, 9081 AND 9091 LAMPSOM AVENUE
GARDEN GROVE, CA 92841

ENGINEER

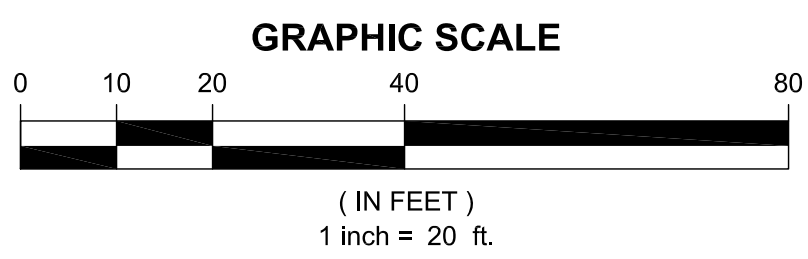
MDS CONSULTING
17320 REDHILL AVENUE, SUITE 350
IRVINE, CA 92614
(949) 251-8821
CONTACT: ED LENTH

DATE:	NO.	REVISIONS

PREPARED FOR:
PLC COMMUNITIES

PREPARED BY:
MDS CONSULTING
MORSE SCHULTZ
PLANNERS ENGINEERS SURVEYORS

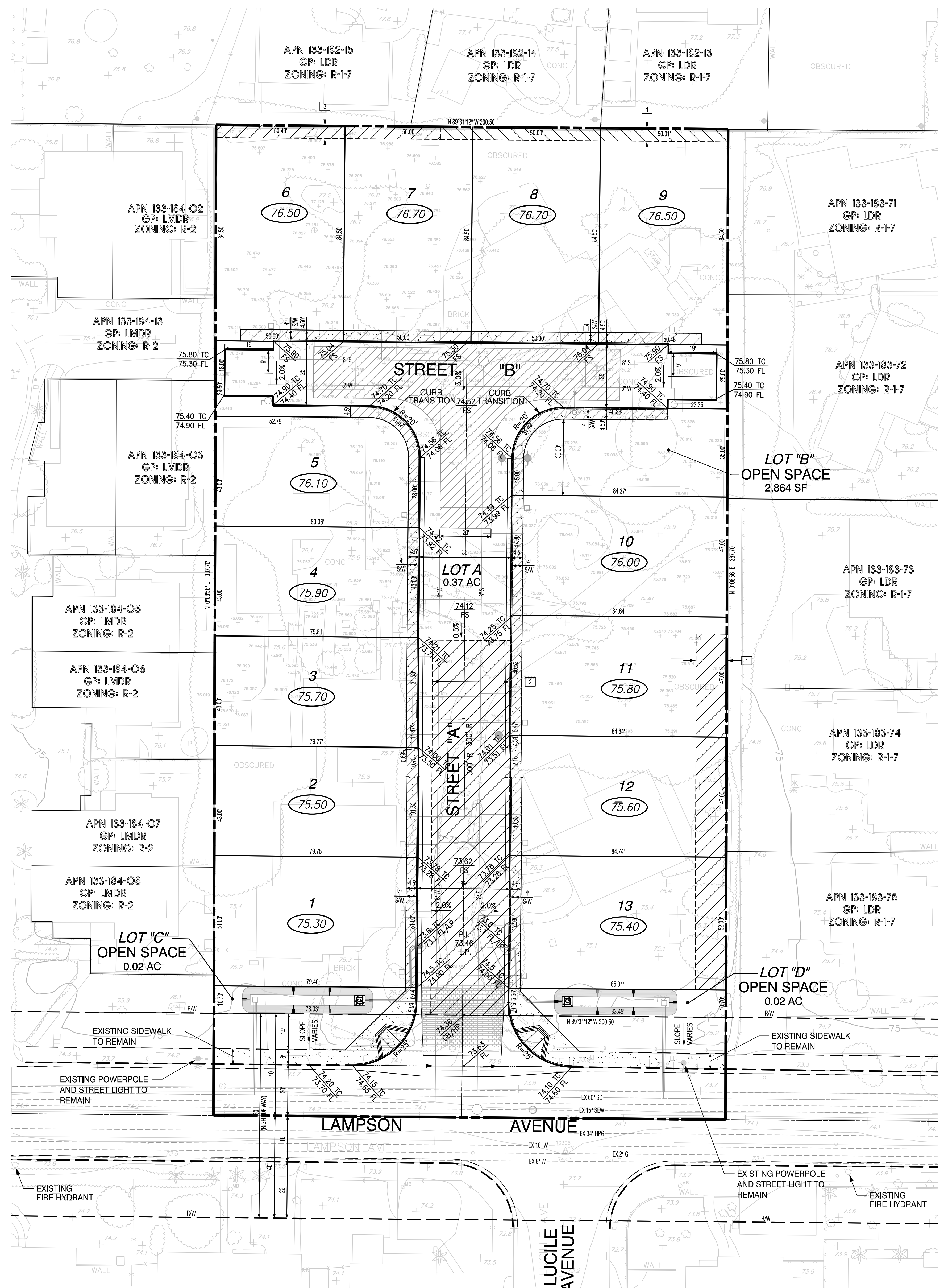
MDS CONSULTING
17320 REDHILL AVENUE, SUITE 350
IRVINE, CA 92614
PHONE: (949) 251-8821
CONTACT: EDWARD J. LENTH



VESTING TENTATIVE TRACT NO. 19232
EXISTING FACILITIES EXHIBIT
CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA
SHEET 1 OF 1

TENTATIVE TRACT NO. 19232 - EXISTING FACILITIES EXHIBIT

MDS File: 13740-PLANNING/Phase/Concept 018
Created: 04/20/2022 05:10:53 PM Author: ...
Last Edit: 04/20/2022 05:11:02 PM By: STATISTOR
Plot Scale: 1" = 20' Plot Scale: 1" = 80'

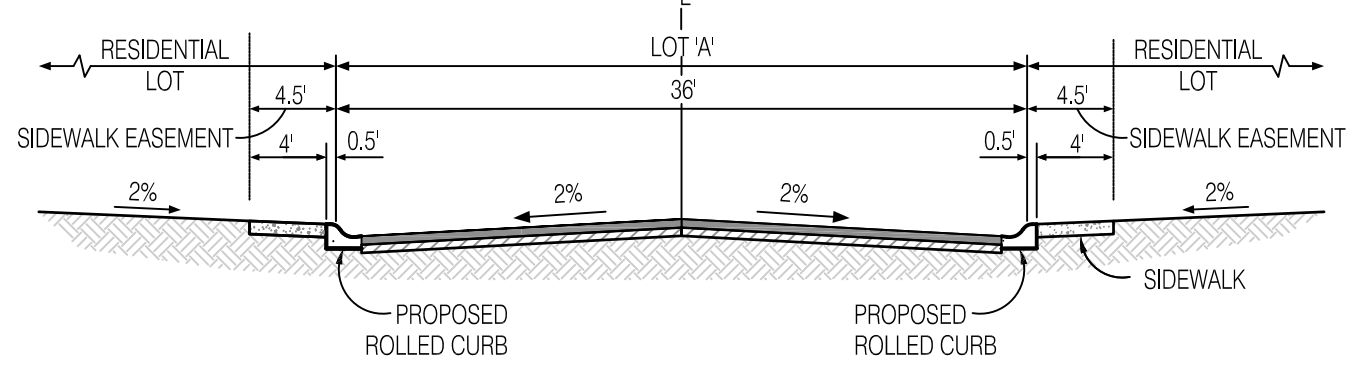
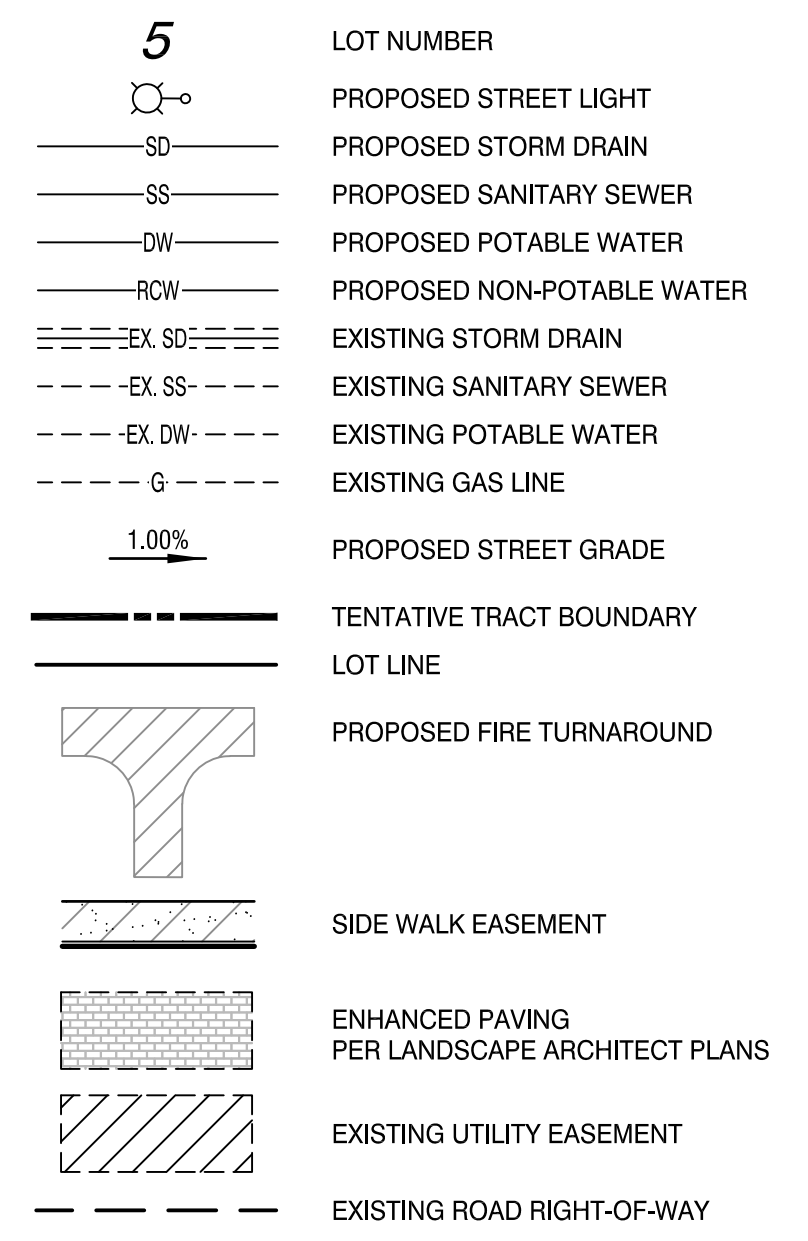


RESIDENTIAL LOT SUMMARY

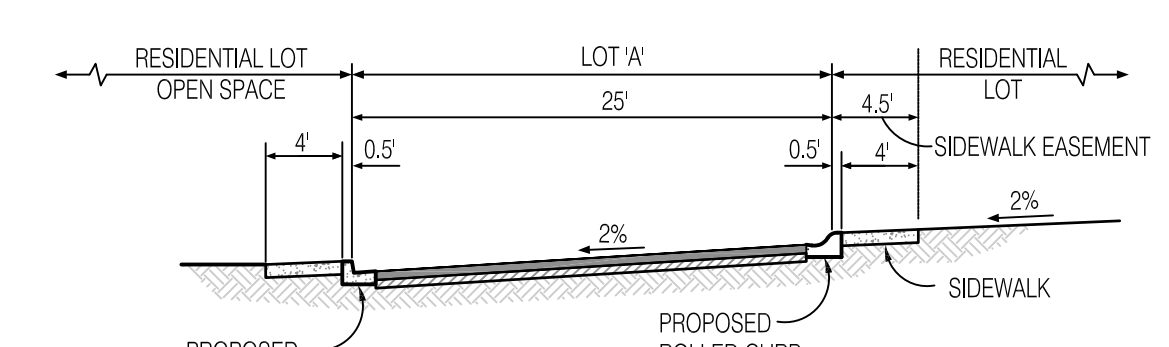
UNIT NO.	LOT AREA (SF)	PAD AREA (SF) *	HOUSE FOOTPRINT (SF)	UNIT WIDTH ROW (LF)	LOT DEPTH (LF)
1	4,060	3,829	1,703	51	79
2	3,434	3,240	1,597	43	79
3	3,427	3,234	1,597	43	80
4	3,437	3,244	1,597	43	80
5	3,499	3,214	1,597	48	80
6	4,245	4,064	1,703	50	84
7	4,225	4,000	1,703	50	84
8	4,225	4,000	1,703	50	84
9	4,247	4,066	1,703	50	84
10	3,972	3,760	1,703	47	83
11	3,984	3,773	1,703	47	84
12	3,979	3,767	1,597	47	84
13	4,414	4,177	1,703	52	84

NOTE: * EXCLUDES SIDEWALK

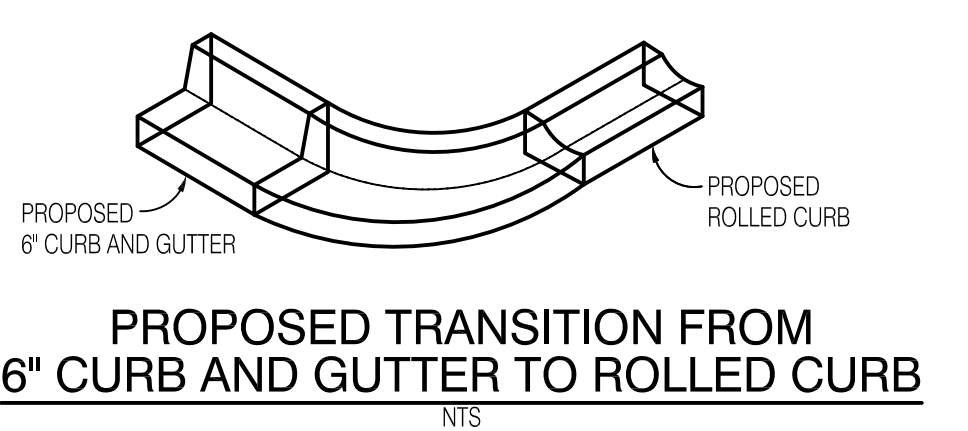
LEGEND



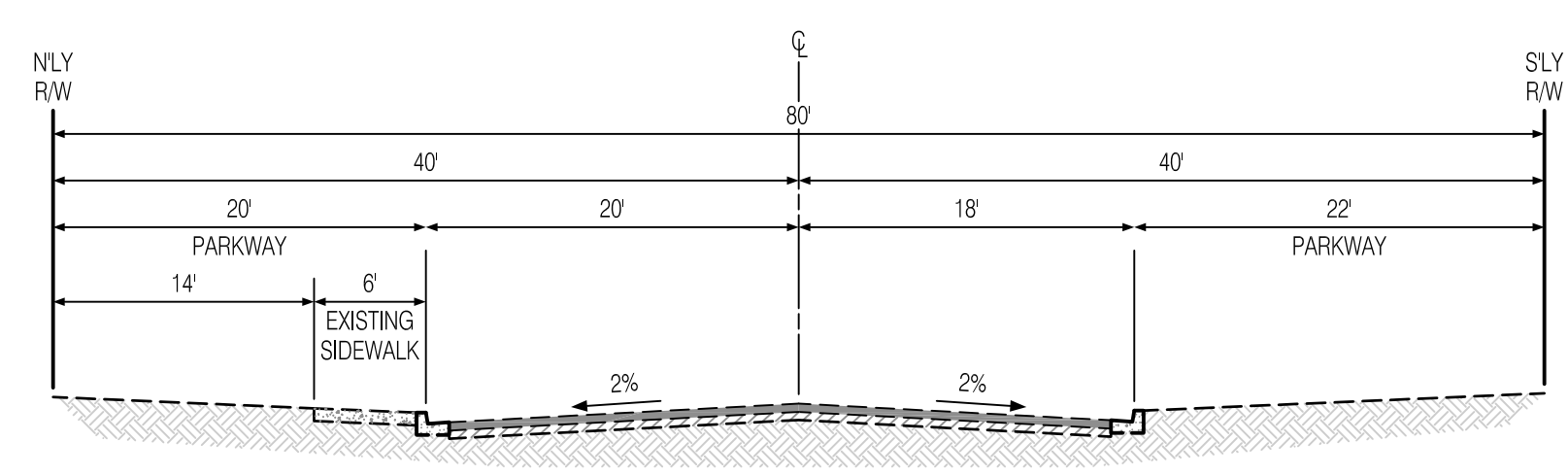
PROPOSED STREET "A" (PRIVATE)
SCALE: 1" = 10'



PROPOSED STREET "B" (PRIVATE)
SCALE: 1" = 10'



PROPOSED TRANSITION FROM 6" CURB AND GUTTER TO ROLLED CURB
N.T.S.



EXISTING LAMPSON AVENUE (PUBLIC)
SCALE: 1" = 10'

UTILITIES

WATER
CITY OF GARDEN GROVE WATER DEPT.
11391 ACACIA PARKWAY
GARDEN GROVE, CA 92640
(714) 741-5078

SEWER
CITY OF GARDEN GROVE SANITARY DISTRICT
13902 NEWHOPE STREET
GARDEN GROVE, CA 92643
(714) 741-5395

GAS
SOUTHERN CALIFORNIA GAS COMPANY
713 NORTH MAIN STREET
SANTA ANA, CA 92701
(800) 427-2200

ELECTRIC
SOUTHERN CALIFORNIA EDISON
7333 BOLSA
WESTMINSTER, CA 92683
(800) 655-4555

CABLE
TIME WARNER
11935 VALLEY VIEW STREET
GARDEN GROVE, CA 92645
(714) 903-4000

TRASH
GARDEN GROVE SANITARY DISTRICT
C/O REPUBLIC SERVICES
1131 NORTH BLUE GUM STREET
ANAHEIM, CA 92806
(800) 700-8610
(714) 238-3300

PHONE
VERIZON
(800) 483-4000

BENCHMARK

FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "IG-135-69" SET IN THE TOP OF A 6" BY 6" CONCRETE POST. MONUMENT IS LOCATED IN THE NORTHEASTLY CORNER OF THE INTERSECTION OF MAGNOLIA STREET AND LAMPSON AVENUE, 66.00' EASTERLY OF THE CENTERLINE OF MAGNOLIA AND 35.0' NORTHERLY OF THE CENTERLINE OF LAMPSON. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING OF BETWEEN O.C.S. HORIZONTAL CONTROL STATION G.P.S. NO. 3502 AND STATION G.P.S. NO. 3501R1 BEING N02°22'11"E PER RECORDS OF FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

ASSESSORS PARCEL NUMBER

133-183-55; APN: 133-183-56; APN: 133-183-57; APN: 133-183-58

EASEMENTS:

- AN EASEMENT FOR SEWER AND WATER LINES OVER THE EASTERLY 12.00 FEET OF PARCEL 4, IN THE CITY OF GARDEN GROVE, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, TO BE ABANDONED.
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- AN EXISTING 5.00-FOOT SCE EASEMENT FOR POLE LINES AND CONDUITS, FILED IN BOOK 3129, PAGE 213, OF OFFICIAL RECORDS, TO BE REMOVED.
- AN EXISTING 5.00-FOOT SCE EASEMENT FOR POLE LINES AND CONDUITS, FILED IN BOOK 3156, PAGE 156, OF OFFICIAL RECORDS, TO BE REMOVED.

APPLICANT/DEVELOPER

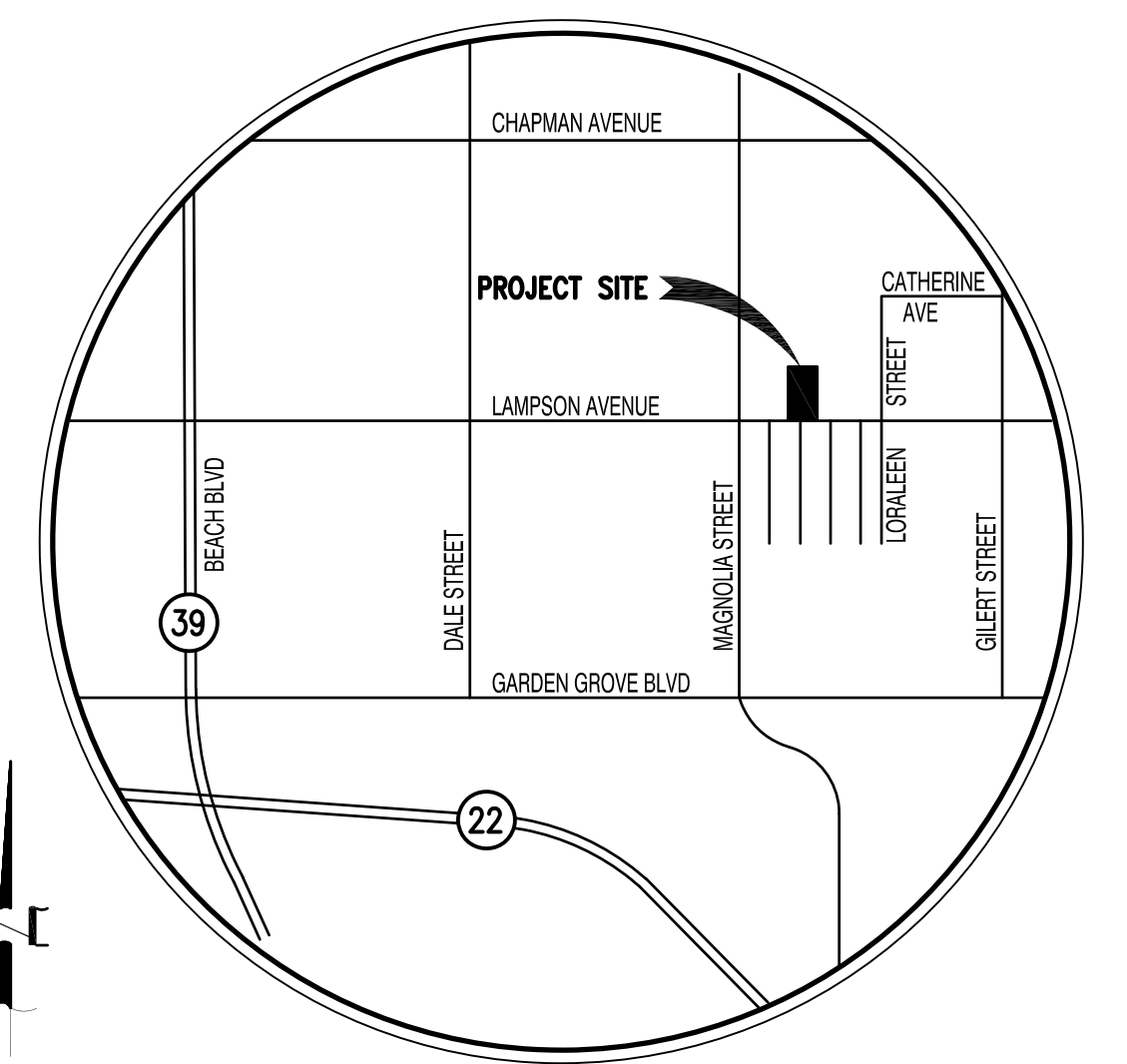
PLC COMMUNITIES
888 SAN CLEMENTE DRIVE, SUITE 200
NEWPORT BEACH, CA 92660
(949) 721-8200
ATTN: BILL HOLMAN

ENGINEER

MDS CONSULTING
17320 REDHILL AVENUE, SUITE 350
IRVINE, CA 92614
(949) 251-8821
CONTACT: ED LENTH

OWNER

RAY A. BICKNELL AND JO H. BICKNELL
TRUSTEES OF THE BICKNELL FAMILY TRUST
9071, 9081 AND 9091 LAMPSON AVENUE
GARDEN GROVE, CA 92641



VICINITY MAP
N.T.S.

2006 THOMAS BROTHERS
MAP BOOK, PAGES -, GRID -

GENERAL INFORMATION:

- EXISTING LAND USE: SINGLE-FAMILY RESIDENTIAL
- EXISTING ZONE: R-17 (SINGLE-FAMILY RESIDENTIAL)
- EXISTING GENERAL PLAN: LDR (LOW DENSITY RESIDENTIAL)
- PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL
- PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)
- ADJACENT LAND USES:
NORTH: R-17 (SINGLE-FAMILY RESIDENTIAL)
EAST: R-17 (SINGLE-FAMILY RESIDENTIAL)
SOUTH: LAMPSON AVENUE
WEST: R-2 (MULTI-FAMILY RESIDENTIAL)
- PARK REQUIREMENT TO BE MET BY PARK IN LIEU FEES
- SCHOOL DISTRICTS:
ELEMENTARY: G.G.S.D. (BROOKHURST)
INTERMEDIATE: G.G.S.D. (RALSTON)
HIGH SCHOOL: G.G.S.D. (RANCHO ALAMITOS)
- MULTIPLE FINAL MAPS MAY BE FILED PURSUANT TO SECTION 66456.1 OF THE CALIFORNIA GOVERNMENT CODE
- ALL PROPOSED MANUFACTURED SLOPES SHALL BE CONSTRUCTED AT A MAXIMUM OF 2:1, UNLESS OTHERWISE NOTED ON THE PLAN
- ESTIMATED EARTHWORK QUANTITIES:
RAW CUT:
RAW FILL:
THE PRELIMINARY GEOTECHNICAL SOILS REPORT WAS PREPARED BY:
13. THERE ARE FOUR EXISTING HABITABLE STRUCTURES WITHIN THE TRACT BOUNDARIES TO BE DEMOLISHED AND REMOVED.
- PROPOSED STREETS "A" AND "B" WITHIN VESTING TENTATIVE TRACT MAP 19232 SHALL BE PRIVATE AND MAINTAINED BY AN APPROVED HOMEOWNER'S ASSOCIATION.
- THE APPLICANT/DEVELOPER RESERVES THE RIGHT TO MERGE LOTS ON THE FINAL MAP.
- PROPOSED VESTING TENTATIVE TRACT MAP 19232 INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF LAND BEING SUBDIVIDED.
- VESTING TENTATIVE TRACT MAP 19232 LIES WITHIN FEMA FLOOD ZONE "X," SHOWN ON FIRM NO. 06059C0136J, DATED DECEMBER 3, 2009.
- PAD ELEVATIONS SHOWN ON THE VESTING TENTATIVE TRACT MAP MAY BE ADJUSTED PLUS OR MINUS 2.00 FEET.
- THERE ARE NO ACTIVE WELLS LOCATED WITHIN THE TRACT BOUNDARY.
- TOPOGRAPHIC SURVEY WAS FLOWN AND COMPILED BY DON READ AERIAL CORPORATION ON FEBRUARY 8, 2022.
- PROPOSED VESTING TENTATIVE TRACT MAP 19232 IS NOT A GATED COMMUNITY.
- ALL PROPOSED RESIDENTIAL LOTS SHALL MAINTAIN A 2% MINIMUM GRADE FROM REAR YARD TO THE PROPOSED PRIVATE STREET.
- THE CURRENT PROPERTY ADDRESSES ARE 9071, 9081, AND 9091 LAMPSON AVENUE.
- PROPOSED VESTING TENTATIVE TRACT MAP 19232 IS NOT WITHIN A HIGH FIRE HAZARD AREA.
- THERE IS NO OPEN STORM DRAIN CHANNEL PROPOSED.
- PROPOSED VEHICULAR ACCESS SHALL BE RESTRICTED ON LAMPSON AVENUE.
- PROPOSED OPEN SPACE LOTS "B," "C," AND "D" SHALL BE PRIVATE AND MAINTAINED BY AN APPROVED HOMEOWNER'S ASSOCIATION.
- PROPOSED FIRE TURNAROUND DESIGNED PER THE O.C.F.A. HAMMERHEAD STANDARD.
- PROPOSED CROSS GUTTER AT LAMPSON AVENUE TO BE CONSTRUCTED PER CITY OF GARDEN GROVE STANDARD PLAN NO. B-119.
- PROPOSED HANDICAP RAMPS TO BE CONSTRUCTED PER CITY OF GARDEN GROVE STANDARD PLAN B-107.
- PROPOSED CONCRETE CURB AND GUTTER TYPE "D" ON STREET "B" TO BE CONSTRUCTED PER CITY OF GARDEN GROVE STANDARD PLAN B-114.
- PROPOSED ROLL CURB AND GUTTER TO BE CONSTRUCTED PER THE COUNTY OF RIVERSIDE TYPE "C" CURB PER STANDARD PLAN 202.
- PROPOSED CROSS GUTTER AT THE INTERSECTION OF PROPOSED STREET "A" AND EXISTING LAMPSON AVENUE TO BE CONSTRUCTED PER THE CITY OF GARDEN GROVE STANDARD PLAN B-119.

LEGAL DESCRIPTION:

PARCEL A: PARCEL 1, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

PARCEL B: PARCEL 2, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

PARCEL C: PARCEL 3, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

PARCEL D: PARCEL 4, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

VESTING TENTATIVE TRACT NO. 19232

TOTAL OF LOTS: TOTAL: 17
SINGLE FAMILY RESIDENTIAL: 13
PRIVATE STREET: 1
OPEN SPACE: 3

GROSS ACREAGE: 1.78
CONTOUR INTERVAL: 1 FOOT
SCALE: 1" = 20'
DATE: MAY 20, 2022

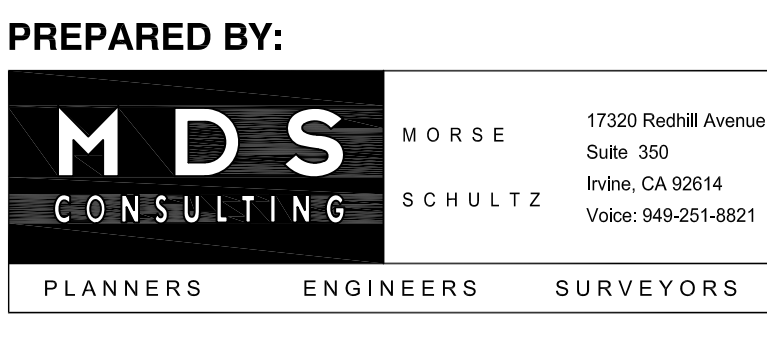
LAND USE SUMMARY

LOT	LAND USE	AREA (AC)	PERCENT (%)
1-13	SINGLE FAMILY LOT	1.17	65.7%
"A"	PRIVATE STREET	0.32	18.0%
"B," "C," "D"	OPEN SPACE LOTS	0.11	6.2%
LAMPSON AVENUE		0.18	10.1%
TOTAL		1.78	100%

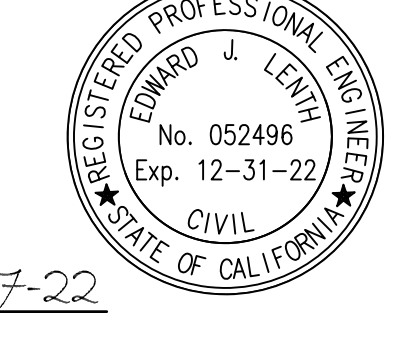
LOT AREA SUMMARY

NUMBER OF RESIDENTIAL LOTS: 13
MINIMUM LOT SIZE: 43' x 79.7'
MINIMUM LOT AREA: 3,427 SF
MAXIMUM LOT AREA: 4,414 SF
AVERAGE LOT AREA: 3,933 SF
GROSS ACREAGE: 1.78 ACRES
NET ACREAGE: 1.3 ACRES
GROSS DENSITY: 7.3 DU/ACRE
NET DENSITY: 10.0 DU/ACRE
* (GROSS DENSITY MINUS PRIVATE STREETS "A"-"B" (LOT "A"))

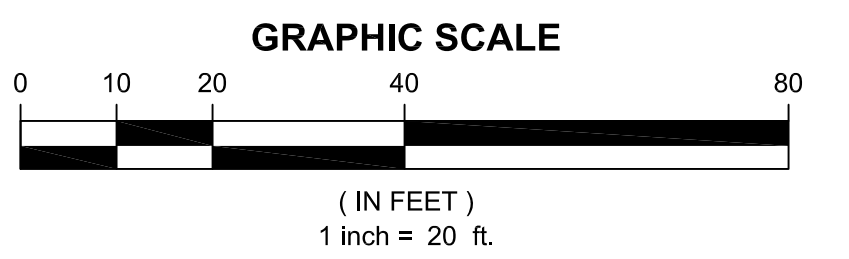
DATE:	NO.	REVISIONS



MDS CONSULTING
17320 Redhill Avenue, Suite 350
Irvine, CA 92614
Phone: (949) 251-8821
Voice: (949) 251-8821



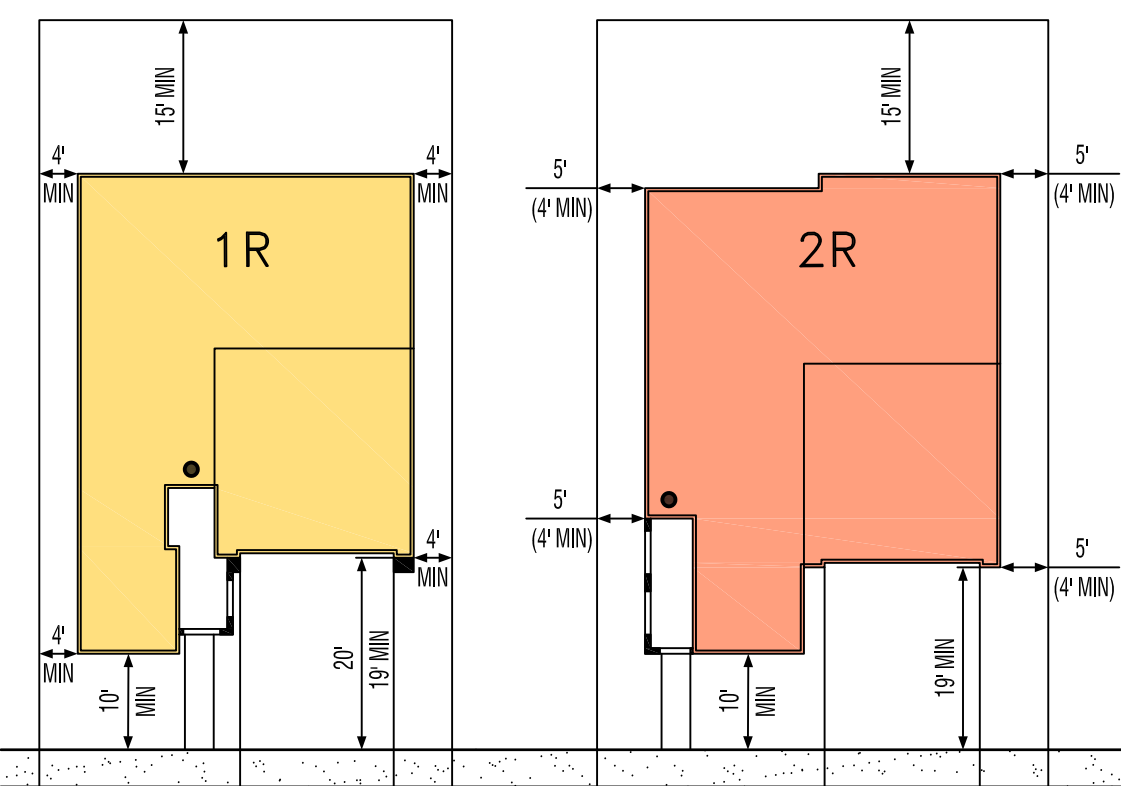
EDWARD J. LENTH RCE 052496
EXP. DATE: DECEMBER 31, 2022



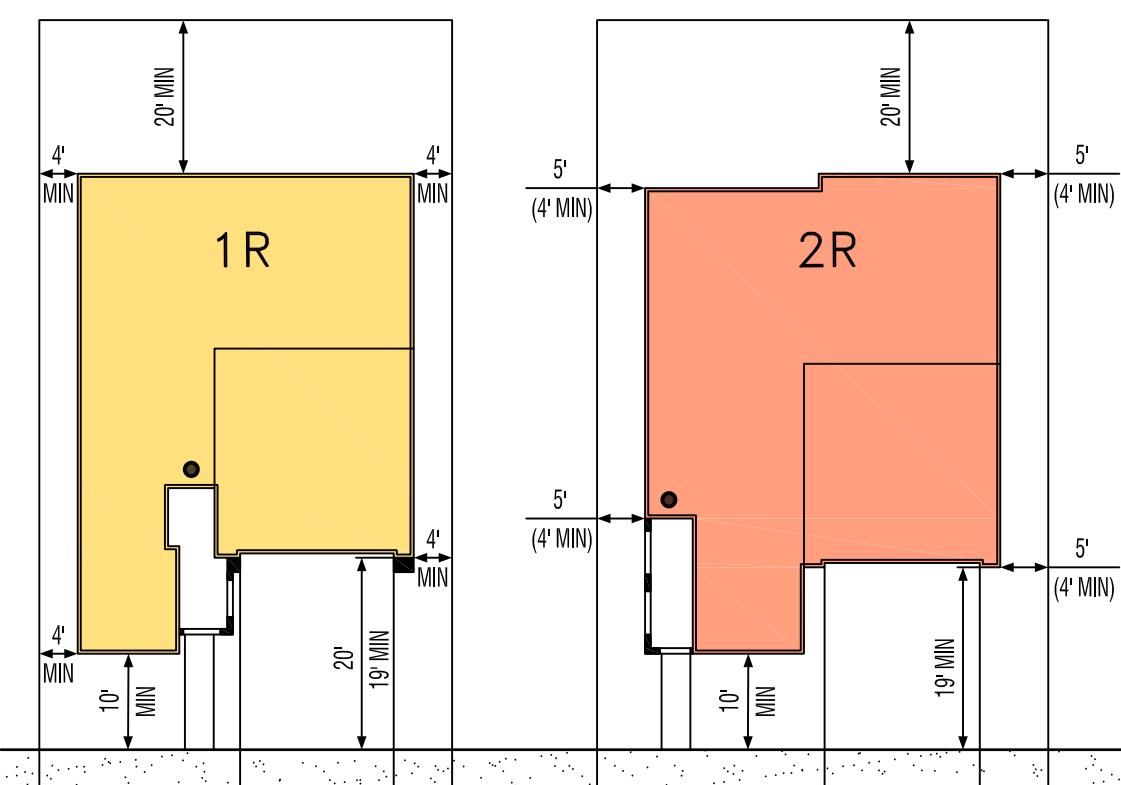
VESTING TENTATIVE TRACT NO. 19232
TENTATIVE TRACT MAP
CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA
SHEET 1 OF 1

TENTATIVE TRACT NO. 19232 - TENTATIVE TRACT MAP

TYPICAL MINIMUM SETBACKS



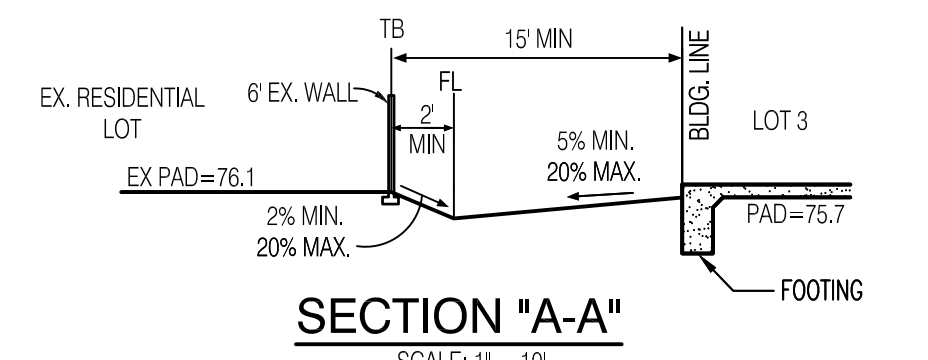
PLAN 1 (4 UNITS) (LOTS 1-5) PLAN 2 (1 UNITS) (LOTS 1-5)



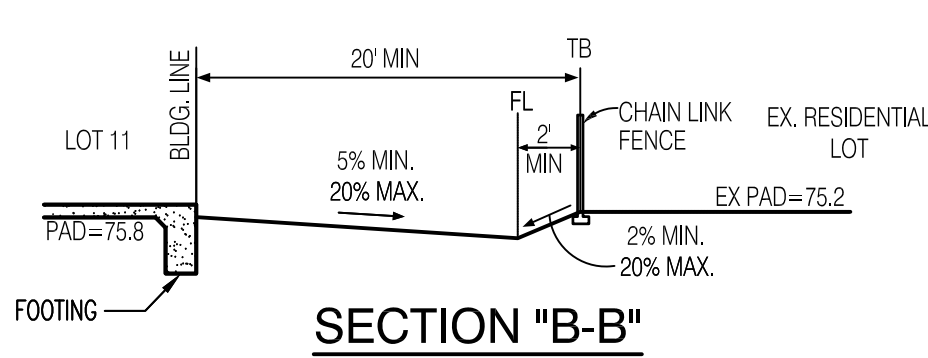
PLAN 1 (1 UNITS) (LOTS 6-13) PLAN 2 (7 UNITS) (LOTS 6-13)

SETBACKS

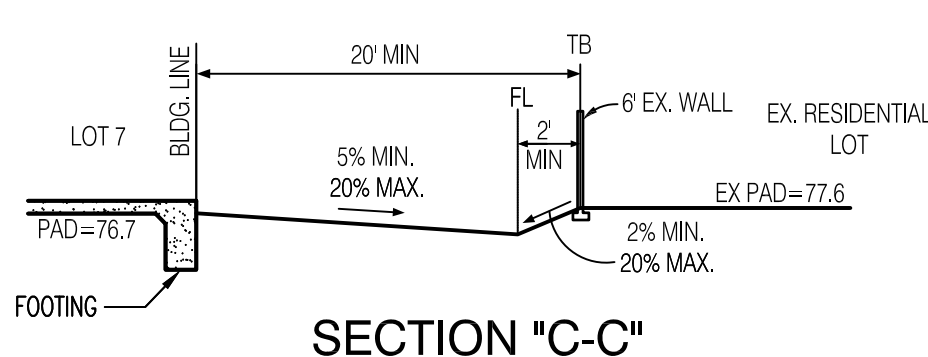
FRONT: (FROM BACK OF SIDEWALK) LIVING: 10 FEET MIN. GARAGE: 19 FEET MIN. PORCH: 10 FEET MIN. SIDE: LOT LINE: 4 FEET MIN. REAR: LOT LINE: 15 FEET MIN. (LOTS 1-5) 20 FEET MIN. (LOTS 6-13) BLDG SEPARATION: 8 FEET MIN.



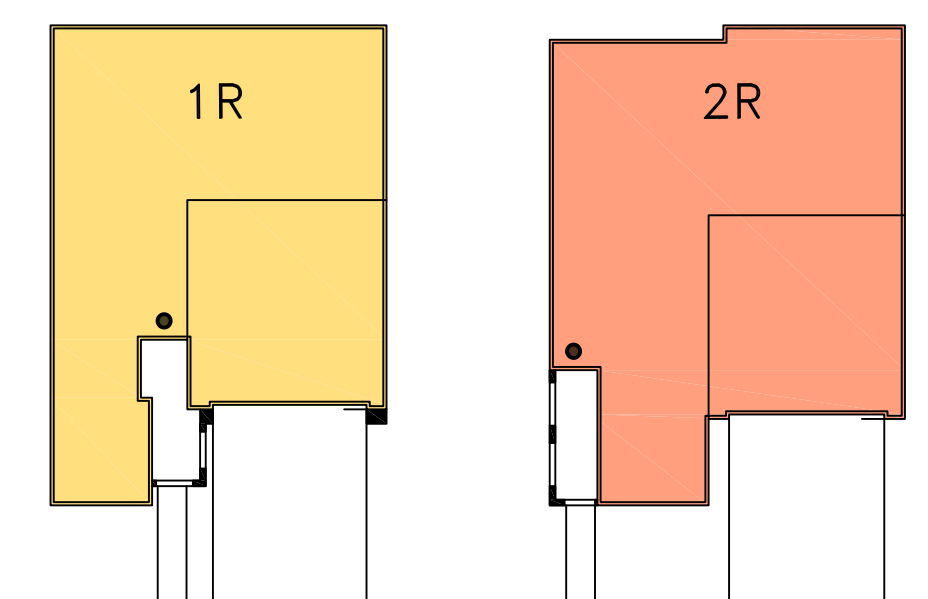
SECTION "A-A" SCALE: 1" = 10'



SECTION "B-B" SCALE: 1" = 10'



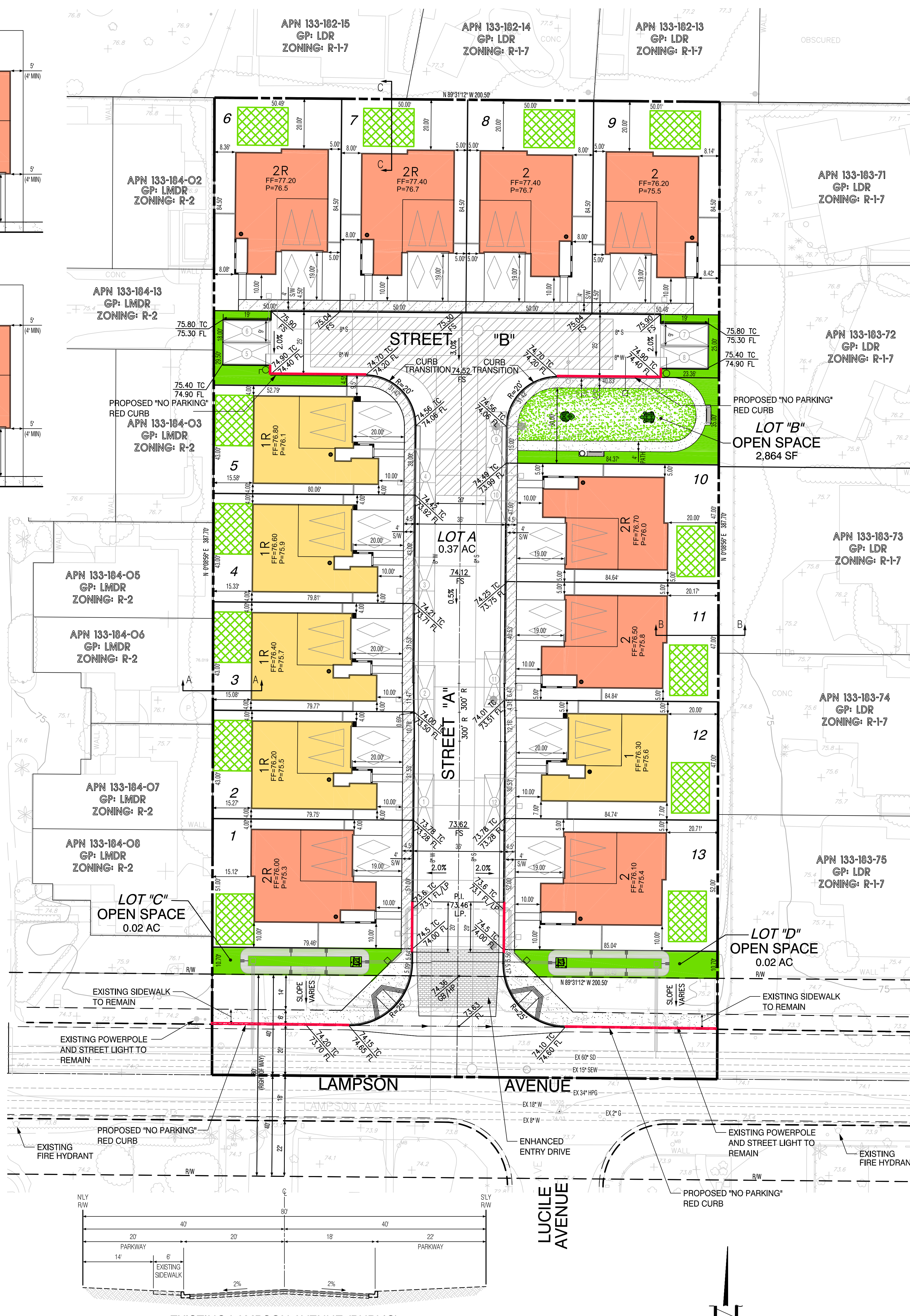
SECTION "C-C" SCALE: 1" = 10'



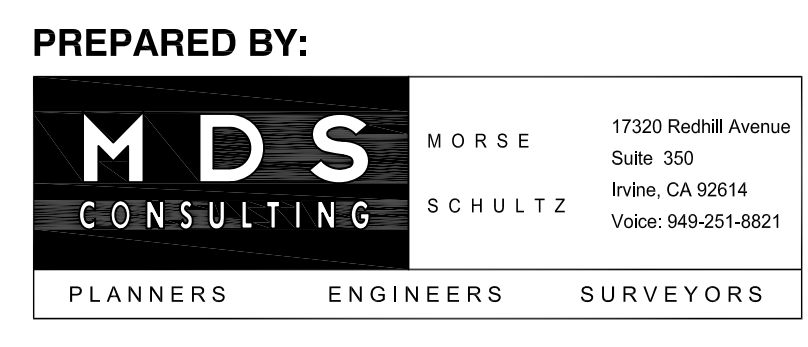
PLAN 1 (6 UNITS) PLAN 2 (8 UNITS)

2-STORY 1ST FLOOR: 1,040 SF 2ND FLOOR: 1,484 SF GARAGE: 481 SF COVERED ENTRY: 93 TOTAL: 2,824 SF

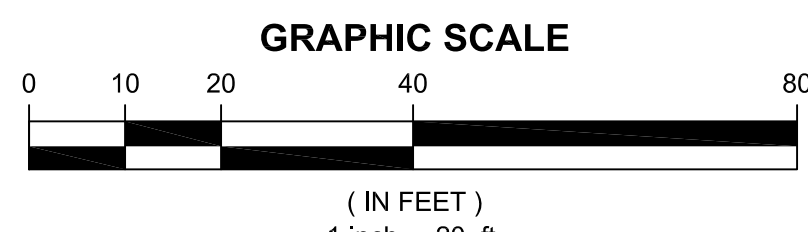
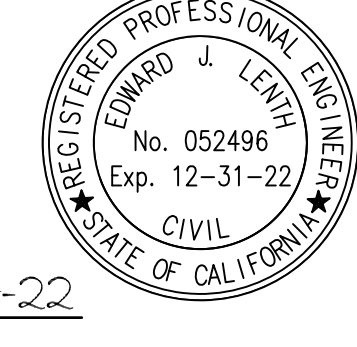
TYPICAL PLOTTINGS



EXISTING LAMPSON AVENUE (PUBLIC) SCALE: 1" = 10'



MDS CONSULTING 17320 Redhill Avenue, Suite 350 Irvine, CA 92614 Phone: (949) 251-8821 Contact: EDWARD J. LENTH



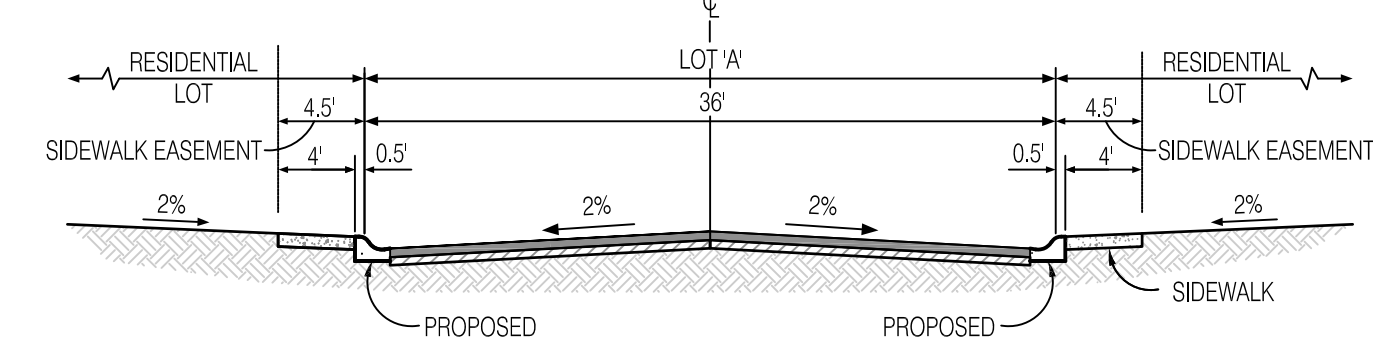
LEGEND

Legend table listing symbols for lot numbers, proposed plan types, utility lines, easements, and other site features.

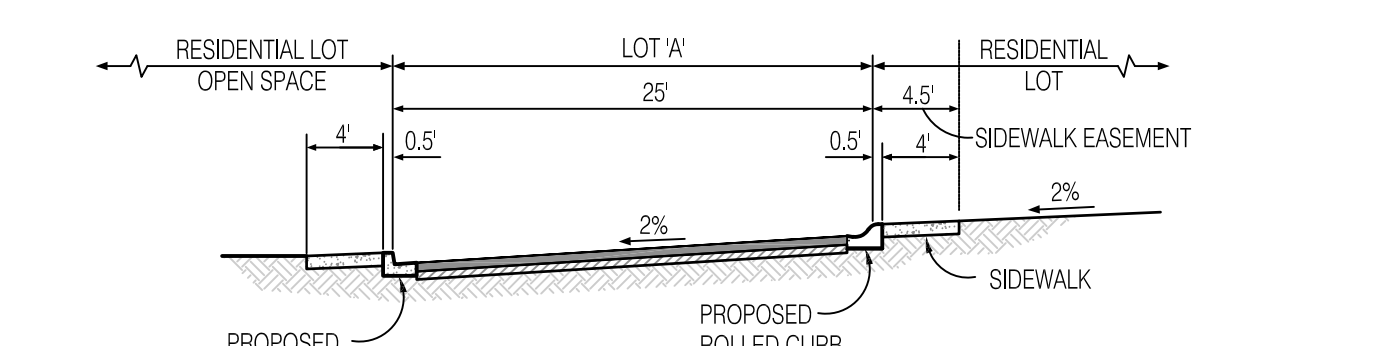
RESIDENTIAL LOT SUMMARY

Table with columns: UNIT NO., LOT AREA (SF), PAD AREA (SF), HOUSE FOOTPRINT (SF), UNIT WIDTH (ROW) (LF), LOT DEPTH (LF). Lists units 1 through 13.

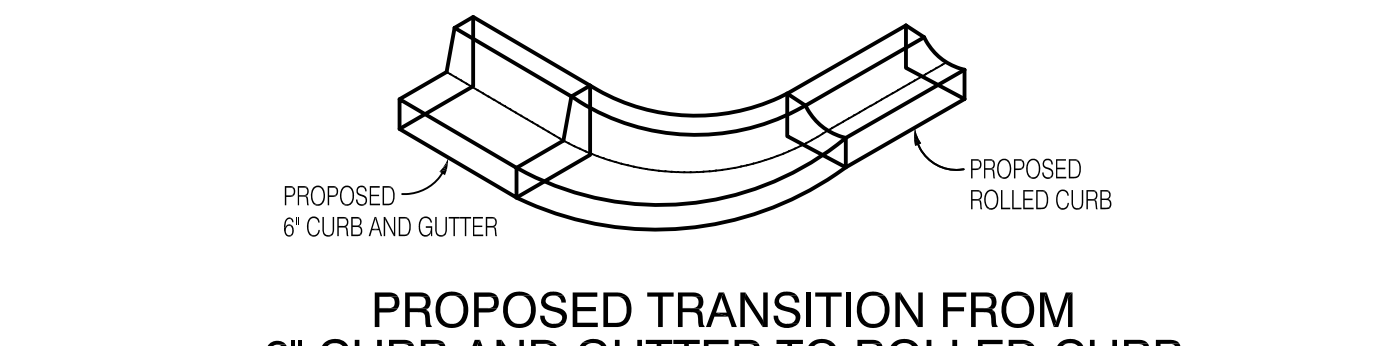
NOTE: * EXCLUDES SIDEWALK



PROPOSED STREET "A" (PRIVATE) SCALE: 1" = 10'



PROPOSED STREET "B" (PRIVATE) SCALE: 1" = 10'



PROVIDED PARKING SPACES

Table showing provided parking spaces: GARAGE (26), DRIVEWAY (13), ON-STREET (12), TOTAL (51).

REQUIRED PARKING SPACES

3.75 SPACES/13 UNITS. TOTAL SPACES REQUIRED: 49.

OPEN SPACE

REQUIRED: 200 SF X 13 UNITS = 2600 SF. PROVIDED: 2,864 SF (220.3 SF PER UNIT).

BENCHMARK

FOUND 3 3/4\"/>

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING OF BETWEEN O.C.S. HORIZONTAL CONTROL STATION G.P.S. NO. 3502 AND STATION G.P.S. NO. 3501R1 BEING N00°22'11\"/>

ASSESSORS PARCEL NUMBER

133-183-55, APN: 133-183-56, APN: 133-183-57, APN: 133-183-58

APPLICANT/DEVELOPER

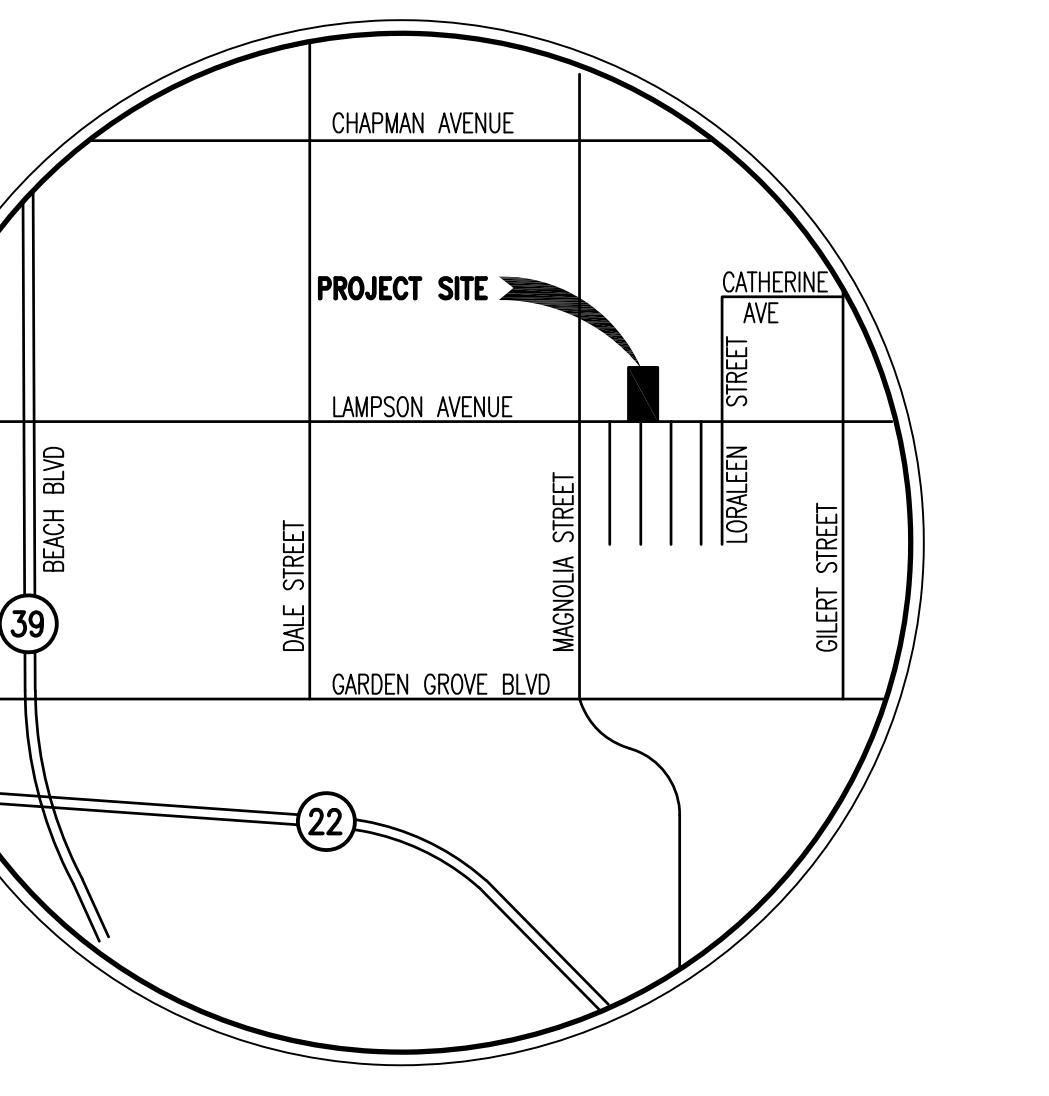
PLC COMMUNITIES 889 SAN CLEMENTE DRIVE, SUITE 200 NEWPORT BEACH, CA 92660 (949) 721-8200 ATTN: BILL HOLMAN

ENGINEER

MDS CONSULTING 17320 REDHILL AVENUE, SUITE 350 IRVINE, CA 92614 (949) 251-8821 CONTACT: ED LENTH

OWNER

RAY A. BICKNELL AND JO H. BICKNELL TRUSTEES OF THE BICKNELL FAMILY TRUST 9071, 9081 AND 9091 LAMPSON AVENUE GARDEN GROVE, CA 92841



VICINITY MAP N.T.S. 2006 THOMAS BROTHERS MAP BOOK, PAGES - GRID -

GENERAL INFORMATION:

- 1. EXISTING LAND USE: SINGLE-FAMILY RESIDENTIAL. 2. EXISTING ZONE: R-17 (SINGLE-FAMILY RESIDENTIAL). 3. EXISTING GENERAL PLAN: LDR (LOW DENSITY RESIDENTIAL). 4. PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL. 5. PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT). 6. ADJACENT LAND USES: NORTH: R-17 (SINGLE-FAMILY RESIDENTIAL). EAST: R-17 (SINGLE-FAMILY RESIDENTIAL). WEST: R-2 (MULTI-FAMILY RESIDENTIAL). SOUTH: LAMPSON AVENUE. 7. PARK REQUIREMENT TO BE MET BY PARK IN LIEU FEES. 8. SCHOOL DISTRICTS: ELEMENTARY: G.G.S.D. (BROOKHURST). INTERMEDIATE: G.G.S.D. (RALSTON). HIGH SCHOOL: G.G.S.D. (RANCHO ALAMITOS). 9. MULTIPLE FINAL MAPS MAY BE FILED PURSUANT TO SECTION 66456.1 OF THE CALIFORNIA GOVERNMENT CODE. 10. ALL PROPOSED MANUFACTURED SLOPES SHALL BE CONSTRUCTED AT A MAXIMUM OF 2:1, UNLESS OTHERWISE NOTED ON THE PLAN. 11. ESTIMATED EARTHWORK QUANTITIES: RAW FILL: 12. THE PRELIMINARY GEOTECHNICAL SOILS REPORT WAS PREPARED BY 13. THERE ARE FOUR EXISTING HABITABLE STRUCTURES WITHIN THE TRACT BOUNDARIES TO BE DEMOLISHED AND REMOVED. 14. PROPOSED STREETS "A" AND "B" WITHIN VESTING TENTATIVE TRACT MAP 19232 SHALL BE PRIVATE AND MAINTAINED BY AN APPROVED HOMEOWNER'S ASSOCIATION. 15. THE APPLICANT/DEVELOPER RESERVES THE RIGHT TO MERGE LOTS ON THE FINAL MAP. 16. PROPOSED VESTING TENTATIVE TRACT MAP 19232 INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF LAND BEING SUBDIVIDED. 17. VESTING TENTATIVE TRACT MAP 19232 LIES WITHIN FEMA FLOOD ZONE "X," SHOWN ON FIRM NO. 06059C0136J, DATED DECEMBER 3, 2009. 18. PAD ELEVATIONS SHOWN ON THE VESTING TENTATIVE TRACT MAP MAY BE ADJUSTED PLUS OR MINUS 2.00 FEET. 19. THERE ARE NO ACTIVE WELLS LOCATED WITHIN THE TRACT BOUNDARY. 20. TOPOGRAPHIC SURVEY WAS FLOWN AND COMPILED BY DON READ AERIAL CORPORATION ON FEBRUARY 8, 2022. 21. PROPOSED VESTING TENTATIVE TRACT MAP 19232 IS NOT A GATED COMMUNITY. 22. ALL PROPOSED RESIDENTIAL LOTS SHALL MAINTAIN A 2% MINIMUM GRADE FROM REAR YARD TO THE PROPOSED PRIVATE STREET. 23. THE CURRENT PROPERTY ADDRESSES ARE 9071, 9081, AND 9091 LAMPSON AVENUE. 24. PROPOSED VESTING TENTATIVE TRACT MAP 19232 IS NOT WITHIN A HIGH FIRE HAZARD AREA. 25. THERE IS NO OPEN STORM DRAIN CHANNEL PROPOSED. 26. PROPOSED VEHICULAR ACCESS SHALL BE RESTRICTED ON LAMPSON AVENUE. 27. PROPOSED OPEN SPACE LOTS "B," "C," AND "D" SHALL BE PRIVATE AND MAINTAINED BY AN APPROVED HOMEOWNER'S ASSOCIATION. 28. PROPOSED FIRE TURNAROUND DESIGNED PER THE O.C.F.A. HAMMERHEAD STANDARD. 29. PROPOSED CROSS GUTTER AT LAMPSON AVENUE TO BE CONSTRUCTED PER CITY OF GARDEN GROVE STANDARD PLAN NO. B-119. 30. PROPOSED HANDICAP RAMPS TO BE CONSTRUCTED PER CITY OF GARDEN GROVE STANDARD PLAN B-107. 31. PROPOSED CONCRETE CURB AND GUTTER TYPE "D" ON STREET "B" TO BE CONSTRUCTED PER CITY OF GARDEN GROVE STANDARD PLAN B-114. 32. PROPOSED ROLL CURB AND GUTTER TO BE CONSTRUCTED PER THE COUNTY OF RIVERSIDE TYPE "C" CURB PER STANDARD PLAN 202. 33. PROPOSED CROSS GUTTER AT THE INTERSECTION OF PROPOSED STREET "A" AND EXISTING LAMPSON AVENUE TO BE CONSTRUCTED PER THE CITY OF GARDEN GROVE STANDARD PLAN B-119.

LEGAL DESCRIPTION:

PARCEL A: IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY. PARCEL B: IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY. PARCEL C: IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY. PARCEL D: IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

VESTING TENTATIVE TRACT NO. 19232

Table showing total lots, residential lots, private streets, and open space.

LAND USE SUMMARY

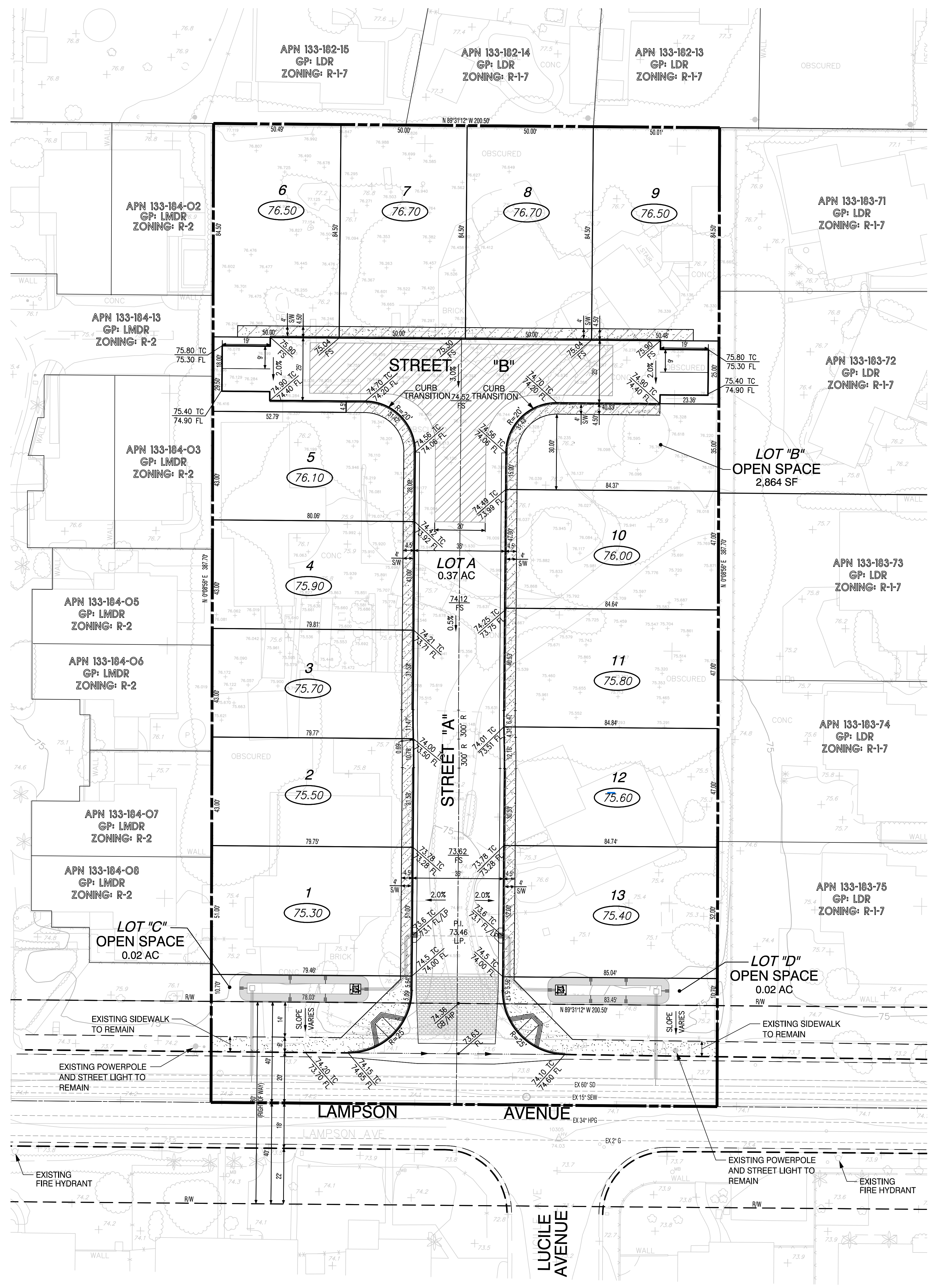
Table showing land use details: LOT, LAND USE, AREA (AC), PERCENT (%).

LOT AREA SUMMARY

Table showing lot area summary: NUMBER OF RESIDENTIAL LOTS, MINIMUM LOT AREA, MINIMUM LOT SIZE, MAXIMUM LOT AREA, AVERAGE LOT AREA, GROSS ACRES, NET ACRES, GROSS DENSITY, NET DENSITY.

VESTING TENTATIVE TRACT NO. 19232 TECHNICAL SITE PLAN CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA SHEET 1 OF 1

TENTATIVE TRACT NO. 19232 - TECHNICAL SITE PLAN



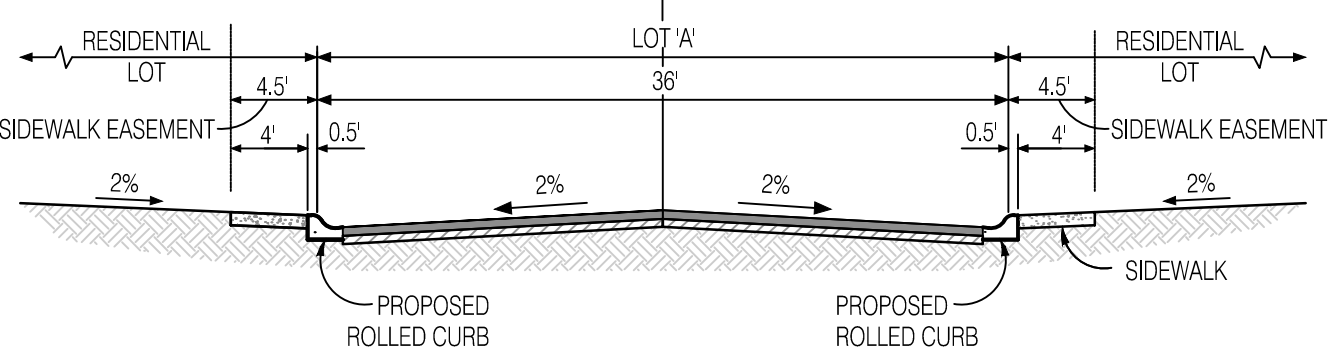
RESIDENTIAL LOT SUMMARY

UNIT NO.	LOT AREA (SF)	PAD AREA (SF) *	HOUSE FOOTPRINT (SF)	UNIT WIDTH ROW (LF)	LOT DEPTH (LF)
1	4,060	3,829	1,703	51	79
2	3,434	3,240	1,597	43	79
3	3,427	3,234	1,597	43	80
4	3,437	3,244	1,597	43	80
5	3,499	3,214	1,597	48	80
6	4,245	4,064	1,703	50	84
7	4,225	4,000	1,703	50	84
8	4,225	4,000	1,703	50	84
9	4,247	4,066	1,703	50	84
10	3,972	3,760	1,703	47	83
11	3,984	3,773	1,703	47	84
12	3,979	3,767	1,597	47	84
13	4,414	4,177	1,703	52	84

NOTE: * EXCLUDES SIDEWALK

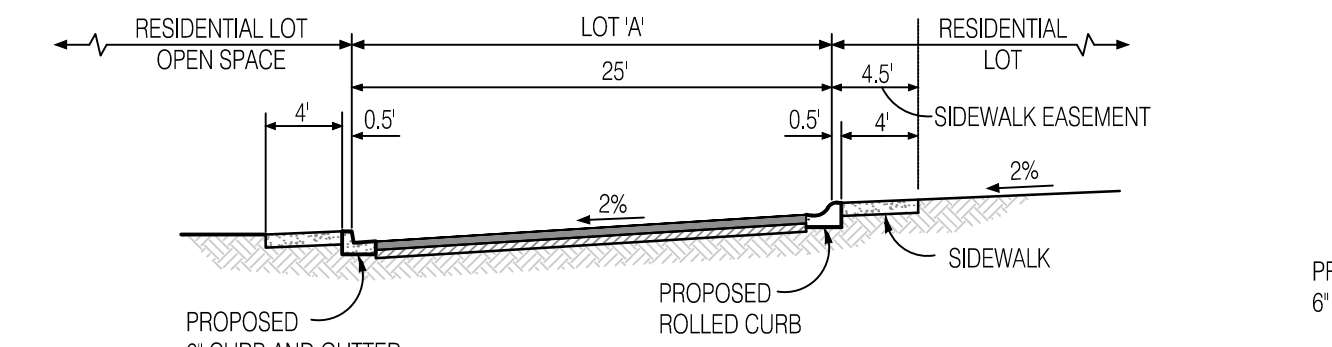
LEGEND

- 5 LOT NUMBER
- PROPOSED STREET LIGHT
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED POTABLE WATER
- RCW PROPOSED NON-POTABLE WATER
- EX SD --- EXISTING STORM DRAIN
- EX SS --- EXISTING SANITARY SEWER
- EX DW --- EXISTING POTABLE WATER
- G --- EXISTING GAS LINE
- 1.00% PROPOSED STREET GRADE
- TENTATIVE TRACT BOUNDARY
- LOT LINE
- PROPOSED FIRE TURNAROUND
- SIDE WALK EASEMENT
- ENHANCED PAVING PER LANDSCAPE ARCHITECT PLANS
- EXISTING UTILITY EASEMENT
- EXISTING ROAD RIGHT-OF-WAY



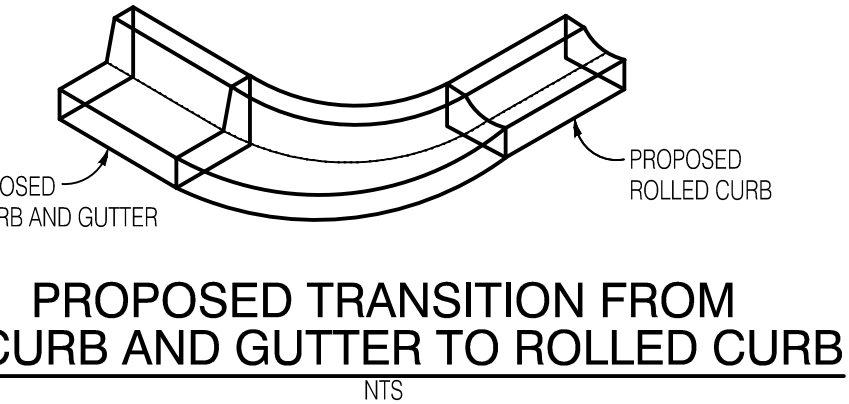
PROPOSED STREET 'A' (PRIVATE)

*INGRESS/EGRESS AND PUBLIC UTILITY EASEMENT

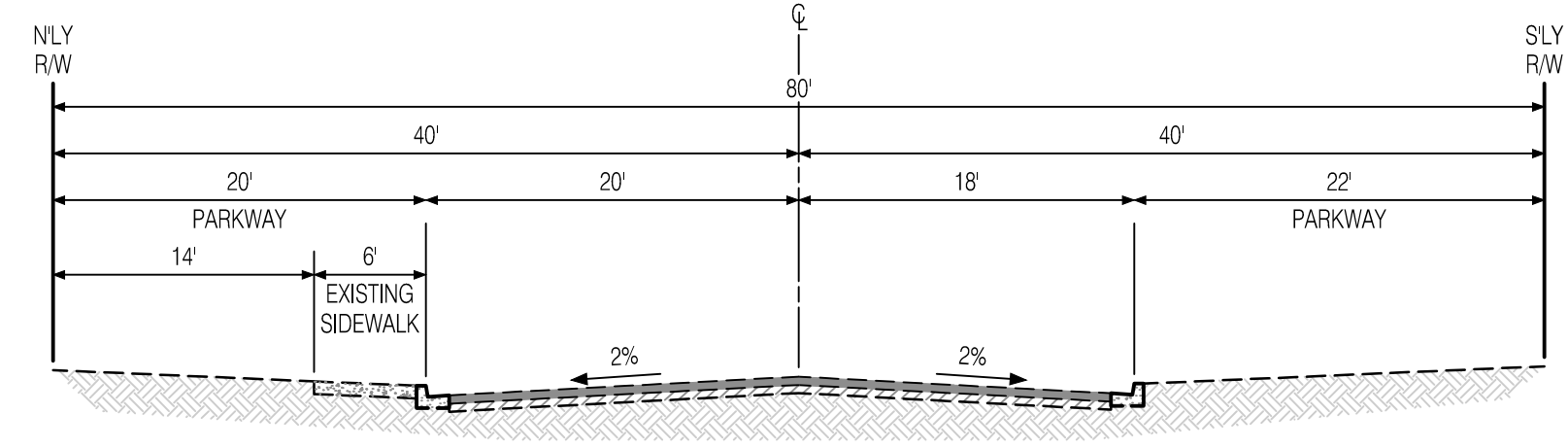


PROPOSED STREET 'B' (PRIVATE)

*INGRESS/EGRESS AND PUBLIC UTILITY EASEMENT



PROPOSED TRANSITION FROM 6" CURB AND GUTTER TO ROLLED CURB



EXISTING LAMPSON AVENUE (PUBLIC)

SCALE: 1" = 10'

UTILITIES

WATER
CITY OF GARDEN GROVE WATER DEPT.
11391 ACACIA PARKWAY
GARDEN GROVE, CA 92640
(714) 741-5078

SEWER
CITY OF GARDEN GROVE SANITARY DISTRICT
13802 NEWHOPE STREET
GARDEN GROVE, CA 92643
(714) 741-5395

GAS
SOUTHERN CALIFORNIA GAS COMPANY
713 NORTH MAIN STREET
SANTA ANA, CA 92701
(800) 427-2200

ELECTRIC
SOUTHERN CALIFORNIA EDISON
7333 BOLSA
WESTMINSTER, CA 92683
(800) 655-4555

CABLE
TIME WARNER
11935 VALLEY VIEW STREET
GARDEN GROVE, CA 92645
(714) 903-4000

TRASH
GARDEN GROVE SANITARY DISTRICT
C/O REPUBLIC SERVICES
1131 NORTH BLUE GUM STREET
ANAHEIM, CA 92806
(800) 700-8610
(714) 238-3300

PHONE
VERIZON
(800) 483-4000

EARTHWORK CALCULATIONS

	CUT (CU/YD)	FILL (CU/YD)
MASS EXCAVATION	1,987	207
SHRINKAGE 10%	(200)	-
SUBSIDENCE (0.1')	(270)	-
OVEREX	10,253	9,536
TOTAL	11,770	9,743

BENCHMARK

FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED 'IG-135-69' SET IN THE TOP OF A 6" BY 6" CONCRETE POST. MONUMENT IS LOCATED IN THE NORTHEASTERLY CORNER OF THE INTERSECTION OF MAGNOLIA STREET AND LAMPSON AVENUE, 66.00' EASTERLY OF THE CENTERLINE OF MAGNOLIA AND 35.0' NORTHERLY OF THE CENTERLINE OF LAMPSON. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING OF BETWEEN O.C.S. HORIZONTAL CONTROL STATION G.P.S. NO. 3502 AND STATION G.P.S. NO. 3501 BEING N00°22'11"E PER RECORDS OF FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

ASSESSORS PARCEL NUMBER

133-183-55; APN: 133-183-56; APN: 133-183-57; APN: 133-183-58

APPLICANT/DEVELOPER

PLC COMMUNITIES
888 SAN CLEMENTE DRIVE, SUITE 200
NEWPORT BEACH, CA 92660
(949) 721-8200
ATTN: BILL HOLMAN

OWNER

RAY A. BICKNELL AND JO H. BICKNELL
TRUSTEES OF THE BICKNELL FAMILY TRUST
9071, 9081 AND 9091 LAMPSON AVENUE
GARDEN GROVE, CA 92641

GENERAL INFORMATION:

- EXISTING LAND USE: SINGLE-FAMILY RESIDENTIAL
- EXISTING ZONE: R-1-7 (SINGLE-FAMILY RESIDENTIAL)
- EXISTING GENERAL PLAN: LDR (LOW DENSITY RESIDENTIAL)
- PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL
- PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)
- ADJACENT LAND USES:
NORTH: R-1-7 (SINGLE-FAMILY RESIDENTIAL)
EAST: R-1-7 (SINGLE-FAMILY RESIDENTIAL)
WEST: R-2 (MULTI-FAMILY RESIDENTIAL)
SOUTH: LAMPSON AVENUE
- PARK REQUIREMENT TO BE MET BY PARK IN LIEU FEES
- SCHOOL DISTRICTS:
ELEMENTARY: G.G.S.D. (BROOKHURST)
INTERMEDIATE: G.G.S.D. (RALSTON)
HIGH SCHOOL: G.G.S.D. (RANCHO ALAMITOS)
- MULTIPLE FINAL MAPS MAY BE FILED PURSUANT TO SECTION 64654.1 OF THE CALIFORNIA GOVERNMENT CODE
- ALL PROPOSED MANUFACTURED SLOPES SHALL BE CONSTRUCTED AT A MAXIMUM OF 2:1, UNLESS OTHERWISE NOTED ON THE PLAN
- ESTIMATED EARTHWORK QUANTITIES:
RAW FILL:
THE PRELIMINARY GEOTECHNICAL SOILS REPORT WAS PREPARED BY:
THESE ARE FOUR EXISTING HABITABLE STRUCTURES WITHIN THE TRACT BOUNDARIES TO BE DEMOLISHED AND REMOVED.
- PROPOSED STREETS "A" AND "B" WITHIN VESTING TENTATIVE TRACT MAP 19232 SHALL BE PRIVATE AND MAINTAINED BY AN APPROVED HOMEOWNER'S ASSOCIATION.
- THE APPLICANT/DEVELOPER RESERVES THE RIGHT TO MERGE LOTS ON THE FINAL MAP.
- PROPOSED VESTING TENTATIVE TRACT MAP 19232 INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF LAND BEING SUBDIVIDED.
- PROPOSED TENTATIVE TRACT MAP 19232 LIES WITHIN FEMA FLOOD ZONE "X", SHOWN ON FIRM NO. 06059C0136J, DATED DECEMBER 3, 2009.
- PAD ELEVATIONS SHOWN ON THE VESTING TENTATIVE TRACT MAP MAY BE ADJUSTED PLUS OR MINUS 2.00 FEET.
- THERE ARE NO ACTIVE WELLS LOCATED WITHIN THE TRACT BOUNDARY.
- TOPOGRAPHIC SURVEY WAS FLOWN AND COMPILED BY DON READ AERIAL CORPORATION ON FEBRUARY 8, 2022.
- PROPOSED VESTING TENTATIVE TRACT MAP 19232 IS NOT A GATED COMMUNITY.
- ALL PROPOSED RESIDENTIAL LOTS SHALL MAINTAIN A 2% MINIMUM GRADE FROM REAR YARD TO THE PROPOSED PRIVATE STREET.
- THE CURRENT PROPERTY ADDRESSES ARE 9071, 9081, AND 9091 LAMPSON AVENUE.
- PROPOSED VESTING TENTATIVE TRACT MAP 19232 IS NOT WITHIN A HIGH FIRE HAZARD AREA.
- THERE IS NO OPEN STORM DRAIN CHANNEL PROPOSED.
- PROPOSED VEHICULAR ACCESS SHALL BE RESTRICTED ON LAMPSON AVENUE.
- PROPOSED OPEN SPACE LOTS "C" AND "D" SHALL BE PRIVATE AND MAINTAINED BY AN APPROVED HOMEOWNER'S ASSOCIATION.
- PROPOSED FIRE TURNAROUND DESIGNED PER THE O.C.F.A. HAMMERHEAD STANDARD.
- PROPOSED CROSS GUTTER AT LAMPSON AVENUE TO BE CONSTRUCTED PER CITY OF GARDEN GROVE STANDARD PLAN NO. B-119.
- PROPOSED HANDICAP RAMPS TO BE CONSTRUCTED PER CITY OF GARDEN GROVE STANDARD PLAN B-107.
- PROPOSED CONCRETE CURB AND GUTTER TYPE 'D' ON STREET 'B' TO BE CONSTRUCTED PER CITY OF GARDEN GROVE STANDARD PLAN B-114.
- PROPOSED ROLL CURB AND GUTTER TO BE CONSTRUCTED PER THE COUNTY OF RIVERSIDE TYPE 'C' CURB PER STANDARD PLAN 202.
- PROPOSED CROSS GUTTER AT THE INTERSECTION OF PROPOSED STREET 'A' AND EXISTING LAMPSON AVENUE TO BE CONSTRUCTED PER THE CITY OF GARDEN GROVE STANDARD PLAN B-119.

LEGAL DESCRIPTION:

PARCEL A: IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.
PARCEL B: IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.
PARCEL C: IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.
PARCEL D: IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

VESTING TENTATIVE TRACT NO. 19232

TOTAL OF LOTS:	TOTAL:
SINGLE FAMILY RESIDENTIAL:	13
PRIVATE STREET:	1
OPEN SPACE:	3
GROSS ACREAGE:	1.78
CONTOUR INTERVAL:	1 FOOT
SCALE:	1" = 20'
DATE:	MAY 20, 2022

LAND USE SUMMARY

LOT	LAND USE	AREA (AC)	PERCENT (%)
1-13	SINGLE FAMILY LOT	1.17	65.7%
"A"	PRIVATE STREET	0.32	18.0%
"B", "C", "D"	OPEN SPACE LOTS	0.11	6.2%
LAMPSON AVENUE		0.18	10.1%
TOTAL		1.78	100%

LOT AREA SUMMARY

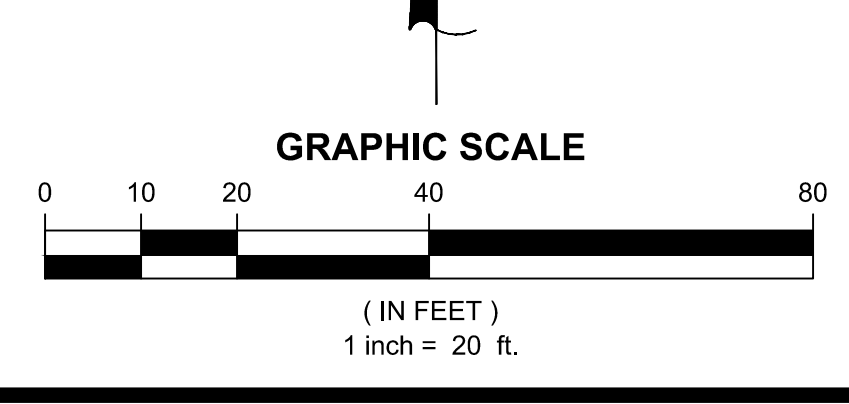
NUMBER OF RESIDENTIAL LOTS:	13
MINIMUM LOT SIZE:	43 x 79.7'
MINIMUM LOT AREA:	3,427 SF
MAXIMUM LOT AREA:	4,414 SF
AVERAGE LOT AREA:	3,933 SF
GROSS ACREAGE:	1.78 ACRES
NET ACREAGE *:	1.3 ACRES
GROSS DENSITY:	7.3 DU/ACRE
NET DENSITY:	10.0 DU/ACRE
* (GROSS DENSITY MINUS PRIVATE STREETS "A"- "B" (LOT "A"))	

DATE:	NO.	REVISIONS

PREPARED FOR:
PLC COMMUNITIES

PREPARED BY:
MDS CONSULTING
MORSE SCHULTZ
PLANNERS ENGINEERS SURVEYORS

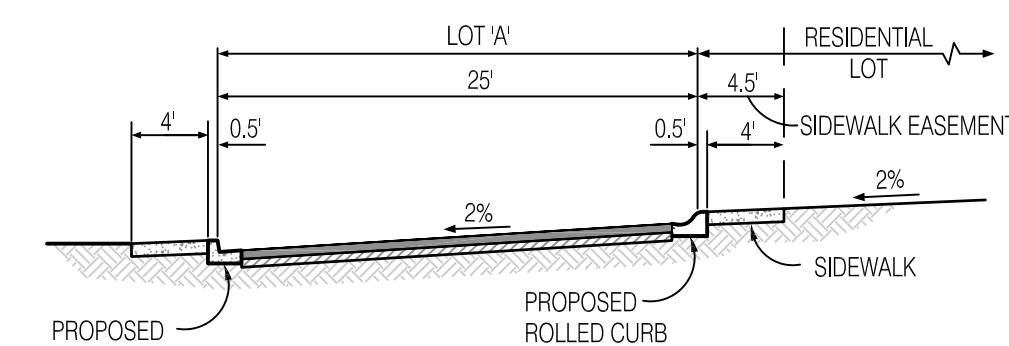
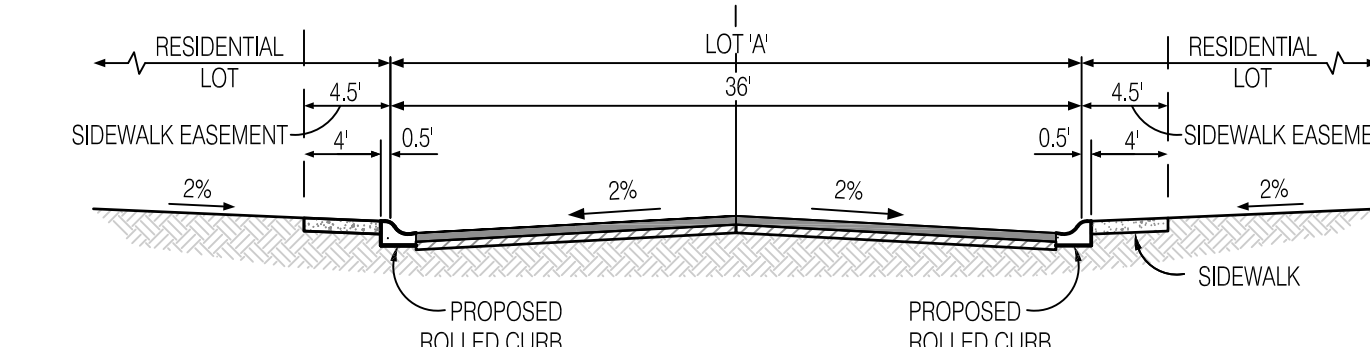
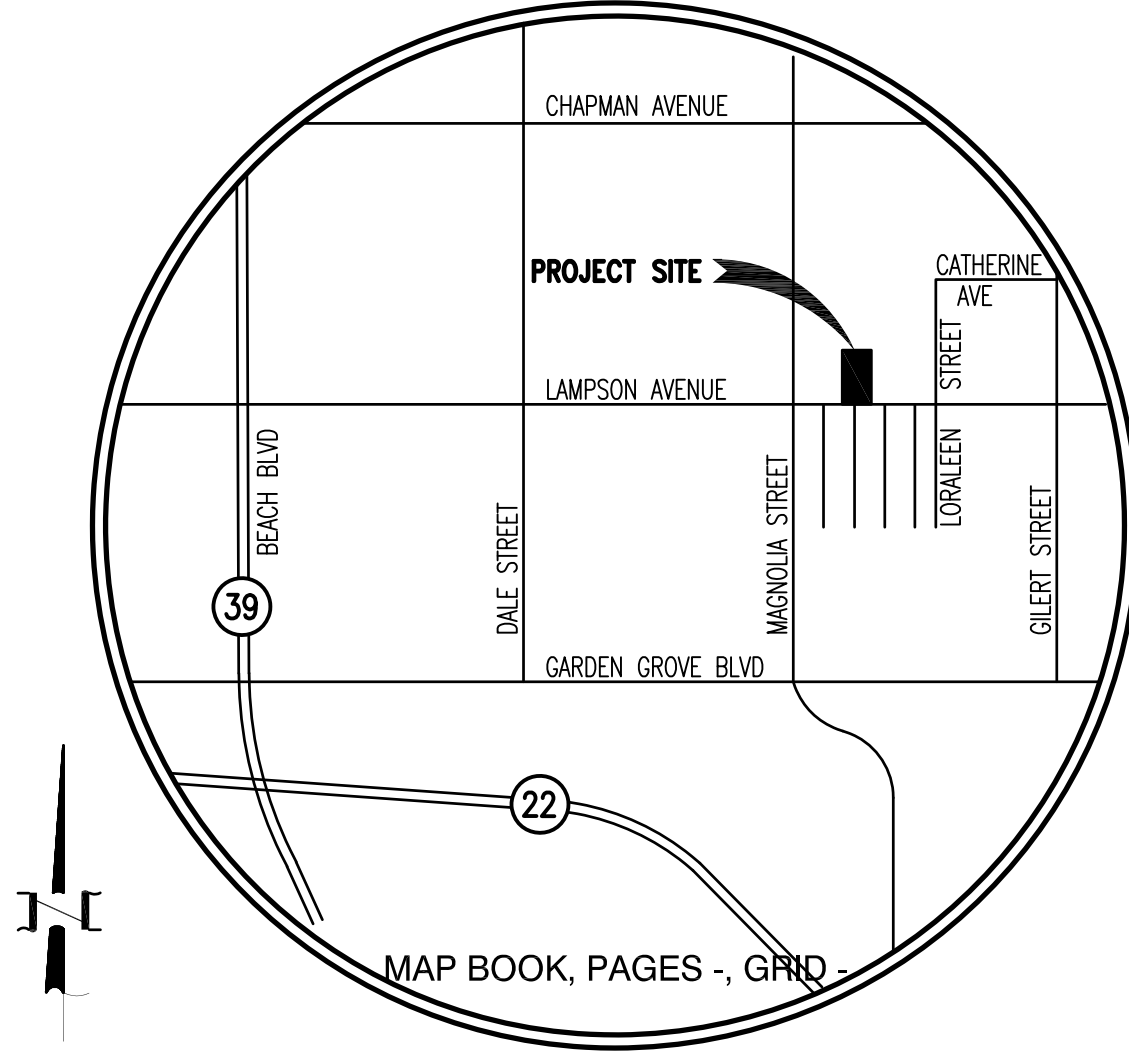
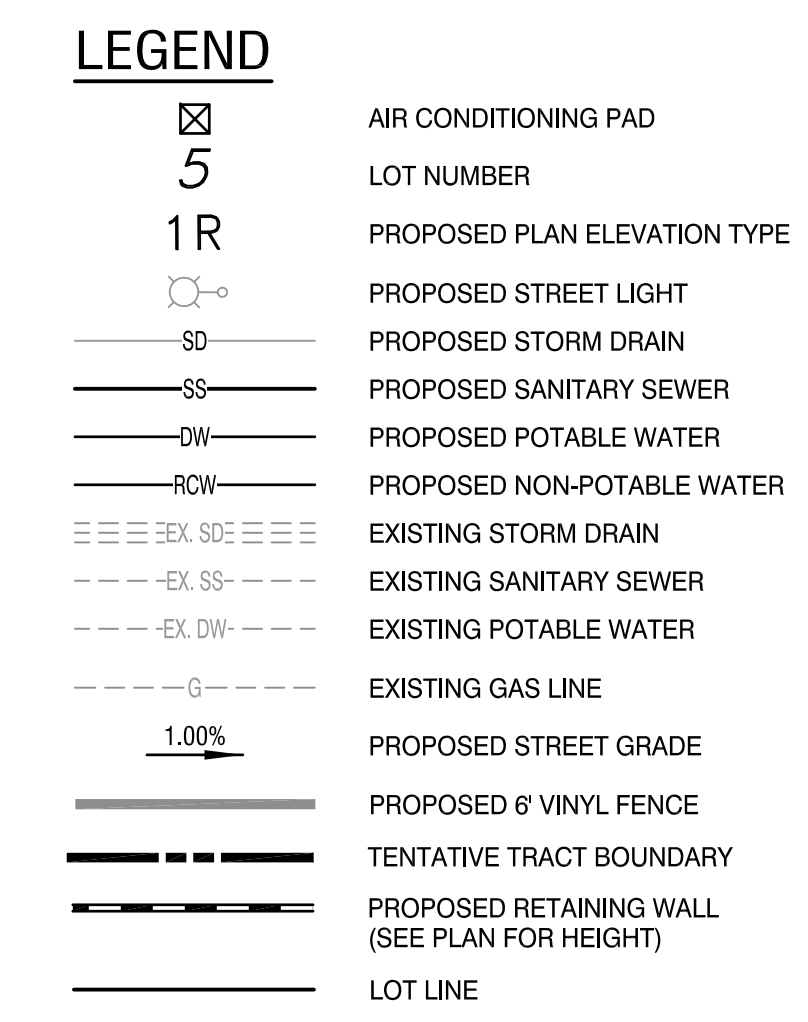
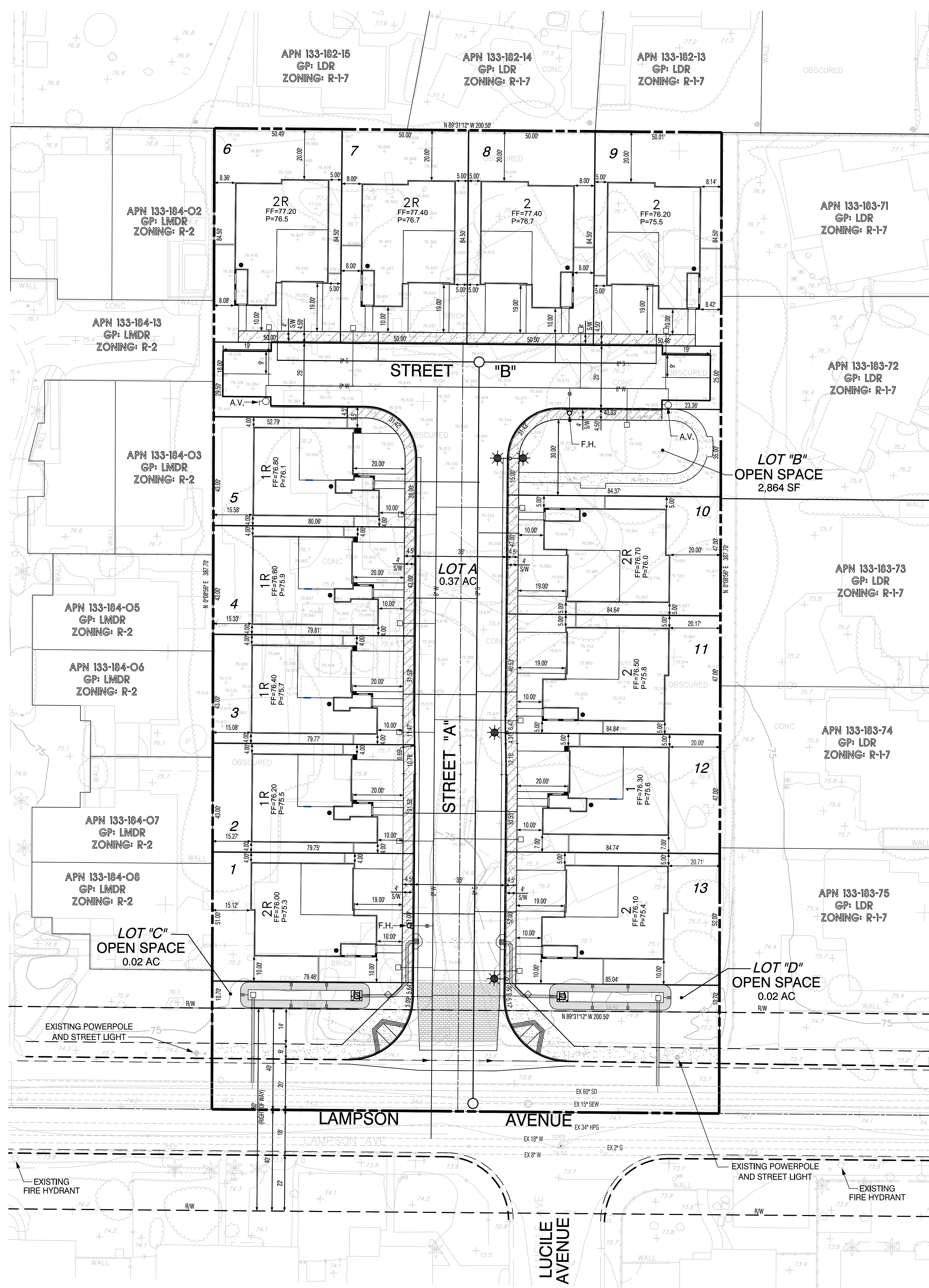
MDS CONSULTING
17320 REDHILL AVENUE, SUITE 350
IRVINE, CA 92614
PHONE: (949) 251-8821
CONTACT: EDWARD J. LENTH
No. 052496
Exp. 12-31-22
6-27-22
EDWARD J. LENTH RCE 052496
EXP. DATE: DECEMBER 31, 2022



VESTING TENTATIVE TRACT NO. 19232
CONCEPTUAL GRADING PLAN
CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA
SHEET 1 OF 1

TENTATIVE TRACT NO. 19232 - CONCEPTUAL GRADING PLAN

MDS Proj. Date: 1/17/2022 PLANNING/Permitting Group MDS File: 21040-191232-GDP-01.dwg
Pkg. Size: 17.1 MB, Sheet 1 of 07
Last Date: 06/27/2022 11:45:51 AM By: STATISTOR
MDS Proj. Date: 1/17/2022 PLANNING/Permitting Group MDS File: 21040-191232-GDP-01.dwg
Pkg. Size: 17.1 MB, Sheet 1 of 07
Last Date: 06/27/2022 11:45:51 AM By: STATISTOR



VICINITY MAP
N.T.S.
2006 THOMAS BROTHERS
MAP BOOK, PAGES - GRID -

GENERAL INFORMATION:

- EXISTING LAND USE: SINGLE-FAMILY RESIDENTIAL
- EXISTING ZONE: R-17 (SINGLE-FAMILY RESIDENTIAL)
- EXISTING GENERAL PLAN: LDR (LOW DENSITY RESIDENTIAL)
- PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL
- PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)
- ADJACENT LAND USES:
 - NORTH: R-17 (SINGLE-FAMILY RESIDENTIAL)
 - EAST: R-17 (SINGLE-FAMILY RESIDENTIAL)
 - SOUTH: LAMPSOM AVENUE
 - WEST: R-2 (MULTI-FAMILY RESIDENTIAL)
- PARK REQUIREMENT TO BE MET BY PARK IN LIEU FEES
- SCHOOL DISTRICTS:
 - ELEMENTARY: G.G.S.D. (BROOKHURST)
 - INTERMEDIATE: G.G.S.D. (RALSTON)
 - HIGH SCHOOL: G.G.S.D. (RANCHO ALAMITOS)
- MULTIPLE FINAL MAPS MAY BE FILED PURSUANT TO SECTION 66456.1 OF THE CALIFORNIA GOVERNMENT CODE
- ALL PROPOSED MANUFACTURED SLOPES SHALL BE CONSTRUCTED AT A MAXIMUM OF 2% UNLESS OTHERWISE NOTED ON THE PLAN
- ESTIMATED EARTHWORK QUANTITIES:
 - RAW CUT:
 - RAW FILL:
- THE PRELIMINARY GEOTECHNICAL SOILS REPORT WAS PREPARED BY
- THERE ARE FOUR EXISTING HABITABLE STRUCTURES WITHIN THE TRACT BOUNDARIES TO BE DEMOLISHED AND REMOVED.
- PROPOSED STREETS "A" AND "B" WITHIN VESTING TENTATIVE TRACT MAP 19232 SHALL BE PRIVATE AND MAINTAINED BY AN APPROVED HOMEOWNERS ASSOCIATION.
- THE APPLICANT/DEVELOPER RESERVES THE RIGHT TO MERGE LOTS ON THE FINAL MAP.
- PROPOSED VESTING TENTATIVE TRACT MAP 19232 INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF LAND BEING SUBDIVIDED.
- VESTING TENTATIVE TRACT MAP 19232 LIES WITHIN FEMA FLOOD ZONE "X" SHOWN ON FIRM NO. 06090C0136J, DATED DECEMBER 3, 2009.
- PAID ELEVATIONS SHOWN ON THE VESTING TENTATIVE TRACT MAP MAY BE ADJUSTED PLUS OR MINUS 2.00 FEET.
- THERE ARE NO ACTIVE WELLS LOCATED WITHIN THE TRACT BOUNDARY.
- TOPOGRAPHIC SURVEY WAS FLOWN AND COMPILED BY DON READ AERIAL CORPORATION ON FEBRUARY 8, 2022.
- PROPOSED VESTING TENTATIVE TRACT MAP 19232 IS NOT A GATED COMMUNITY.
- ALL PROPOSED RESIDENTIAL LOTS SHALL MAINTAIN A 2% MINIMUM GRADE FROM REAR YARD TO THE PROPOSED PRIVATE STREET.
- THERE IS NO OPEN STORM DRAIN CHANNEL PROPOSED.
- PROPOSED VEHICULAR ACCESS SHALL BE RESTRICTED ON LAMPSOM AVENUE.
- PROPOSED OPEN SPACE LOTS "B" AND "D" SHALL BE PRIVATE AND MAINTAINED BY AN APPROVED HOMEOWNERS ASSOCIATION.
- PROPOSED FIRE TURNAROUND DESIGNED PER THE O.C.F.A. HAMMERHEAD STANDARD.
- PROPOSED CROSS GUTTER AT LAMPSOM AVENUE TO BE CONSTRUCTED PER CITY OF GARDEN GROVE STANDARD PLAN NO. B-119.

LEGAL DESCRIPTION:

PARCEL A: PARCEL 1, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

PARCEL B: PARCEL 2, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

PARCEL C: PARCEL 3, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

PARCEL D: PARCEL 4, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 113, PAGES 1 AND 2, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.

VESTING TENTATIVE TRACT NO. 19232

TOTAL OF LOTS: TOTAL: 17
SINGLE FAMILY RESIDENTIAL: 13
PRIVATE STREET: 1
OPEN SPACE: 3

GROSS ACREAGE: 1.60
CONTOUR INTERVAL: 1 FOOT
SCALE: 1"=20'
DATE: APRIL 15, 2022

APPLICANT/DEVELOPER

PLC COMMUNITIES
888 SAN CLEMENTE DRIVE, SUITE 200
NEWPORT BEACH, CA 92660
Tel: (949) 721-8200
ATTN: BILL HOLMAN

OWNER

RAY A. BICKNELL AND JO. H. BICKNELL
TRUSTEES OF THE BICKNELL FAMILY TRUST
9071, 9081 AND 9091 LAMPSOM AVENUE
GARDEN GROVE, CA 92841

ENGINEER

MDS CONSULTING
17320 REDHILL AVENUE, SUITE 350
IRVINE, CA 92614
(949) 251-8821
CONTACT: ED LENTH

ASSESSORS PARCEL NUMBER

133-183-55, APN: 133-183-56, APN: 133-183-57, APN: 133-183-58

UTILITIES

WATER
CITY OF GARDEN GROVE WATER DEPT.
11391 ACACIA PARKWAY
GARDEN GROVE, CA 92640
(714) 741-5078

CABLE
TIME WARNER
11985 VALLEY VIEW STREET
GARDEN GROVE, CA 92845
(714) 903-4000

SEWER
CITY OF GARDEN GROVE SANITARY DISTRICT
13802 NEWHOPE STREET
GARDEN GROVE, CA 92843
(714) 741-5395

TRASH
GARDEN GROVE SANITARY DISTRICT
C/O REPUBLIC SERVICES
1131 NORTH BLUE GUM STREET
ANAHEIM, CA 92806
(800) 700-8610
(714) 238-3300

GAS
SOUTHERN CALIFORNIA GAS COMPANY
713 NORTH MAIN STREET
SANTA ANA, CA 92701
(800) 427-2200

PHONE
VERIZON
(800) 483-4000

ELECTRIC
SOUTHERN CALIFORNIA EDISON
7333 BOLSA
WESTMINSTER, CA 92683
(800) 655-4555

VESTING TENTATIVE TRACT NO. 19232 PRELIMINARY UTILITIES AND STREET LIGHTING PLAN

CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA
SHEET 1 OF 1

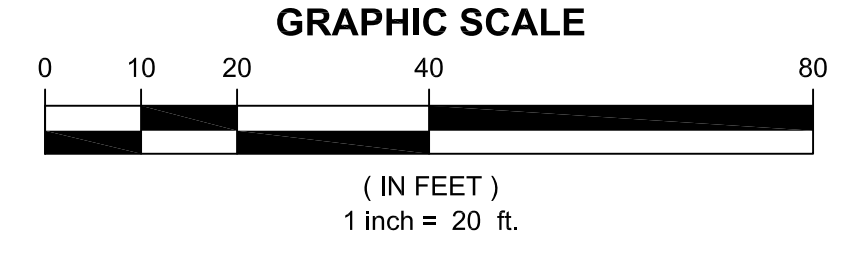
DATE:	NO.	REVISIONS

PREPARED FOR:
PLC COMMUNITIES

PREPARED BY:
MDS CONSULTING
MORSE SCHULTZ
PLANNERS ENGINEERS SURVEYORS

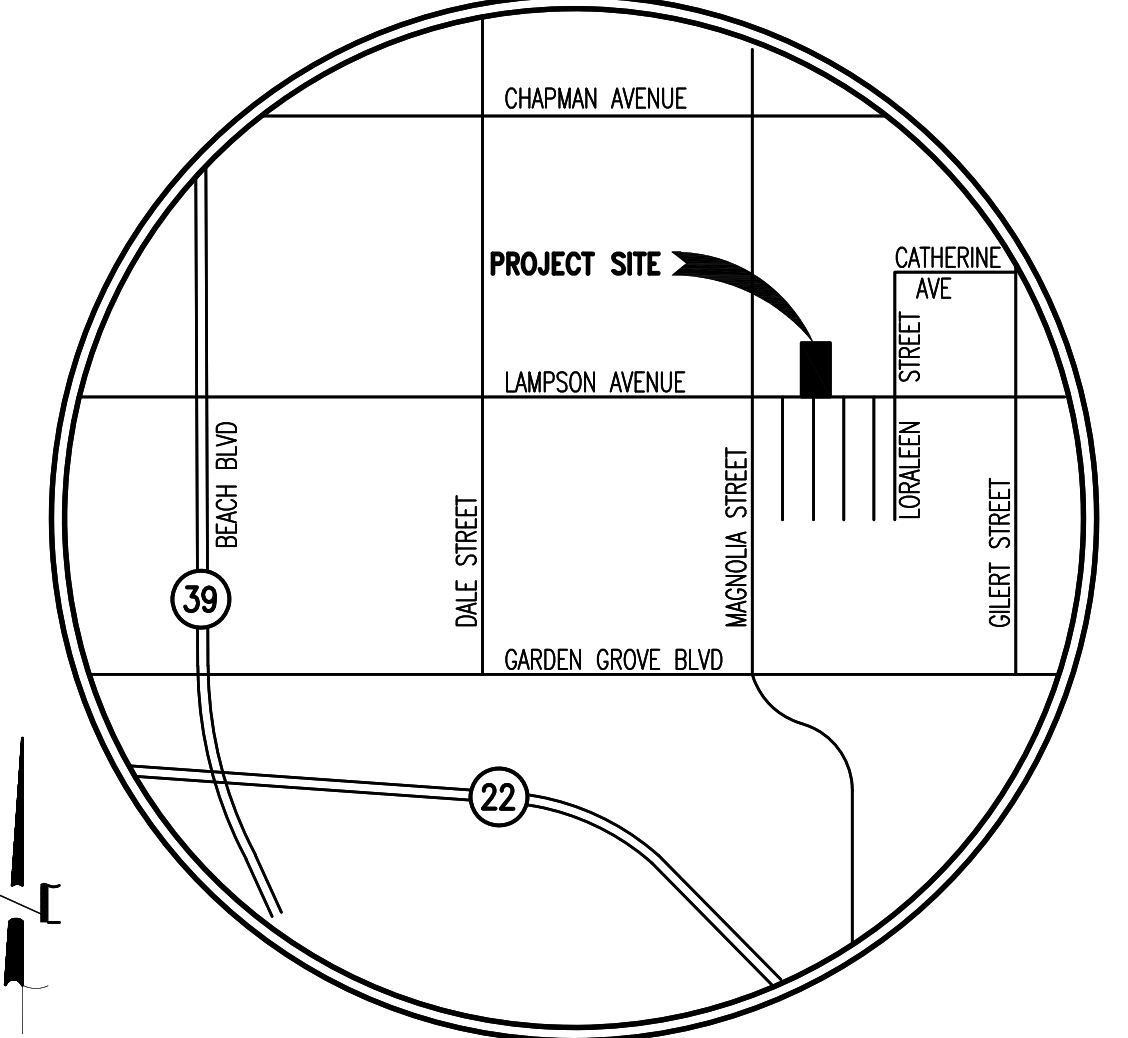
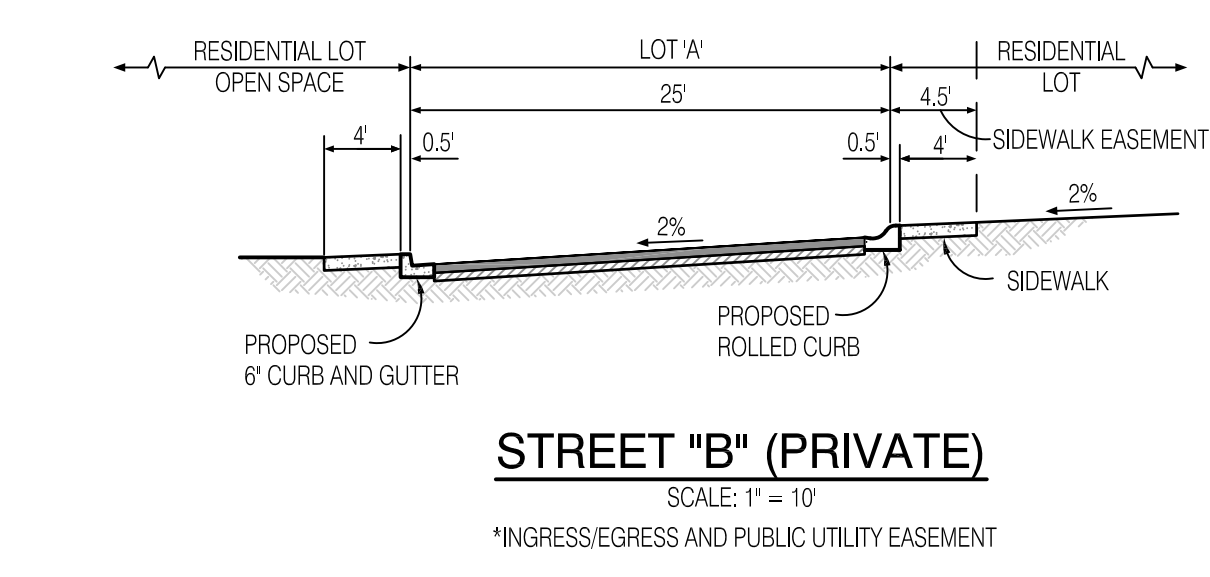
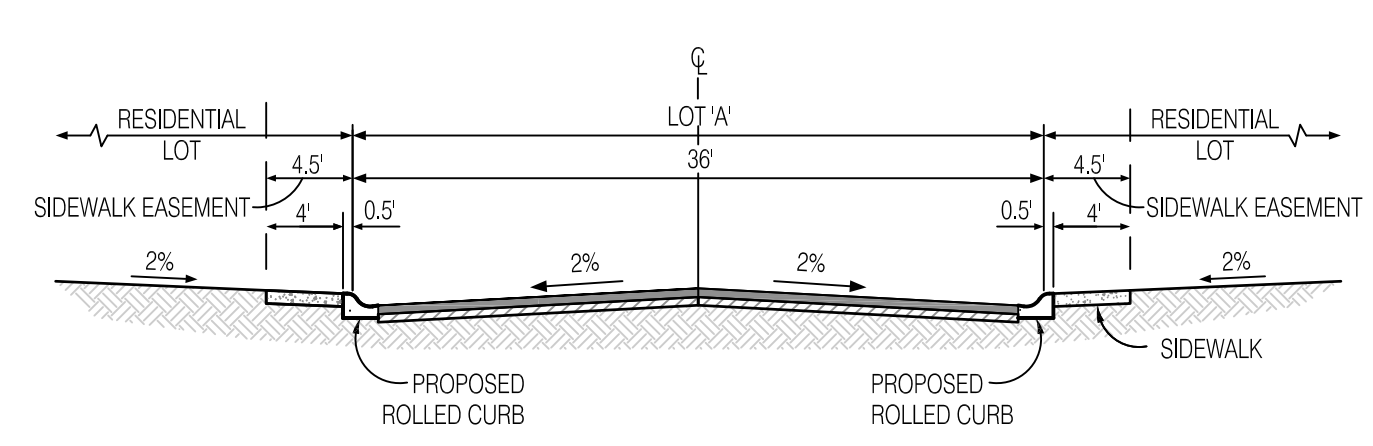
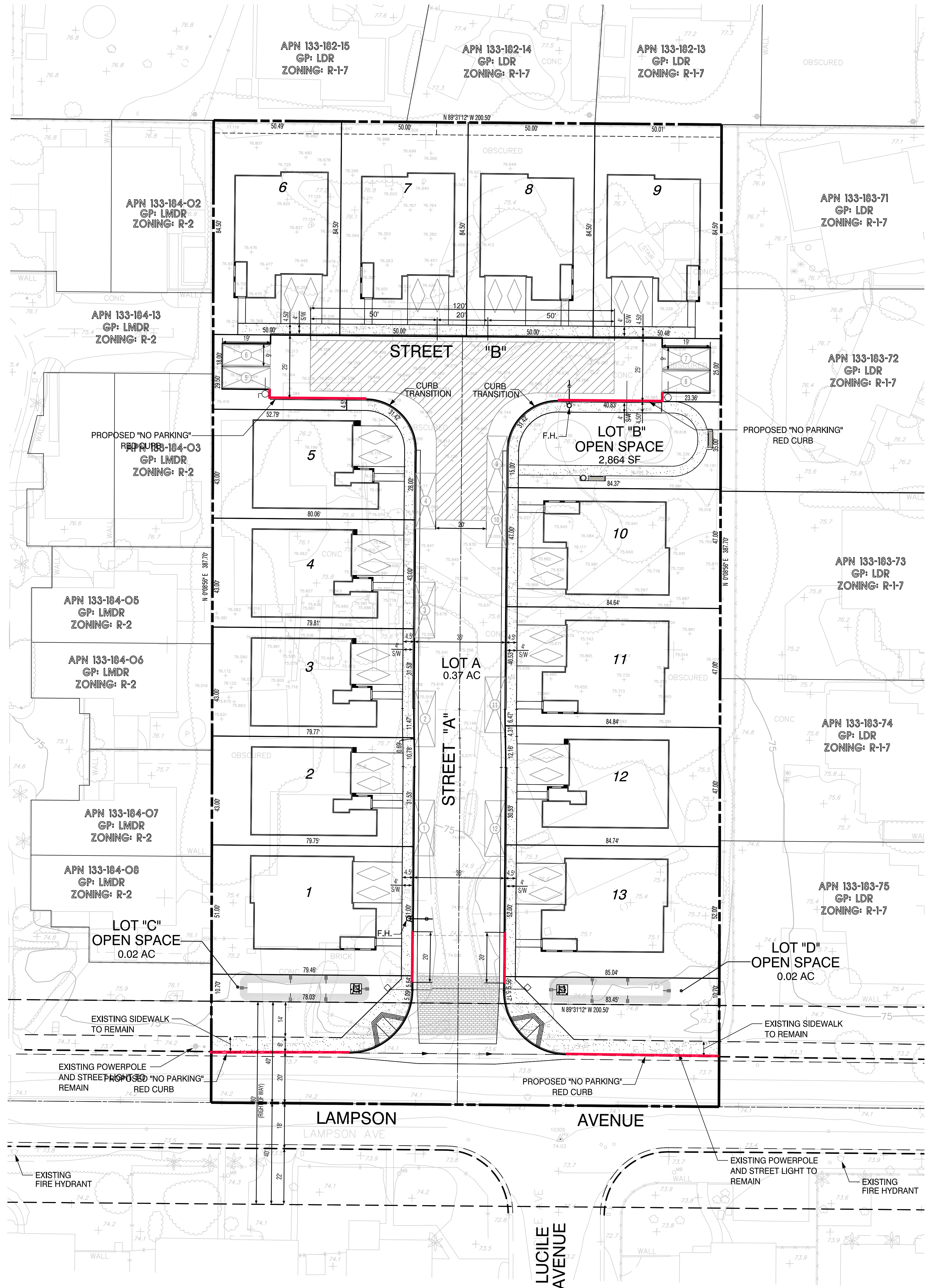
MDS CONSULTING
17320 REDHILL AVENUE, SUITE 350
IRVINE, CA 92614
PHONE: (949) 251-8821
CONTACT: EDWARD J. LENTH

EDWARD J. LENTH RCE 052496
EXP. DATE: DECEMBER 31, 2022



TENTATIVE TRACT NO. 19232 - PRELIMINARY UTILITIES AND ST LIGHTING PLAN

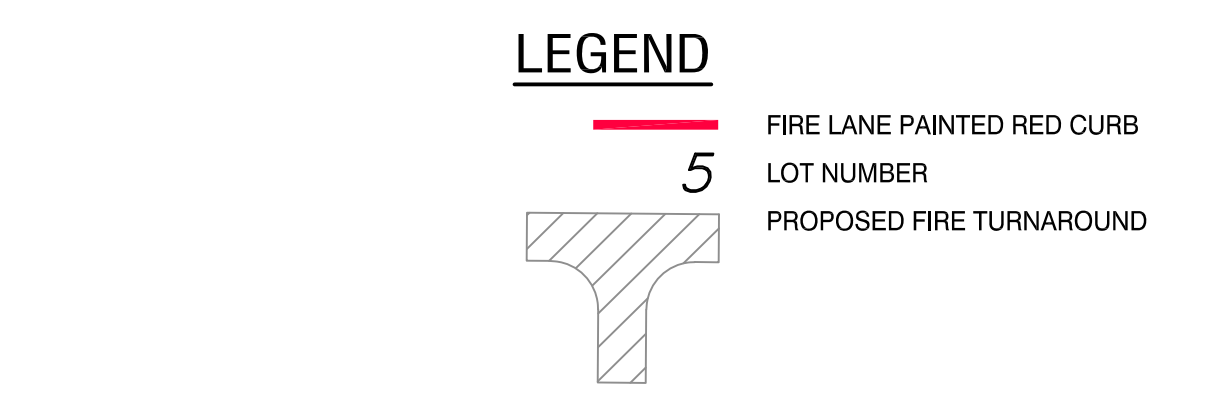
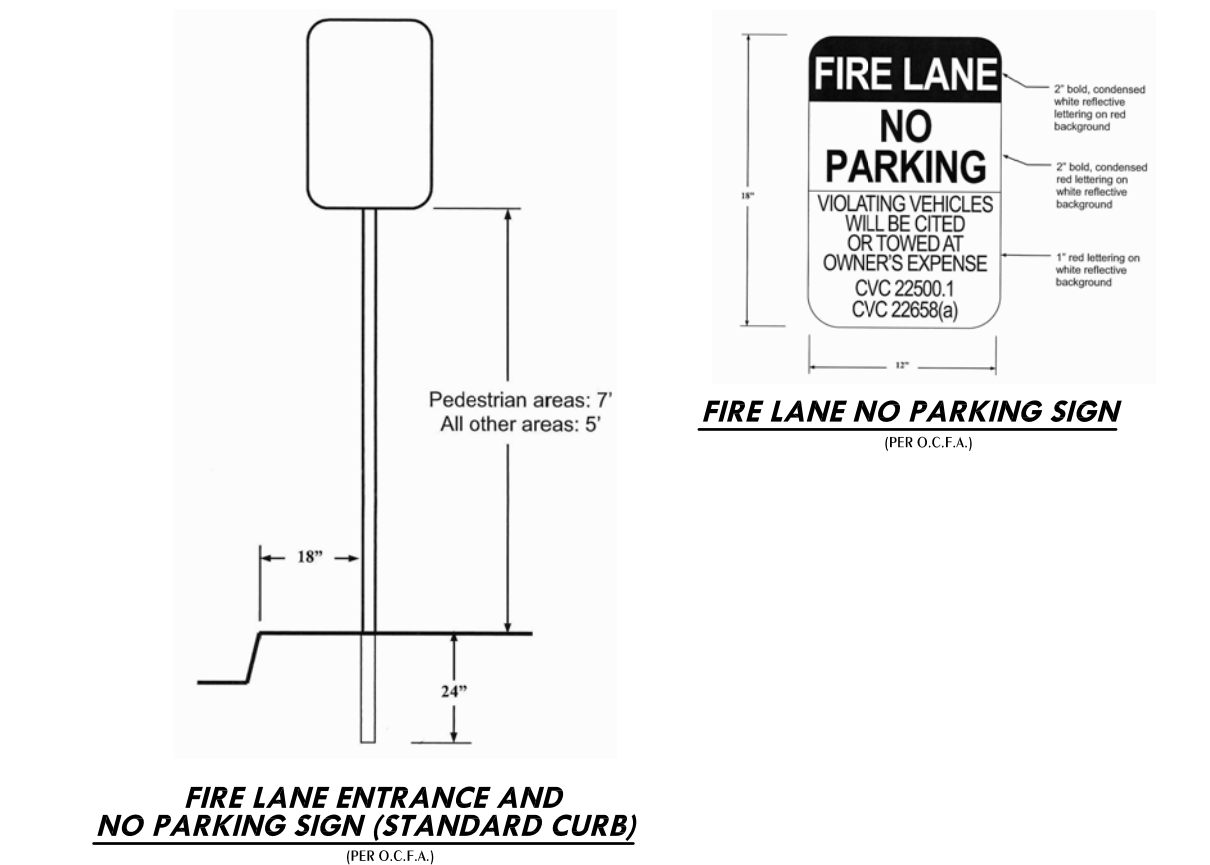
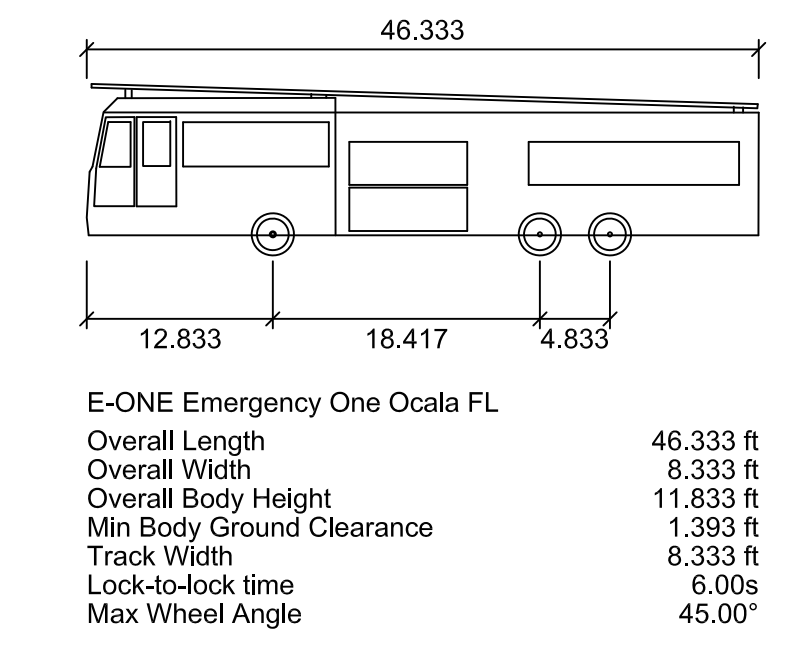
MDS Proj. Date: 03/29/22; Author: JML/EDL; Checker: JML/EDL; Date: 04/15/22; Title: 19232 PRELIMINARY UTILITIES AND STREET LIGHTING PLAN; Scale: 1"=20'; Plot Date: 04/15/22; 10:52:01 AM By: JML/EDL



GENERAL INFORMATION:

FIRE AUTHORITY NOTES

- GENERAL REQUIREMENTS
- OCFA SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 PM ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL OCFA INSPECTION SCHEDULING AT (714) 573-6150.
 - A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHES) FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION. ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 68,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
 - PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTAL. CONTACT INSPECTION SCHEDULING TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
 - AN ORIGINAL APPROVED, SIGNED, WET-STAMPED OCFA FIRE MASTER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
 - ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES.
 - CONSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
 - TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED AND PERMITTED BY THE OCFA PRIOR TO USE.
 - THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
 - ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.



- FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G. ROLLED, RAMPED, ETC.). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR FUTURE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED OCFA MASTER FIRE PLAN AND STANDARDS IDENTIFIED IN OCFA GUIDELINE B-9 FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
 - PERMANENT, TEMPORARY AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 68,000 LBS AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
 - FIRE LANE SIGNS AND CURBS SHALL MEET THE SPECIFICATIONS LISTED IN OCFA GUIDELINE B-9 AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
 - ALL FIRE HYDRANTS SHALL HAVE A 'BLUE REFLECTIVE PAVEMENT MARKER' INDICATING THEIR LOCATION PER THE OCFA STANDARD. ON PRIVATE PROPERTY, MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
 - VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
 - ANY FUTURE MODIFICATION TO THE APPROVED FIRE MASTER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADI, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION AND APPROVAL BY THE OCFA.
 - APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN OCFA GUIDELINE B-9 AND RELATED PORTIONS OF THE CFC AND CFC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.
 - IN THE EVENT OF LOSS OF NORMAL POWER TO THE GATE OPENING MECHANISM, IT SHALL BE AUTOMATICALLY TRANSFERRED TO A FAIL-SAFE MODE ALLOWING THE GATE TO BE PUSHED OPEN BY A SINGLE FIREFIGHTER WITHOUT ANY OTHER ACTIONS, KNOWLEDGE, OR MANIPULATION OF THE OPERATING MECHANISM BEING NECESSARY AND WITHOUT THE USE OF BATTERY BACKUP POWER. SHOULD THE GATE BE TOO LARGE OR HEAVY FOR A SINGLE FIREFIGHTER TO OPEN MANUALLY, A SECONDARY SOURCE OF POWER BY MEANS OF AN EMERGENCY GENERATOR OR A CAPACITOR WITH ENOUGH RESERVE TO AUTOMATICALLY AND IMMEDIATELY OPEN THE GATE UPON LOSS OF PRIMARY POWER SHALL BE PROVIDED.
 - THE GATE CONTROL FOR ELECTRONIC GATES SHALL BE OPERABLE BY A KNOX EMERGENCY OVERRIDE KEY SWITCH (WITH DUST COVER). THE KEY SWITCH SHALL BE PLACED BETWEEN 42" AND 48" ABOVE THE ROADWAY SURFACE AT THE RIGHT SIDE OF THE ACCESS GATE WITHIN TWO FEET OF THE EDGE OF THE ROADWAY. THE KEY SWITCH SHALL BE READILY VISIBLE AND UNOBSTRUCTED FROM THE FIRE LANE LEADING TO THE GATE. THE KEY SWITCH SHALL BE CLEARLY LABELED "FIRE DEPT".
 - FOR ELECTRICALLY OPERATED GATES, THE TYPE OF REMOTE GATE OPENING DEVICE THAT WILL BE INSTALLED SHALL BE NOTED ON THE PLAN. THE REMOTE OPENING DEVICE IS REQUIRED IN ADDITION TO THE KNOX KEY SWITCH. THE REMOTE OPENING SYSTEMS CURRENTLY AVAILABLE FOR USE BY OCFA ARE EITHER OPTICAL OR RADIO-CONTROLLED. CURRENTLY APPROVED GATE OPENING SYSTEMS INCLUDE:
 - MORTON
 - SLIDEMASTER (SYSTEM SHALL BE CONFIGURED IN SINGLE PULSE MODE WITH 1/8 SECOND TRANSMISSION WINDOW)
 - ONE-TRIP-ROCK-ROCK-ROCK-ROCK
 - TOMAR
 - UPON ACTIVATION OF THE KEY SWITCH, THE GATE SHALL OPEN AND REMAIN OPEN UNTIL RETURNED TO NORMAL OPERATION BY MEANS OF THE KEY SWITCH. WHERE A GATE CONSISTS OF TWO LEAVES, THE KEY SWITCH SHALL OPEN BOTH SIMULTANEOUSLY.
 - THE KEY SWITCH SHALL BE LABELED WITH A PERMANENT RED SIGN NOT LESS THAN 1/2" CONTRASTING LETTERS READING "FIRE DEPT" OR WITH A "KNOX" DECAL. NOTE THIS REQUIREMENT ON THE PLAN.
- * USE LIFTMASTER MODEL "SL3000ULLE" EMERGENCY ACCESS SLIDE GATE OPERATOR - SPECS PROVIDED BY FENCEWORKS, INC.

APPLICANT/DEVELOPER

PLC COMMUNITIES
888 SAN CLEMENTE DRIVE, SUITE 200
NEWPORT BEACH, CA 92660
TEL: (949) 721-8200
ATTN: BILL HOLMAN

OWNER

RAY A BICKNELL AND JO. H. BICKNELL
TRUSTEES OF THE BICKNELL FAMILY TRUST
9071, 9081 AND 9091 LAMPSON AVENUE
GARDEN GROVE, CA 92641

ENGINEER

MDS CONSULTING
17320 REDHILL AVENUE, SUITE 350
IRVINE, CA 92614
(949) 251-8821
CONTACT: ED LENTH

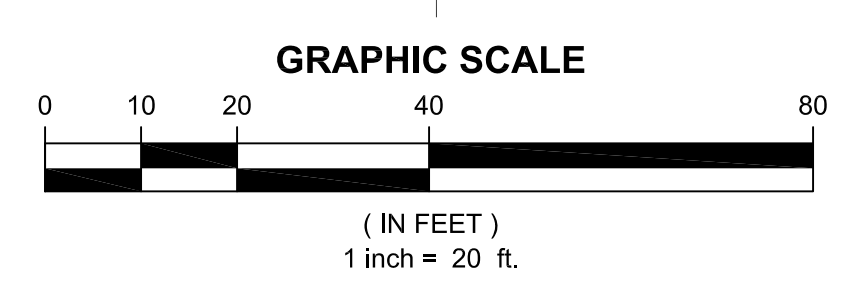
**VESTING TENTATIVE TRACT NO. 19232
FIRE MASTER PLAN**
CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA
SHEET 1 OF 1

DATE:	NO.	REVISIONS

PREPARED FOR:
PLC COMMUNITIES

PREPARED BY:
MDS CONSULTING
MORSE SCHULTZ
PLANNERS ENGINEERS SURVEYORS

MDS CONSULTING
17320 REDHILL AVENUE, SUITE 350
IRVINE, CA 92614
PHONE: (949) 251-8821
CONTACT: EDWARD J. LENTH



TENTATIVE TRACT NO. 19232 - FIRE MASTER PLAN



PLANTING LEGEND

- 36" BOX CANOPY SHADE TREE - 2 TOTAL WUXOLS
 - 24" BOX LAMPSON STREET TREE - 4 TOTAL
 - ULMUS PARVIFLORA / CHINESE ELM MODERATE
 - LOPHOSTEMON CONFERTUS / BRISBANE BOX MODERATE
 - 24" BOX INTERIOR TRACT STREET TREE - 13 TOTAL
 - ARBUTUS UNEDO 'MARINA' / STRAWBERRY TREE LOW
 - CUPANIOPSIS ANACARDIODES / CARROTWOOD TREE MODERATE
- LANDSCAPE AREAS**
- +/- 4,025 SF HOA MAINTAINED LANDSCAPE AREA
 - +/- 1,390 SF HOA MAINTAINED PARK SYNTHETIC TURF AREA
 - +/- 6,700 SF HOMEOWNER MAINTAINED FRONT YARD LANDSCAPE AREA

HOA & HOMEOWNER MAINTAINED PLANT MATERIAL
(MAY INCLUDE BUT NOT LIMITED TO):

SHRUBS BOTANICAL / COMMON NAME	SIZE	SPACING	WUCOL
BACCHARIS 'CENTENNIAL' / CENTENNIAL BACCHARIS	5 GAL.	48" O.C.	LOW
CAESALPINIA GILLESII / DESERT BIRD OF PARADISE	5 GAL.	48" O.C.	LOW
CALLISTEMON V. 'LITTLE JOHN' / DWARF BOTTLE BRUSH	1.5 GAL.	36" O.C.	LOW
CAREX DIVULSA / EUROPEAN GRAY SEDGE	1 GAL.	24" O.C.	LOW
CEANOTHUS 'DARK STAR' / DARK STAR CEANOTHUS	5 GAL.	48" O.C.	LOW
DIANELLA R. 'LITTLE REV' / LITTLE REV FLAX LILY	1 GAL.	24" O.C.	LOW
HESPERALOE PARVIFLORA / RED YUCCA	5 GAL.	36" O.C.	LOW
LAVANDULA STOECHAS / SPANISH LAVENDER	1 GAL.	24" O.C.	LOW
LEUCOPHYLLUM FRUTESCENS / TEXAS RANGER	5 GAL.	48" O.C.	LOW
MUHLENBERGIA CAPILLARIS / PINK MUHLY	5 GAL.	48" O.C.	LOW
ROSMARINUS O. 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY	5 GAL.	30" O.C.	LOW
TECOMA 'SUNRISE' / SUNRISE ESPERANZA	5 GAL.	60" O.C.	LOW
WESTRINGIA FRUTICOSA - COAST ROSEMARY	5 GAL.	60" O.C.	LOW

GROUNDCOVERS BOTANICAL / COMMON NAME	SIZE	SPACING	WUCOL
MANDRALISCAE 'BLUE CHALK STICKS' / SENECIO	1 GAL.	18-24" O.C.	LOW
MYOPORUM PARVIFOLIUM / CREEPING MYOPORUM	1 GAL.	18-36" O.C.	LOW
ROSMARINUS O. 'PROSTRATUS' / PROSTRATE ROSEMARY	1 GAL.	18-36" O.C.	LOW

VINES BOTANICAL / COMMON NAME	SIZE	SPACING	WUCOL
MACFADYENA UNGUIS-CATI / CAT'S CLAW	5 GAL.	8" O.C.	LOW
LONICERA JAPONICA / JAPANESE HONEYUCKLE	5 GAL.	8" O.C.	LOW

CONSTRUCTION LEGEND

SYM.	DESCRIPTION
[Symbol]	ASPHALT STREETS.
[Symbol]	NATURAL GRAY CONCRETE SIDEWALK.
[Symbol]	6" CONCRETE MOWCURB SEPARATING TURF HOA MAINTAINED AREAS FROM HOMEOWNER MAINTAINED AREAS.
[Symbol]	PARK BENCH.
[Symbol]	PARK TRASH RECEPTACLE.
[Symbol]	FROG AND TURTLE CONCRETE PLAY SCULPTURES. REFER TO SAMPLE PHOTOS ON CONCEPTUAL PLAN.
[Symbol]	ENHANCED ENTRY DRIVE WITH 80MM SANDSTONE COLORED DEL. MAR PAVERS AVAILABLE THROUGH ORCO BLOCK IN A RUNNER PATTERN. SURROUNDED BY 12" WIDE NATURAL COLOR CONCRETE BANDS.
[Symbol]	EXISTING 6" PRECISION BLOCK WALL TO PROTECT IN PLACE. REFER TO WALL PLAN.
[Symbol]	NEW 6" TAN PRECISION BLOCK WALL. REFER TO DETAIL 'A' ON WALL PLAN.
[Symbol]	NEW 6" PRECISION BLOCK WALL WITH TAN STUCCO FINISH. REFER TO DETAIL 'B' ON WALL PLAN.
[Symbol]	NEW 6" TAN COLOR VINYL PRIVACY FENCE. REFER TO DETAIL 'C' ON WALL PLAN.
[Symbol]	NEW 3" WIDE BEIGE COLOR VINYL GATE. REFER TO DETAIL 'D' ON WALL PLAN.



IRRIGATION CONCEPT:
THE IRRIGATION DESIGN WILL INCORPORATE THE LATEST IN SMART IRRIGATION TECHNOLOGIES. ALL NEW LANDSCAPE AREAS WILL INCLUDE HIGH EFFICIENCY IRRIGATION METHODS TO INCLUDE SUB-SURFACE DRIP STREAM BUBBLERS, AND ROTARY NOZZLES. ALL POP UP TREE STREAM BUBBLERS SHALL HAVE PC SCREENS AND BE INSTALLED ON SEPARATE VALVES. A SMART IRRIGATION CONTROLLER WITH A RAIN SHUT OFF DEVICE WILL ALSO BE INCORPORATED. BARK MULCH WILL BE USED TO RETAIN MOISTURE AND REDUCE EVAPORATION AND AN IRRIGATION SCHEDULE WILL BE PROVIDED TO PROGRAM THE CONTROLLER. TWO IRRIGATION SCHEDULES SHALL BE PREPARED, ONE FOR PLANT ESTABLISHMENT AND ONE FOR AFTER PLANT ESTABLISHMENT.

LANDSCAPE CONCEPT:
THIS LANDSCAPE WILL CONSIST OF CALIFORNIA-FRIENDLY, LOW WATER USE PLANT MATERIAL WITH ALL PLANTS CHOSEN FROM THE LOW AND MEDIUM WATER USE CATEGORY ACCORDING TO WUCOLS. PARKWAY AND CORNER PLANTING AREAS WILL NOT CONFLICT WITH VEHICULAR LINE OF SIGHT AND SHRUBS IN THESE AREAS WILL BE A MAXIMUM OF 30' NATURAL HEIGHT.

UTILITIES AND LIGHT STANDARD LOCATIONS SHALL BE COORDINATED WITH OWNER'S ENGINEERING TEAM TO AVOID CONFLICTS WITH REQUIRED TREE LOCATIONS AND UTILITY SCREENING.

ASSESSORS PARCEL NUMBER

133-183-55, APN: 133-183-56, APN: 133-183-57, APN: 133-183-58

LAND USE SUMMARY

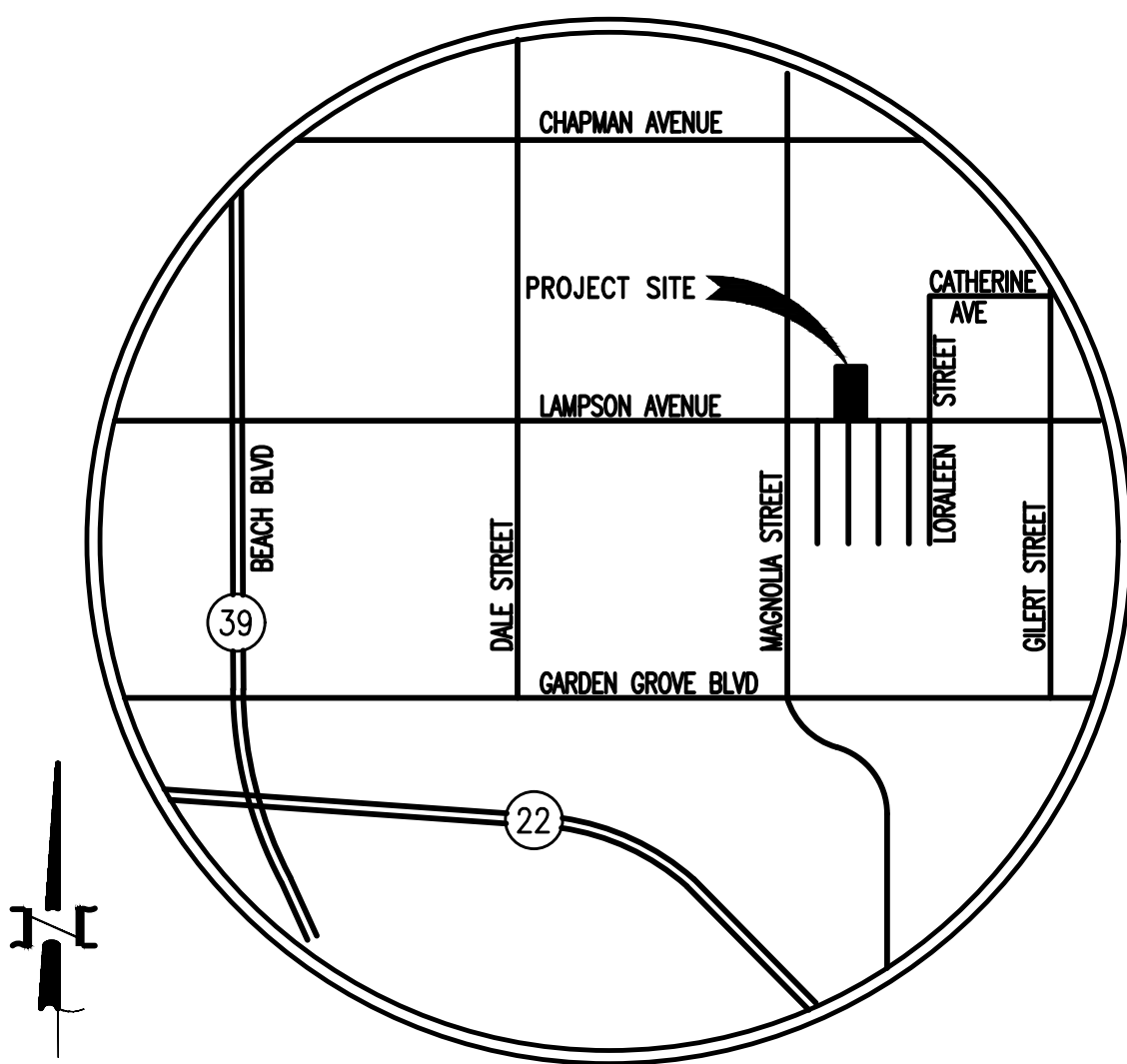
LOT	LAND USE	AREA (AC)	PERCENT (%)
1-13	SINGLE FAMILY LOT	1.17	73.1%
"A"	PRIVATE STREET	0.32	20.0%
"B-D"	OPEN SPACE LOTS	0.11	6.9%
TOTAL:		1.60	100%

LOT AREA SUMMARY

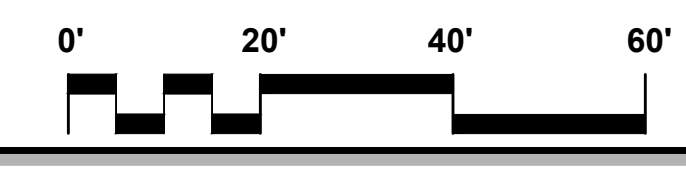
NUMBER OF RESIDENTIAL LOTS: 13
 MINIMUM LOT SIZE: 43' x 79.7'
 MINIMUM LOT AREA: 3,427 SF
 MAXIMUM LOT AREA: 4,414 SF
 AVERAGE LOT AREA: 3,933 SF
 GROSS ACRES: 1.6 ACRES
 NET ACRES: 1.3 ACRES
 GROSS DENSITY: 8.13 DU/ACRE
 NET DENSITY: 10.0 DU/ACRE
 *(GROSS DENSITY MINUS PRIVATE STREETS "A"-"B" (LOT "A"))

UTILITIES

- WATER**
CITY OF GARDEN GROVE WATER DEPT.
11391 ACACIA PARKWAY
GARDEN GROVE, CA 92640
(714) 741-5078
- SEWER**
CITY OF GARDEN GROVE SANITARY DISTRICT
13802 NEWHOPE STREET
GARDEN GROVE, CA 92643
(714) 741-5395
- GAS**
SOUTHERN CALIFORNIA GAS COMPANY
713 NORTH MAIN STREET
SANTA ANA, CA 92701
(800) 427-2200
- ELECTRIC**
SOUTHERN CALIFORNIA EDISON
7333 BOLSA
WESTMINSTER, CA 92683
(800) 655-4555
- CABLE**
TIME WARNER
11925 VALLEY VIEW STREET
GARDEN GROVE, CA 92645
(714) 903-4000
- TRASH**
GARDEN GROVE SANITARY DISTRICT
C/O REPUBLIC SERVICES
1131 NORTH BLUE GUM STREET
ANAHEIM, CA 92806
(800) 700-8610
(714) 238-3300
- PHONE**
VERIZON
(800) 483-4000



VICINITY MAP
N.T.S.
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6800 INDIANA AVE
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92506
LIC. #2799
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FAX (951) 686-8091

CLIENT:
PLC Communities
888 San Clemente Drive, Suite 200
Newport Beach, CA 92660
949-721-8200
Bill Holman

PROJECT:
Tract 19232
Lampson Avenue
Garden Grove, CA

REVISIONS	DATE	BY

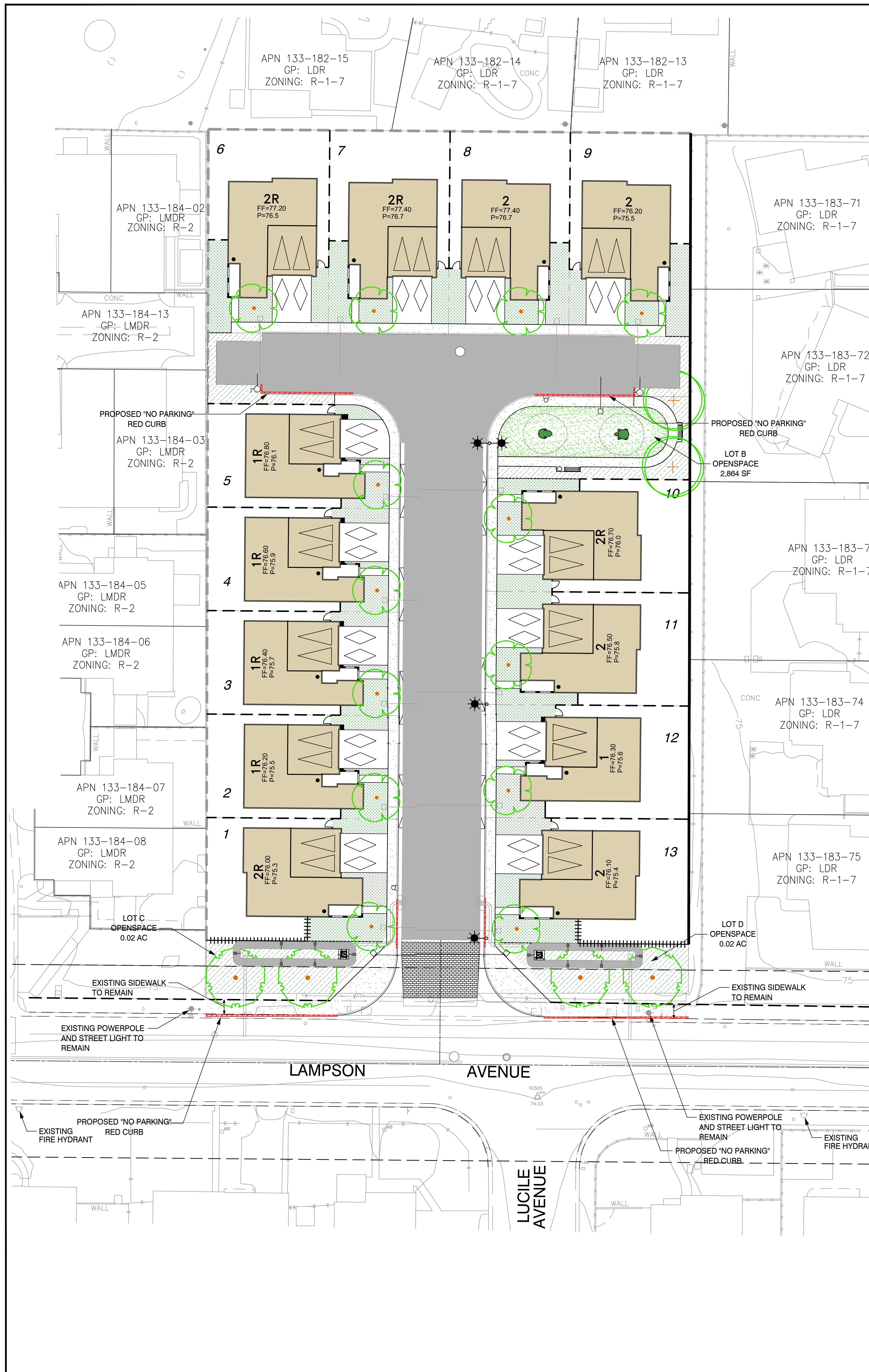


SHEET TITLE
CONCEPTUAL LANDSCAPE
MASTER PLAN

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DRAWN	JS
CHECKED	DG
DATE	06/21/2022
SCALE	1"=20'
JOB NO.	22101

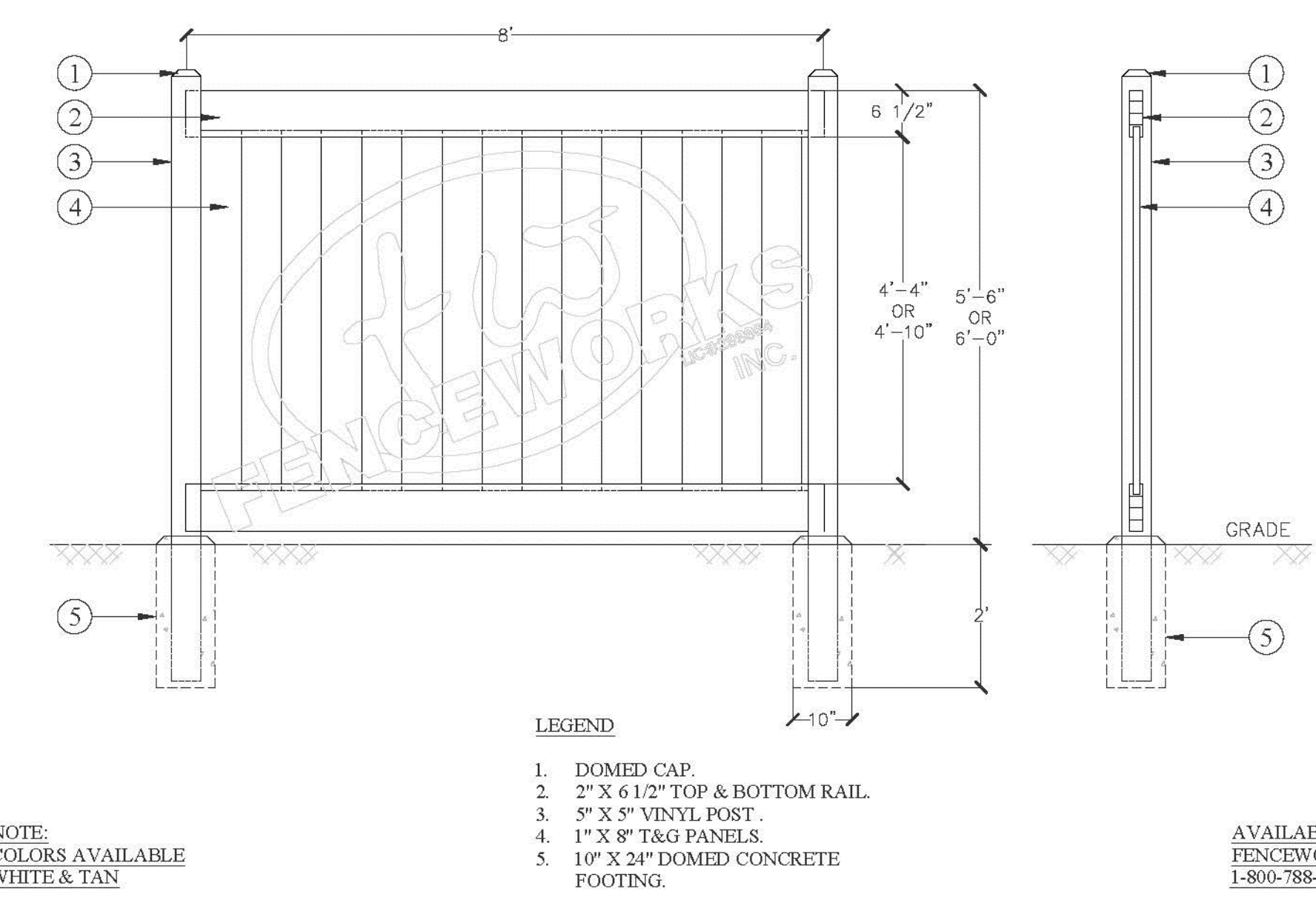
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1
OF 2 SHEETS

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 (See Note on Original Sheet)

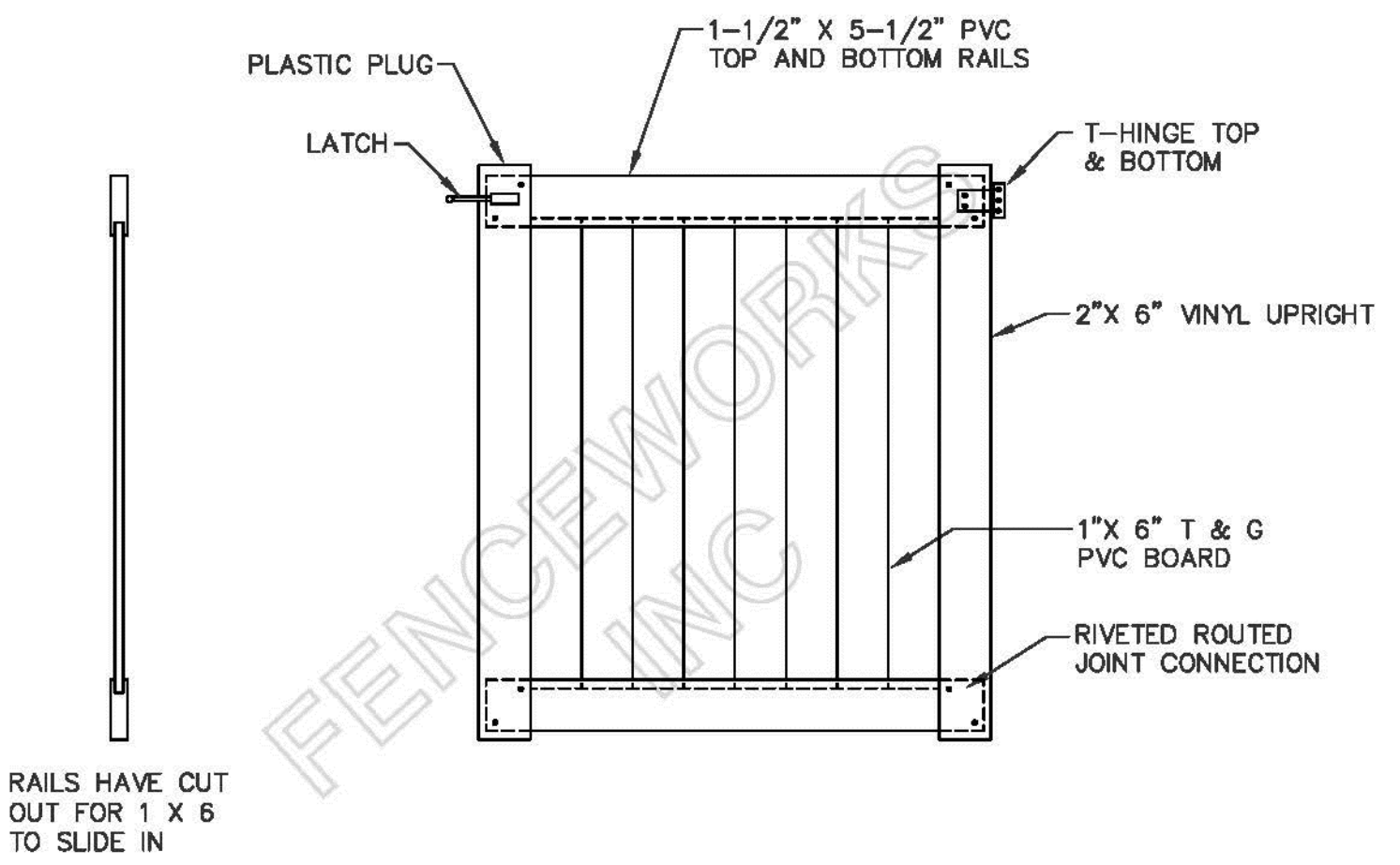


CONSTRUCTION LEGEND

SYM.	DESCRIPTION
ASPHALT	ASPHALT STREETS.
CONCRETE	NATURAL GRAY CONCRETE SIDEWALK.
MOVCURB	6" CONCRETE MOVCURB SEPARATING TURF HOA MAINTAINED AREAS FROM HOMEOWNER MAINTAINED AREAS.
PARK BENCH	PARK BENCH.
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FROG AND TURTLE	FROG AND TURTLE CONCRETE PLAY SCULPTURES. REFER TO SAMPLE PHOTOS ON CONCEPTUAL PLAN.
ENHANCED ENTRY DRIVE	ENHANCED ENTRY DRIVE WITH 80MM SANDSTONE COLORED DEL MAR PAVERS AVAILABLE THROUGH ORCO BLOCK IN A RUNNER PATTERN. SURROUNDED BY 12" WIDE NATURAL COLOR CONCRETE BANDS.
EXISTING WALL	EXISTING 6" PRECISION BLOCK WALL TO PROTECT IN PLACE. REFER TO WALL PLAN.
NEW TAN WALL	NEW 6" TAN PRECISION BLOCK WALL. REFER TO DETAIL 'A' ON WALL PLAN.
NEW STUCCO WALL	NEW 6" PRECISION BLOCK WALL WITH TAN STUCCO FINISH. REFER TO DETAIL 'B' ON WALL PLAN.
NEW VINYL FENCE	NEW 6" TAN COLOR VINYL PRIVACY FENCE. REFER TO DETAIL 'C' ON WALL PLAN.
NEW VINYL GATE	NEW 3' WIDE BEIGE COLOR VINYL GATE. REFER TO DETAIL 'D' ON WALL PLAN.

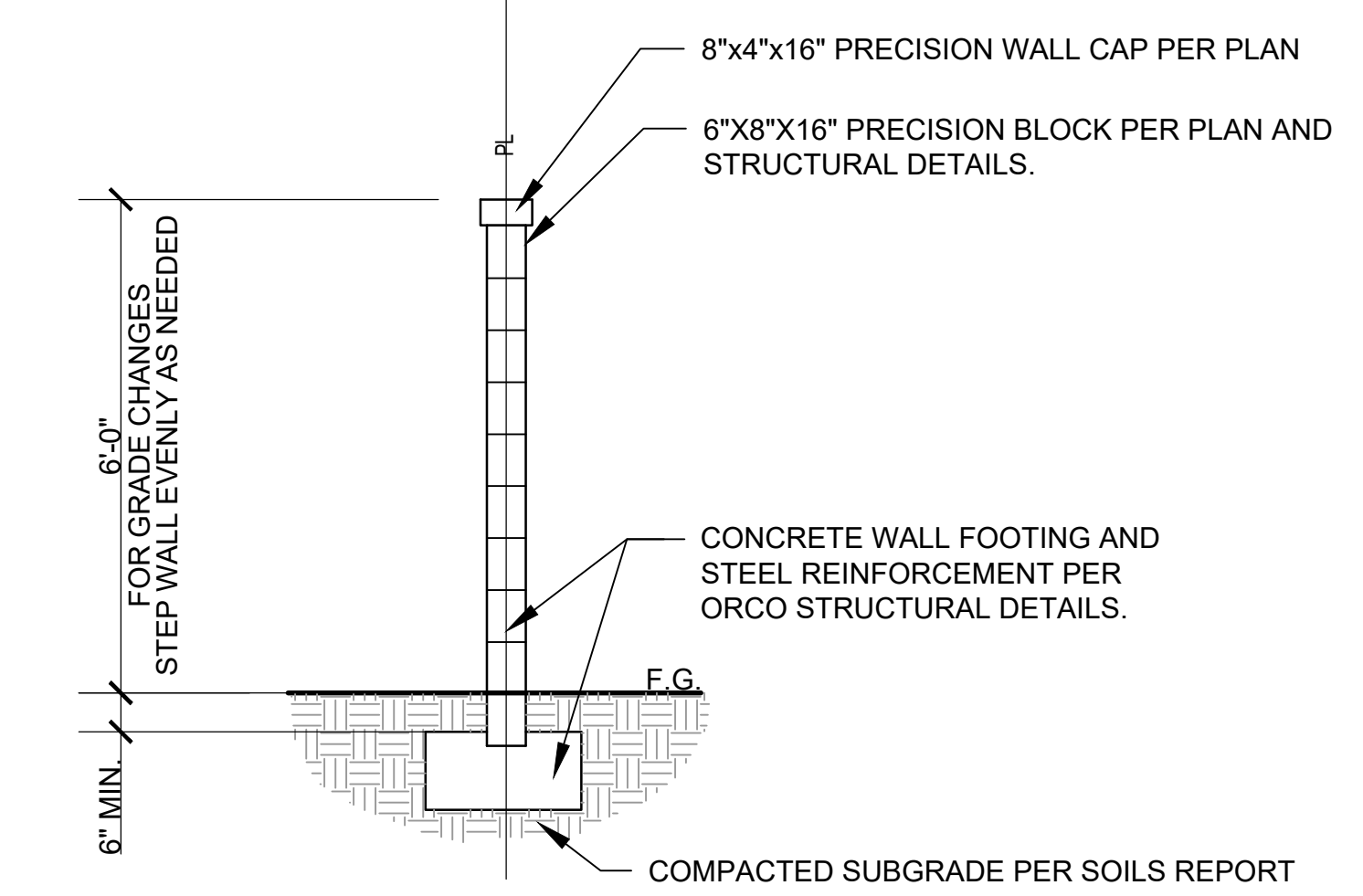


C VINYL PRIVACY FENCE
 N.T.S.



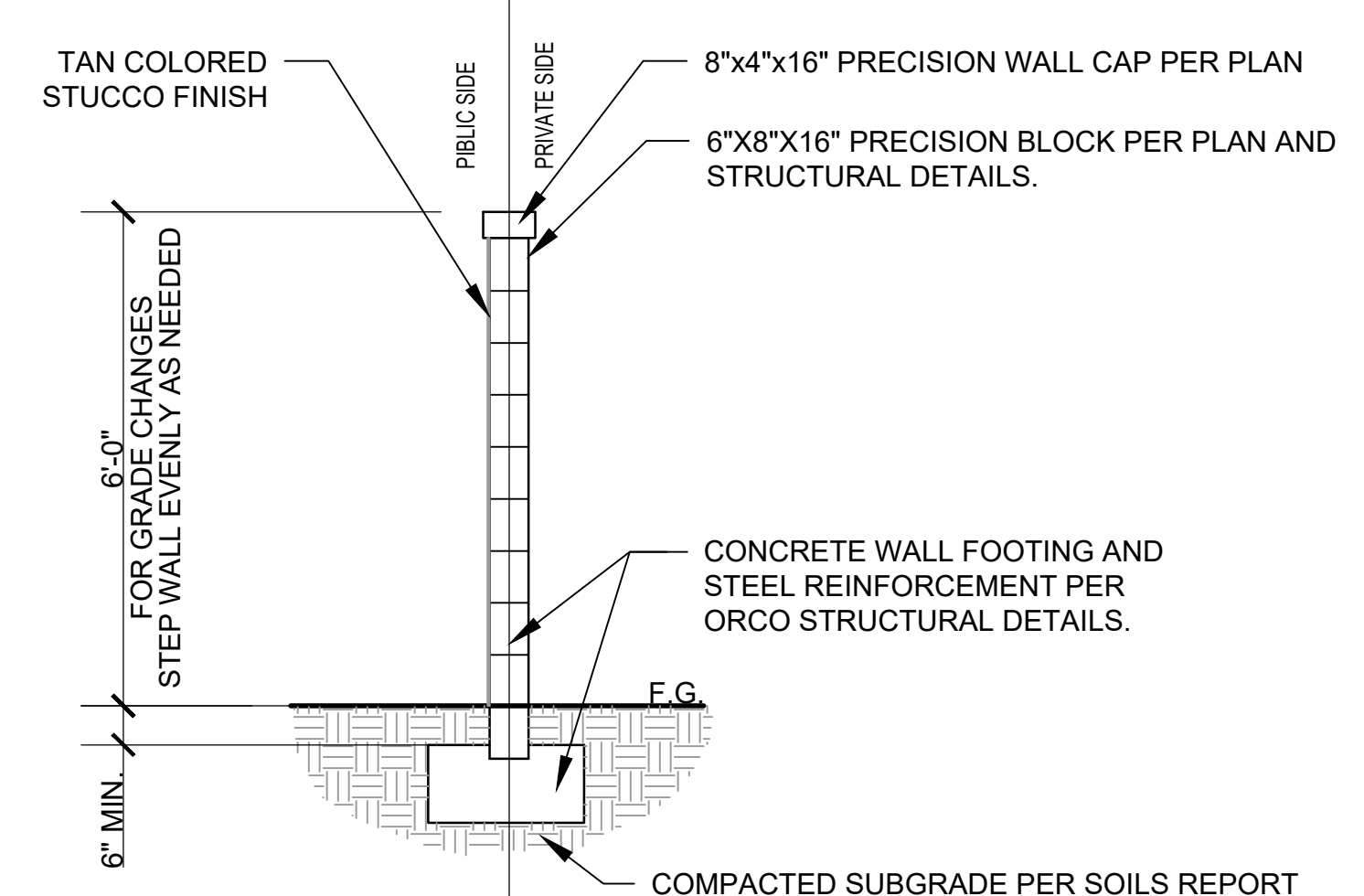
D VINYL GATE
 N.T.S.

NOTES:
 A. CONCRETE BLOCK AND WALL CAPS AVAILABLE FROM ORCO BLOCK. ALLOW 10 WEEKS LEAD AND DELIVERY TIME. CONTACT ERICA GROVER, TEL. (951) 685-1521.
 B. WALLS TO BE CONSTRUCTED PER STRUCTURAL SPECIFICATIONS TO BE PROVIDED BY MANUFACTURER.
 C. MATERIALS SHALL NOT BE SUBSTITUTED WITHOUT APPROVAL OF OWNER, OR OWNER'S REPRESENTATIVE.
 D. AN ANTI-GRAFFITI COATING SHALL BE APPLIED TO THE PUBLIC SIDE OF ALL BLOCK WALLS.
 E. USE SPEC MIX GROUT PER ORCO BLOCK SPECIFICATIONS

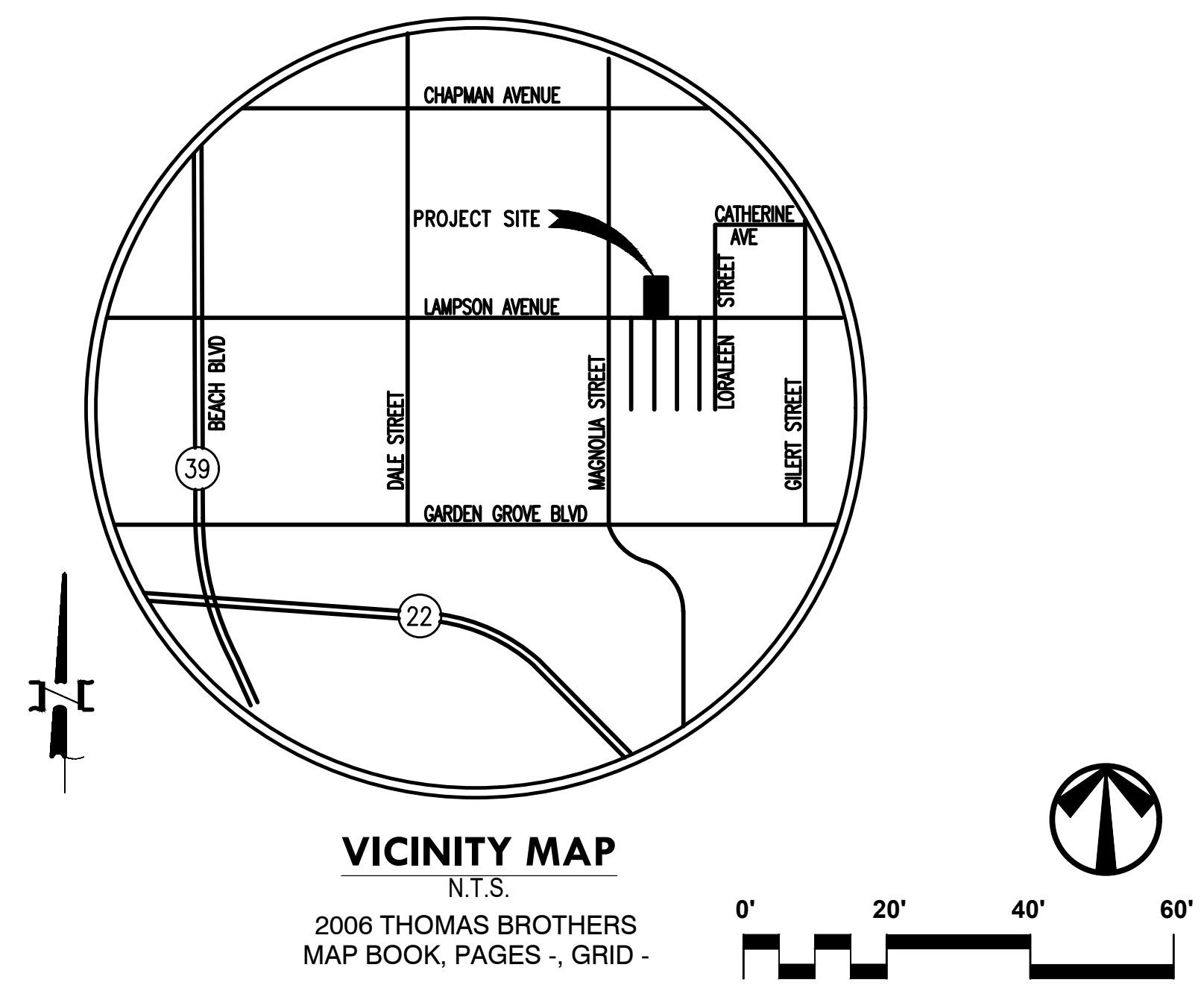


A PRECISION BLOCK WALL
 N.T.S.

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 E. USE SPEC MIX GROUT PER ORCO BLOCK SPECIFICATIONS



B PRECISION BLOCK WALL WITH STUCCO FINISH
 N.T.S.

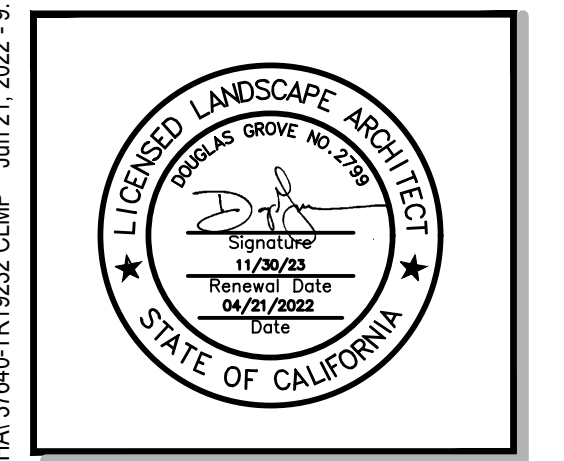


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 Bill Holman

PROJECT:
Tract 19232
 Lampson Avenue
 Garden Grove, CA

REVISIONS	DATE	BY



SHEET TITLE
CONCEPTUAL WALL AND FENCE PLAN

DESIGNED	JS
DRAWN	JS
CHECKED	DG
DATE	06/21/2022
SCALE	1"=20'
JOB NO.	22101

SHEET
2
 OF 2 SHEETS

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 (See Note on Original Sheet)