



CLIENT:

CINEMAS MANAGEMENT, INC.
315 REES ST., PLAYA DEL REY, CA 90293
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ARCHITECT:

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West Grove Center, Garden Grove CA.

SUBMITTAL DATE: 12-29-2020

TOTAL SITE AREA: 211613 S.F. 4.86 ACRES

TOTAL BUILDING AREA: 38420 S.F.
F.A.R. 0.18

BUILDING AREA & PARKING SUMMARY:

	REQUIRED PARKING:		
STARLIGHT CINEMA	251 SEATS	0.3 / SEAT	75 STALLS
JACK IN THE BOX	1870 S.F.	10 / 1000	19 STALLS
PATIO	200 S.F.	10 / 1000	2 STALLS
CARWASH	4241 S.F.	5 x (120/20)	30 SPACES+3 EMPLOYEE FOR STACKING & DRYING
ANCHOR	12082 S.F.	5 / 1000	61 STALLS
RESTAURANTS/RETAIL	7214 S.F.	10 / 1000	73 STALLS
PATIO	900 S.F.	10 / 1000	9 STALLS
DT QUEUE	4 CARS		
DT COFFEE SHOP	2000 S.F.	10 / 1000	20 STALLS
PATIO	300 S.F.	10 / 1000	3 STALLS
DT QUEUE	4 CARS		

TOTAL LANDSCAPE AREA: 24,034 S.F. 13.9% OF SITE

PARKING SUMMARY

	PROVIDED:	REQUIRED:
STANDARD	209 STALLS	
COMPACT	29 STALLS	
VACUUME	18 STALLS	
ADA	10 STALLS	
CAV	6 STALLS	
EV	18 STALLS	PROVIDED REQUIRED:
TOTAL:	290 STALLS	290+28=318 295
CARWASH QUEUE	16 CARS	
JIB DT QUEUE	4 CARS	
COFFEE SHOP QUEUE	4 CARS	
RESTAURANT DT QUEUE	4 CARS	

PHASE 1 PARCEL AREA: 118007 S.F. 2.71 ACRES

TOTAL BUILDING AREA: 17124 S.F.
F.A.R. 0.15

BUILDING AREA & PARKING SUMMARY:

	REQUIRED PARKING:		
STARLIGHT CINEMA	251 SEATS	0.3 / SEAT	75 STALLS
JACK IN THE BOX	1870 S.F.	10 / 1000	19 STALLS
PATIO	200 S.F.	10 / 1000	2 STALLS
CARWASH	4241 S.F.	5 x (120/20)	30 SPACES+3 EMPLOYEE FOR STACKING & DRYING
ANCHOR	12082 S.F.	5 / 1000	61 STALLS
RESTAURANT	1665 S.F.	10 / 1000	17 STALLS
RESTAURANT	2792 S.F.	10 / 1000	28 STALLS
RESTAURANT/RETAIL	2757 S.F.	10 / 1000	28 STALLS
PATIO	900 S.F.	10 / 1000	9 STALLS
DT QUEUE	4 CARS		
DT COFFEE SHOP	2000 S.F.	10 / 1000	20 STALLS
PATIO	300 S.F.	10 / 1000	3 STALLS
DT QUEUE	4 CARS		

TOTAL LANDSCAPE AREA: 12,807 S.F. 12.7% OF SITE

PHASE 2 PARCEL AREA: 93606 S.F. 2.15 ACRES

TOTAL BUILDING AREA: 21296 S.F.
F.A.R. 0.23

BUILDING AREA & PARKING SUMMARY:

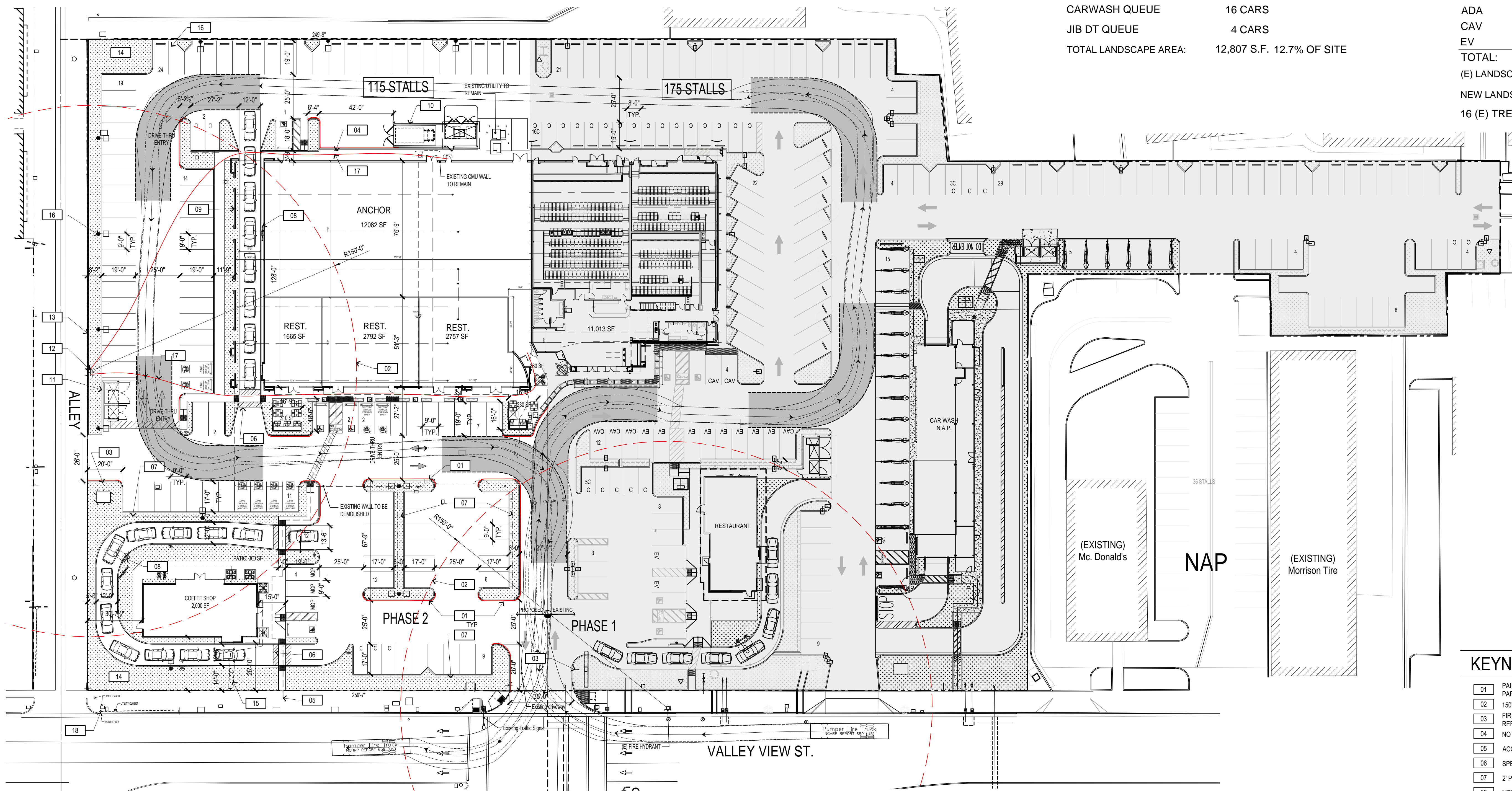
	REQUIRED PARKING:		
ANCHOR	12082 S.F.	5 / 1000	61 STALLS
RESTAURANT	1665 S.F.	10 / 1000	17 STALLS
RESTAURANT	2792 S.F.	10 / 1000	28 STALLS
RESTAURANT/RETAIL	2757 S.F.	10 / 1000	28 STALLS
PATIO	900 S.F.	10 / 1000	9 STALLS
DT QUEUE	4 CARS		
DT COFFEE SHOP	2000 S.F.	10 / 1000	20 STALLS
PATIO	300 S.F.	10 / 1000	3 STALLS
DT QUEUE	4 CARS		

TOTAL LANDSCAPE AREA: 12,807 S.F. 12.7% OF SITE

PARKING SUMMARY

	PROVIDED:	REQUIRED:
STANDARD	98 STALLS	
COMPACT	5 STALLS	
ADA	4 STALLS	
CAV	0 STALLS	
EV	8 STALLS	PROVIDED REQUIRED:
TOTAL:	115 STALLS	115+4+4=123 167 STALLS

(E) LANDSCAPE AREA: 1,216 S.F.
NEW LANDSCAPE AREA: 11,227 S.F. 15.5% OF SITE
16 (E) TREES REMOVED



1 - ADMINISTRATION
ALL WORK SHALL BE IN CONFORMANCE WITH THE CODES IDENTIFIED IN THE GOVERNING CODES SECTION LISTED BELOW.
2019 CALIFORNIA BUILDING CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA MECHANICAL CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA PLUMBING CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA ELECTRICAL CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA FIRE CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA ENERGY CODE AND JURISDICTIONAL AMENDMENTS
CITY OF GARDEN GROVE BUILDING REGULATIONS
CITY OF GARDEN GROVE FIRE DEPARTMENT

2 - OCCUPANCY
A. PRIMARY OCCUPANCY (CHAPTER 3): A-1 (12,082 SF) 1 STORY ANCHOR
B. ADDITIONAL OCCUPANCIES: A-2 (7,214 SF) 1 STORY RESTAURANTS

3 - BUILDING AREA AND ALLOWABLE NUMBER OF FLOORS
A. CONSTRUCTION TYPE (CHAPTER 5): III-B
B. FULLY SPRINKLERED PER CHAPTER 9: YES
C. ALLOWABLE: 34,000 SF PER 506.2 FOR A-1 OCCUPANCY WITH SPRINKLER SYSTEM
D. ACTUAL: 19,082 SF
E. ALLOWABLE NUMBER OF FLOORS: 3 STORIES FOR A-1 OCCUPANCY S(WITHOUT AREA INCREASE)
F. ACTUAL NUMBER OF FLOORS: 1 STORY

4 - OCCUPANCY SEPARATIONS
A. BUILDING IS CLASSIFIED AS NON-SEPARATED PER SECTION 508.3
NO OCCUPANCY SEPARATIONS REQUIRED

5 - TYPE OF CONSTRUCTION
A. CONSTRUCTION TYPE (SEC. 603): TYPE III-B
B. FIRE RESISTIVE CONSTRUCTION REQUIREMENTS (TABLE 601):
a. PRIMARY STRUCTURE 0 HR
b. EXTERIOR BEARING WALL 2 HR
c. INTERIOR BEARING WALL 0 HR
d. EXTERIOR WALLS (< 10- FEET FIRE SEPARATION - TABLE 602) 1 HR
e. EXTERIOR WALLS (10- FEET OR MORE FIRE SEPARATION TABLE 602) 0 HR
f. INTERIOR NON-BEARING WALL 0 HR
g. FLOOR CONSTRUCTION & ASSOC. SECONDARY MEMBERS 0 HR
h. ROOF CONSTRUCTION & ASSOC. SECONDARY MEMBERS 0 HR

PORTIONS OF THE PROJECT THAT ARE DEFERRED SHALL BE SUBJECT TO THE CODES, STANDARDS, AND OTHER APPLICABLE REQUIREMENTS IN FORCE ON THE DATE THAT THE DEFERRED PLAN IS SUBMITTED TO OCCA.

KEYNOTES

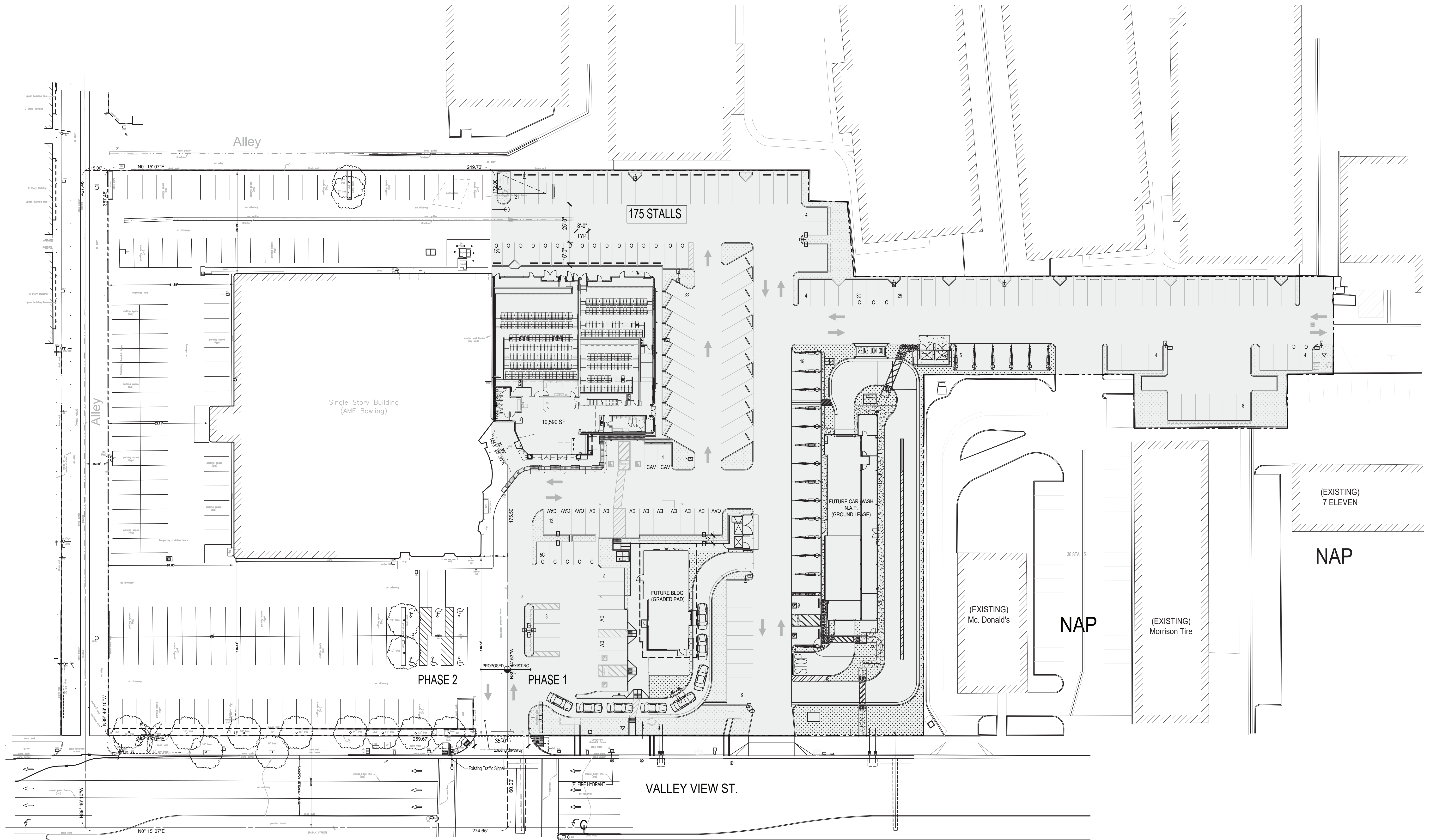
01 PAINT CURBS RED AT ALL CURBS NOT ASSOCIATED WITH A PARKING SPACE. TYPICAL SEE DETAIL C, SHEET 01A	10 (E) TRASH ENCLOSURE
02 150' RADIUS FOR FIRE HYDRANT	11 NEW TRASH ENCLOSURE
03 FIRE LANE ENTRANCE SIGN (AT EVERY VEHICLE ENTRY POINT) REFER TO DETAILS B & D ON SHEET 01A	12 (E) FIRE HYDRANT
04 NOT USED	13 NEW 4' HIGH CMU WALL ALONG PROPERTY LINE
05 ACCESSIBLE PATH OF TRAVEL	14 MODULAR WETLAND PER CIVL DWGS
06 SPEED BUMP	15 (E) PYLON SIGN TO REMAIN
07 2' PARKING OVERHANG	16 NEW LIGHT POLE
08 MENU BOARD	17 FIRE HOSE PULL <300'
09 EXISTING CMU WALL TO REMAIN	18 (E) POWER POLE. NO POWER OR DATA CONNECTION TO PROPERTY

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PHASE 1 SITE PLAN, N.I.C.

Proposed Site Plan - Phase II

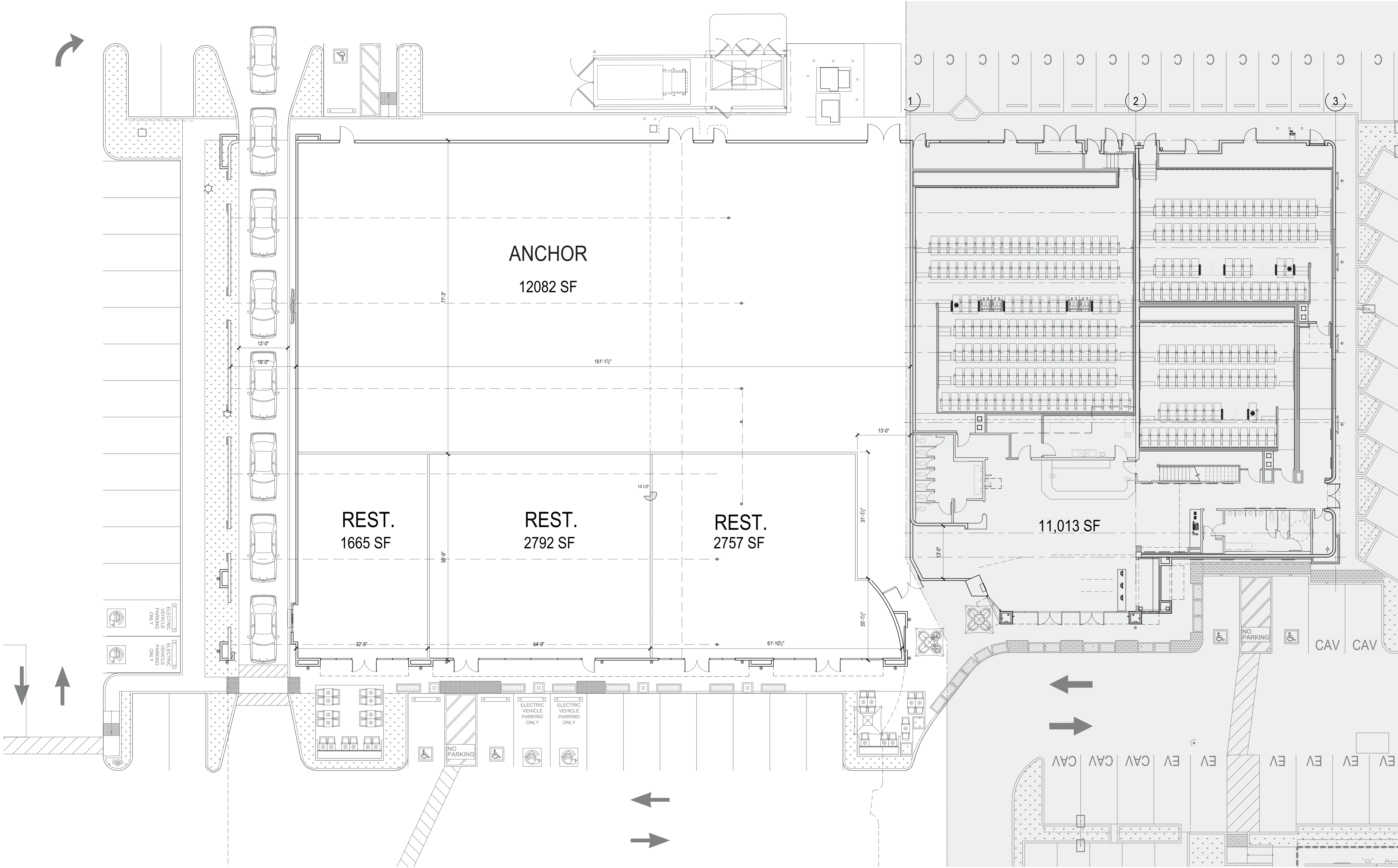


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PHASE 1 SITE PLAN, N.I.C.

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Existing Site Plan



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Floor Plan - Phase II

PHASE 1, N.I.C.
 SCALE: 1" = 10'-0" @ 24"x36"

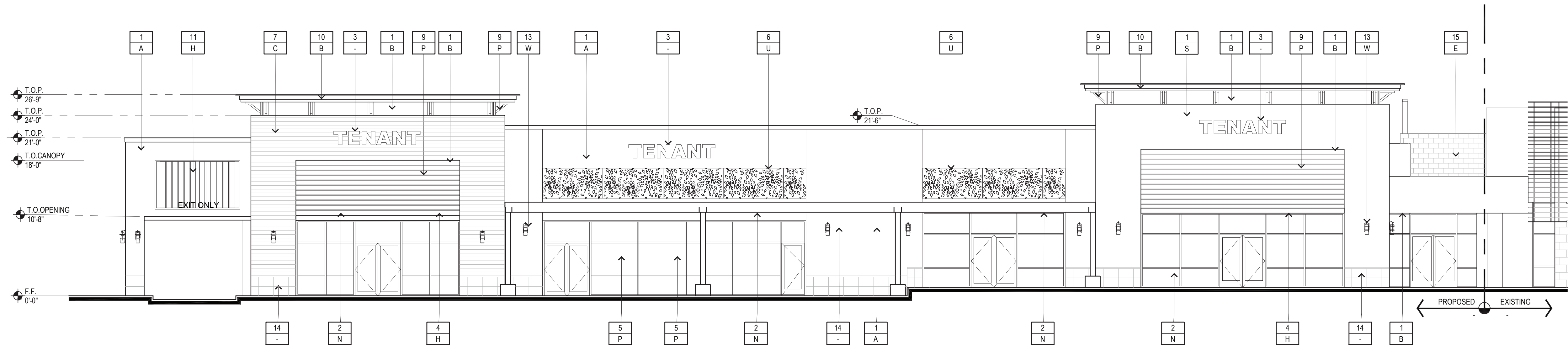
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FINISH SCHEDULE - MATERIAL

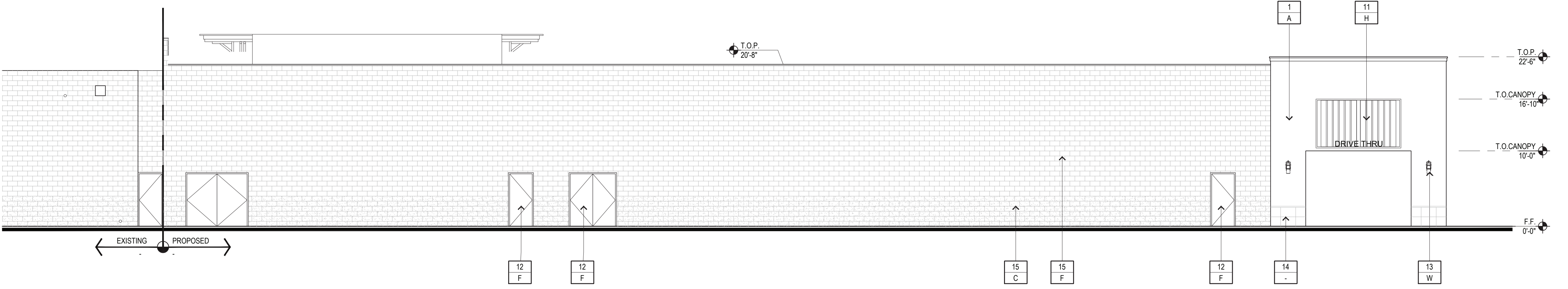
- 1 SMOOTH EXTERIOR CEMENT PLASTER SYSTEM: COLORTEK PM SMOOTH COAT O/ CRACK ISOLATION SYSTEM O/ OMEGA DIAMOND WALL ONE COAT SYSTEM O/ MEGA METAL LATH O/ 2 LAYERS OF BUILDING PAPER
- 2 ANODIZED ALUMINUM STOREFRONT SYSTEM - CLEAR DUAL INSULATED GLAZING, EXTERIOR PANE TEMPERED, TYP. ALL GLAZING, BOTH PANES TEMPERED WHERE INDICATED ON ELEVATIONS.
- 3 SIGNAGE N.I.C. UNDER SEPARATE PERMIT. PROVIDE DEDICATED SIGN CIRCUIT J-BOX AND CONDUIT. PROVIDE BLOCKING IN WALL AS REQUIRED.
- 4 METAL CANOPY STRUCTURE
- 5 ALUMINUM TRELLIS AND CANOPY STRUCTURE WITH DECORATIVE METAL PANEL IN-FILL (SEE ROOF PLAN AND REFLECTED CEILING PLAN) CONTRACTOR TO PROVIDE SHOP DRAWINGS & MOCKUP FOR REVIEW PRIOR TO FABRICATION)
- 6 DECORATIVE METAL PANEL.
- 7 HARDI BOARD FIBER CEMENT BOARD SIDING
- 8 NICHHA FIBER CEMENT BOARD SIDING
- 9 ANODIZED ALUMINUM SLAT/ WALL CLADDING/TRIM/BRACKET/LOUVER
- 10 EIFS
- 11 BERRIDGE TEE-PANEL STANDING SEAM METAL PANEL SYSTEM (OR EQUAL)
- 12 HOLLOW METAL DOOR.
- 13 EXTERIOR SCONCE LIGHT
- 14 PRECAST CONCRETE BASE
- 15 EXISTING CMU WALL
- 16 TRELLIS SYSTEM - GREEN SCREEN ATTACHED TO THE EXTERIOR WALL. PROVIDE BLOCKING WITHIN WALL AS REQUIRED FOR ATTACHMENT. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.

FINISH SCHEDULE - FINISH

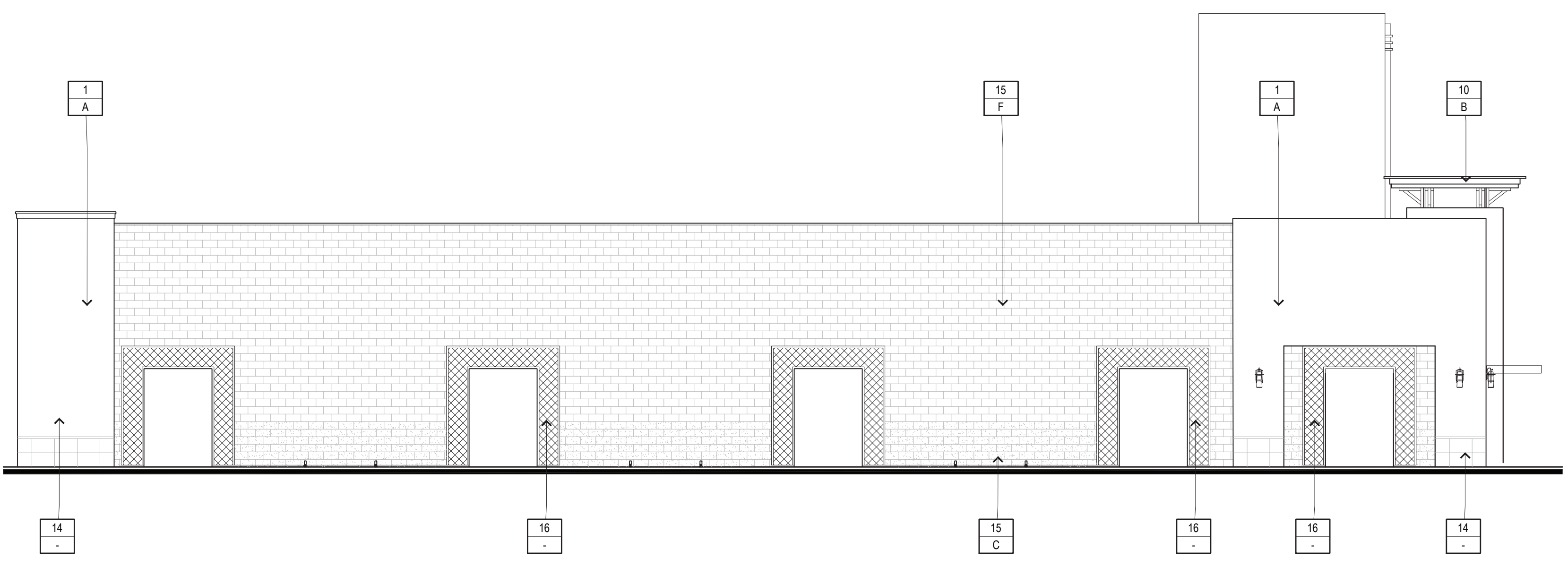
- A SHERWIN WILLIAMS PAINT #SW 7016 - MINDFUL GRAY
- B SHERWIN WILLIAMS PAINT #SW 7069 - IRON ORE
- C SHERWIN WILLIAMS PAINT #SW 7045 - INTELLECTUAL GRAY
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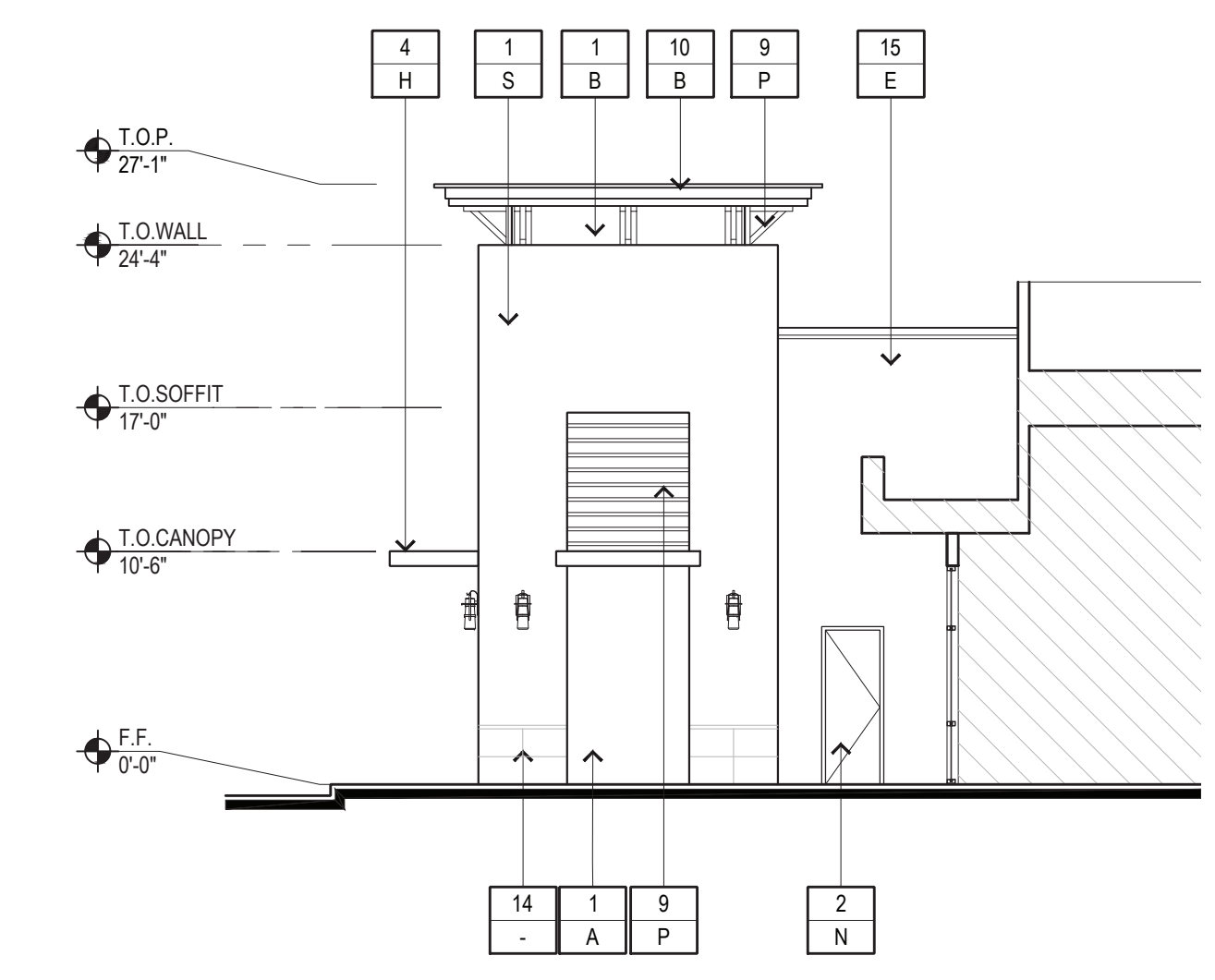
PROPOSED EAST ELEVATION



PROPOSED WEST ELEVATION



PROPOSED SOUTH ELEVATION

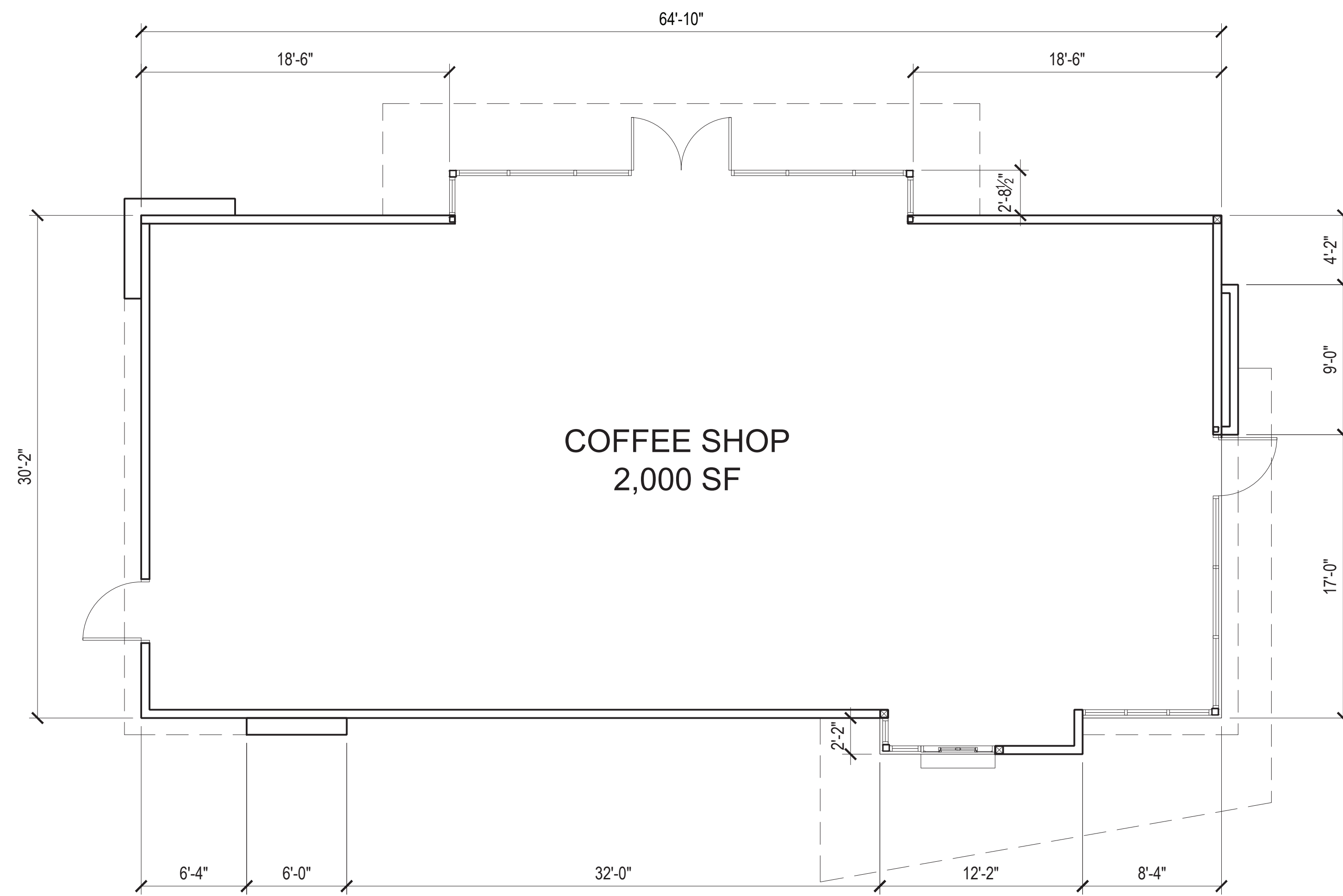


PROPOSED NORTH ELEVATION

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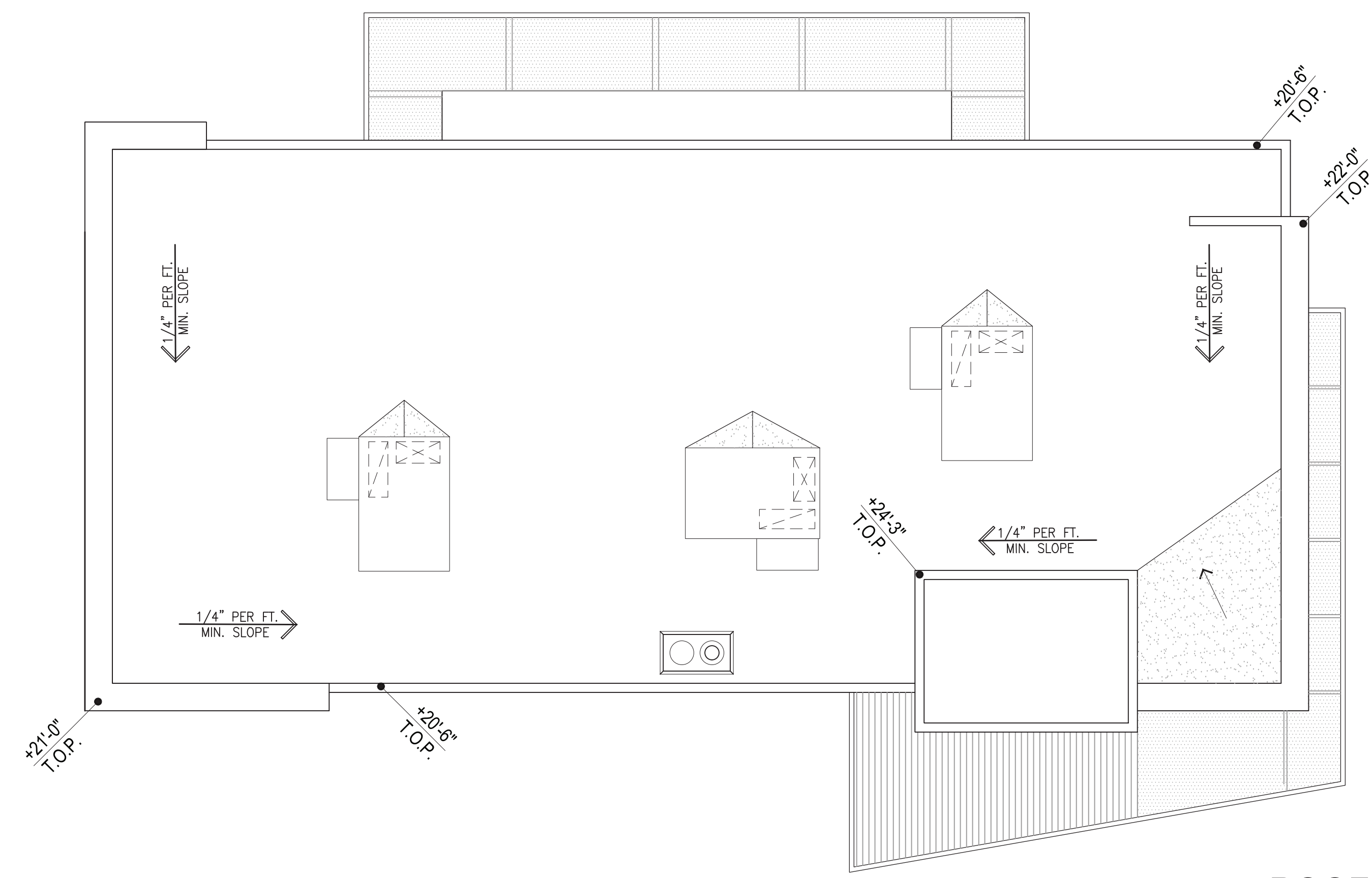
Starlight Cinema Center Valley View, Garden Grove CA.

PROPOSED ELEVATIONS



COFFEE SHOP
2,000 SF

FLOOR PLAN



ROOF PLAN

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PROPOSED ELEVATIONS



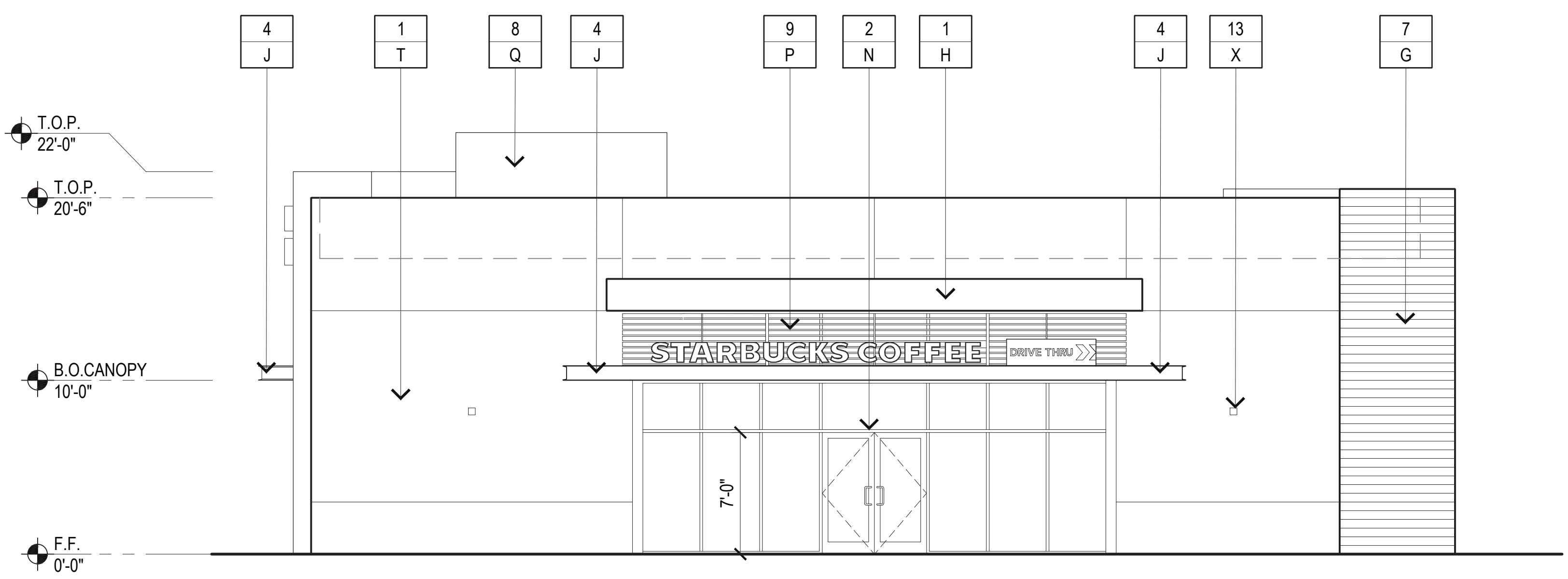
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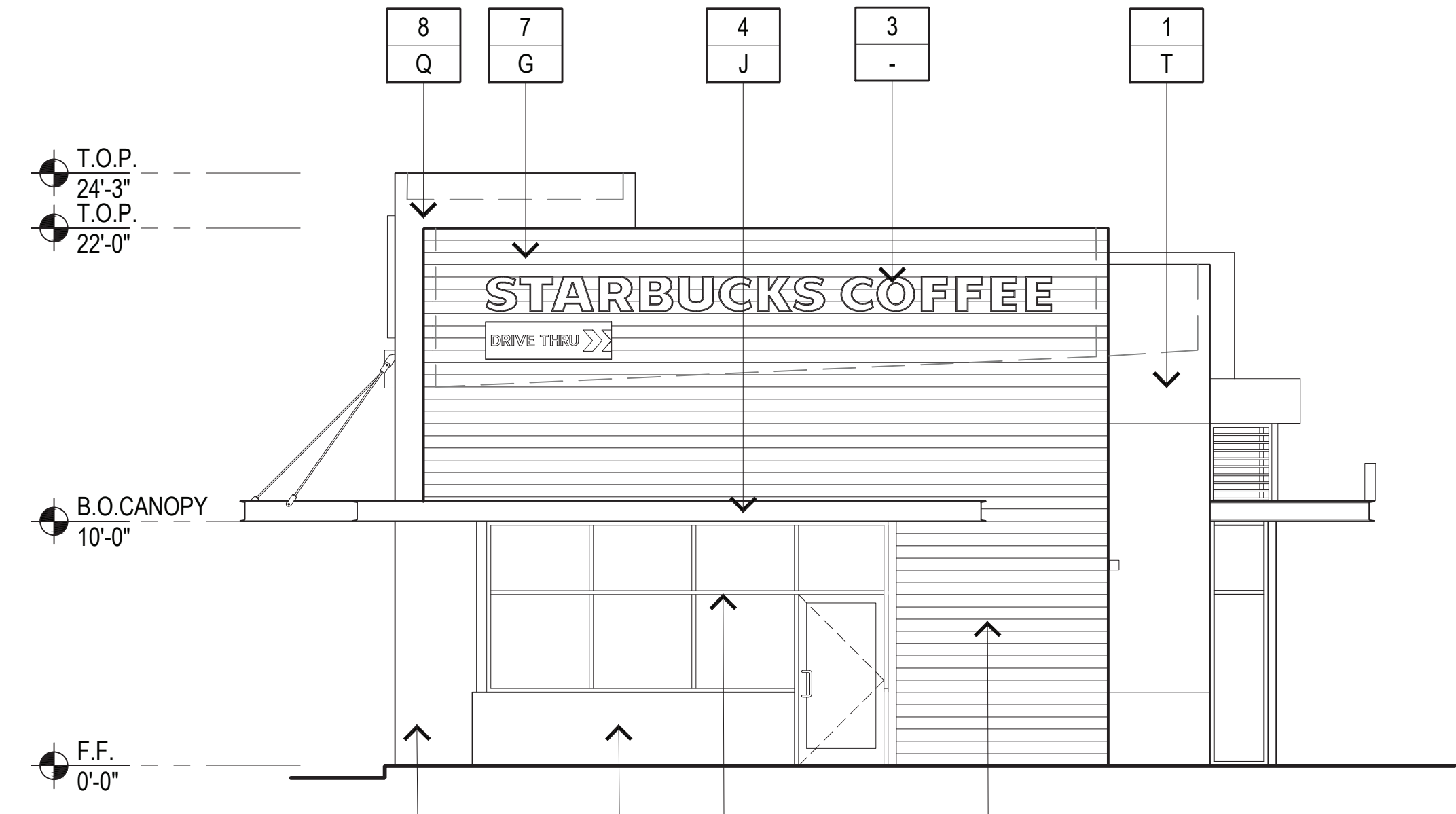
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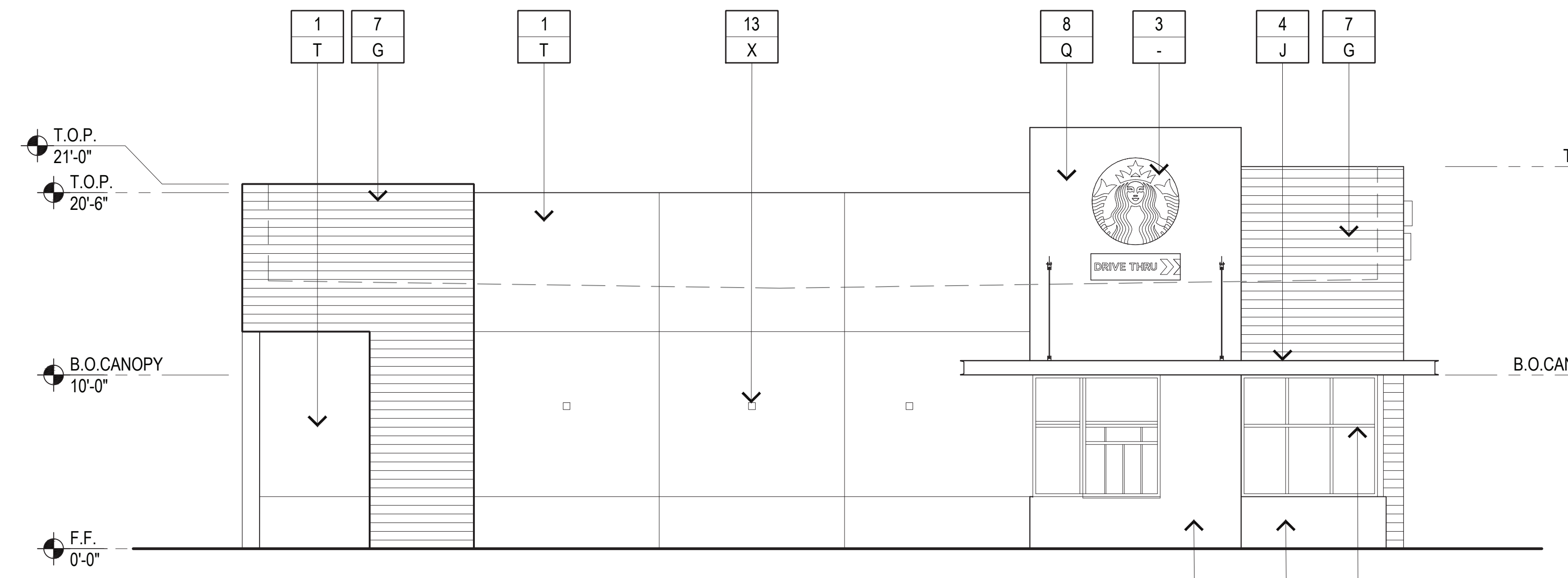
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2017-084



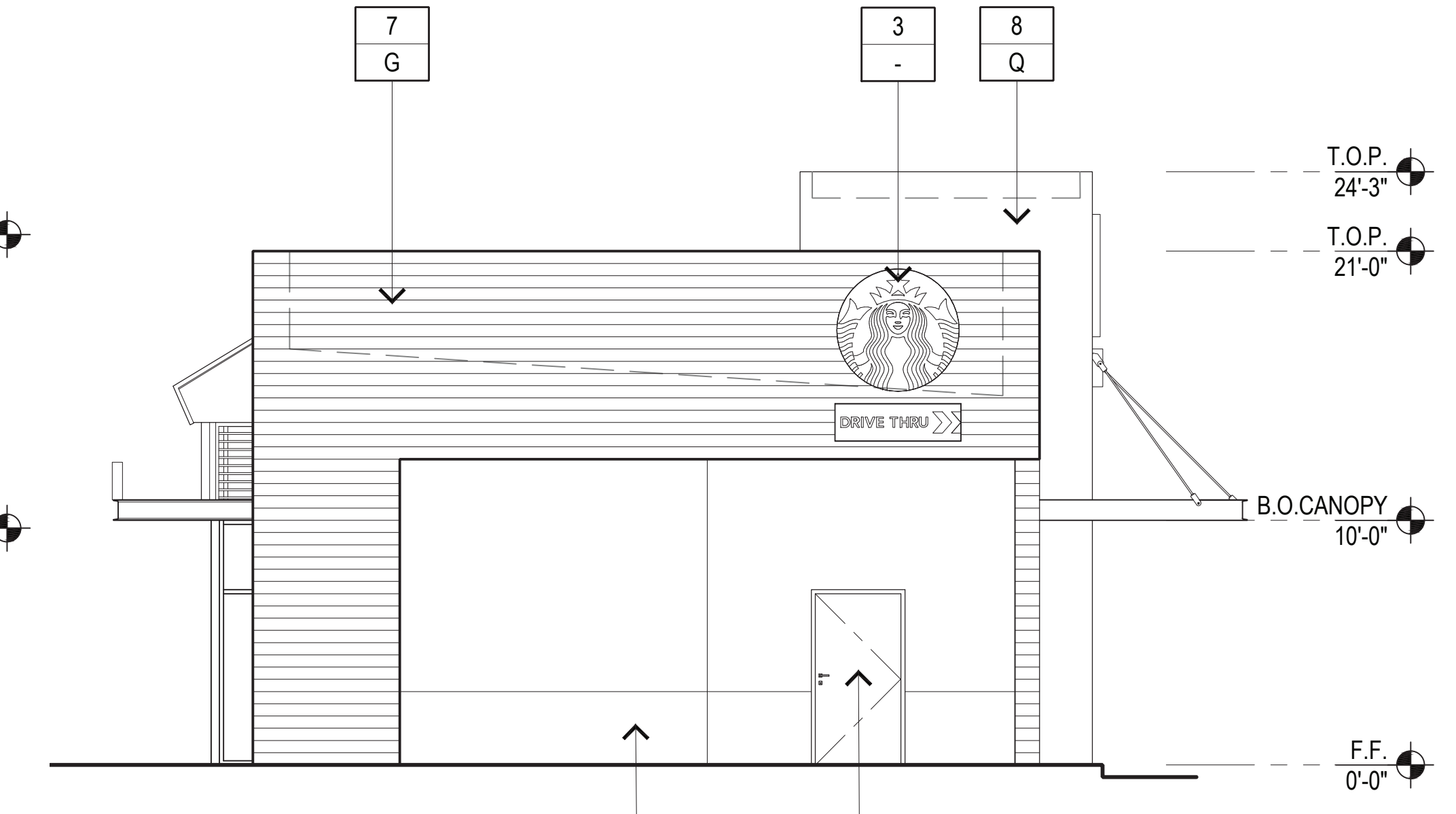
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

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Starlight Cinema Center Valley View, Garden Grove CA.

PROPOSED ELEVATIONS



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RENDERING

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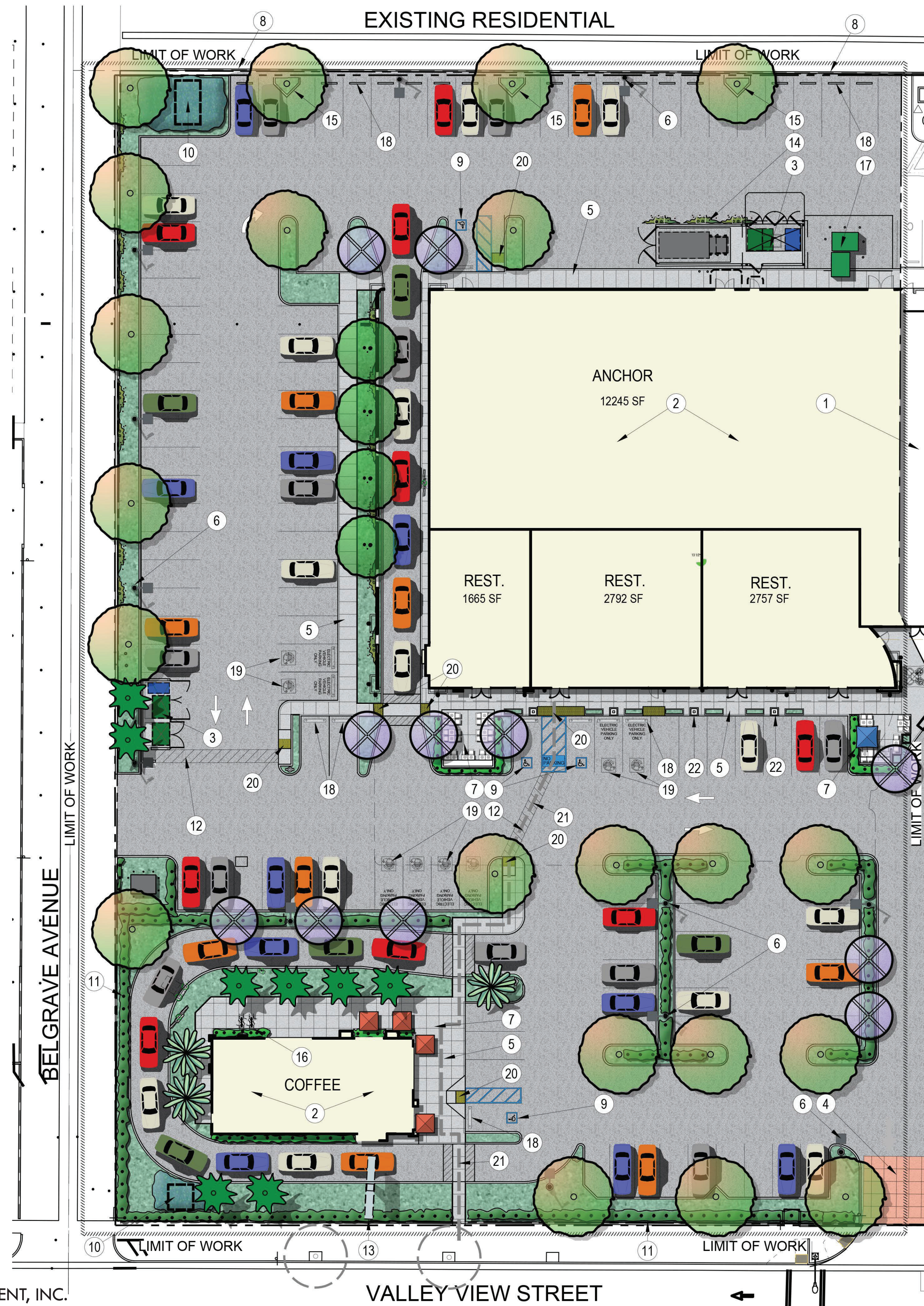
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RENDERING



FEATURE LEGEND:

- 1 STARLIGHT CINEMA PHASE 1 BUILDINGS PER ARCHITECT'S PLANS.
- 2 NEW BUILDINGS PER ARCHITECT'S PLANS.
- 3 TRASH ENCLOSURES PER SITE PLAN.
- 4 ENHANCED CONCRETE PAVING PER PHASE 1.
- 5 NEW CONCRETE WALKWAYS.
- 6 LIGHT POSTS PER SITE PLAN.
- 7 NEW TABLES AT OUTDOOR DINING AREA.
- 8 EXISTING WALL WITH EXISTING VINE TO REMAIN.
- 9 ADA HANDICAP PARKING PER ARCHITECT'S PLANS.
- 10 MODULAR WETLAND WITH COMPLIANT PLANTING.
- 11 HEDGE PLANTING.
- 12 ADA COMPLIANT ACCESS WALKWAY.
- 13 EXISTING PROJECT SIGNAGE PER ARCHITECT'S PLANS.
- 14 NEW VINE POCKET PLANTERS.
- 15 NEW TREE WELL.
- 16 NEW BIKE RACK.
- 17 ELECTRICAL UTILITIES PER OTHERS.
- 18 WHEEL STOP PER ARCHITECT'S PLANS.
- 19 ELECTRIC VEHICAL PARKING PER ARCHITECTS PLANS.
- 20 CURB RAMP WITH TRUNCATED DOMES PER ARCHITECT'S PLANS.
- 21 ADA PATH OF TRAVEL.
- 22 OVERHEAD SHADE STRUCTURE FOOTING PER ARCHITECT'S PLANS.

PLANT SCHEDULE

TREES	NUMBER	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE	QTY
	T-01	Lagerstroemia x 'Tuscarora'	Crape Myrtle Coral Pink	24" Box	Per Plan	Standard	M	11
	T-02	Phoenix dactylifera	Date Palm	10" B.T.H.	Per Plan	---	L	3
	T-03	Podocarpus gracilior	Fern Pine	24" Box	Per Plan	Standard	M	21
	T-04	Syagrus romanzoffiana	Queen Palm	10" B.T.H.	Per Plan	---	M	8
	T-05	Melaleuca quinquenervia	Cajeput Tree	24" Box	Per Plan	---	L	4
HEDGE PLANTING	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE	QTY	
	Callistemon 'Little John'	Little John Dwarf Bottlebrush	15 Gal.	---	---	L	---	
	Podocarpus macrophyllus 'Maki'	Shrubby Yew Pine	15 Gal.	---	---	M	---	
MODULAR WETLANDS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE	QTY	
	Leymus condensatus 'Canyon Prince'	Native Blue Rye	1 Gal.	18" O.C.	---	L	---	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE	QTY	
	Aloe striata	Coral Aloe	5 Gal.	---	---	L	---	
	Callistemon 'Little John'	Little John Dwarf Bottlebrush	5 Gal.	---	---	L	---	
	Hesperaloe parviflora 'Brakelights' TM	Brakelights Red Yucca	3 Gal.	---	---	VL	---	
	Rhamnus californica 'Little Sur'	Little Sur Coffeeberry	5 Gal.	---	---	L	---	
SHRUB AREAS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE	QTY	
	Juncus patens 'Elk Blue'	Spreading Rush	1 Gal.	18" O.C.	---	L	---	
	Sansevieria trifasciata 'Laurentii'	Mother-In-Law's Tongue	2 Gal.	18" O.C.	---	L	---	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE	QTY	
	Carex tumulicola	Berkeley Sedge	1 Gal.	18" O.C.	---	L	---	
	Dianella revoluta 'Little Rev'	Little Rev Flax Lily	1 Gal.	18" O.C.	---	L	---	
	Senecio serpens	Blue Chalksticks	1 Gal.	18" O.C.	---	L	---	
VINES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE	QTY	
	Ficus pumila	Creeping Fig	15 Gal.	Per Plan	---	M	---	
	Distictis buccinatoria	Red Trumpet Vine	15 Gal.	Per Plan	---	M	---	

WATER EFFICIENT LANDSCAPE WORKSHEET
Non-Residential Landscape Projects

Reference ETo for the area ETo = 47.2

Estimated Total Water Use (ETWU):
ETWU is calculated using the following formula: (Eto) (.62) (ETAF) (LA), where ETWU ETAF if PF/IE

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Landscape Area	Estimated Total Water Use (ETWU) gallons/yr
Regular Landscape Areas							
HZ1 - Low Shrub	0.2	Dripline	0.81	0.25	7,170	1770	51808
HZ2 - Mod Shrub	0.5	Dripline	0.81	0.62	3,061	1890	55295
HZ3 - Mod Tree	0.5	Bubbler	0.81	0.62	1,225	756	22129
Totals						11,456	4416
Estimated Total Water Use in gallons per year, ETWU Total							129231
Maximum Annual Water Allowance in gallons per year, MAWA Total							150862
MAWA calculation: (Eto) (.62) ((ETAFxLA) + ((1-ETAF) x S)							MAWA - ETWU = 21631
where Non-Residential MAWA ETAF factor is 0.45							

ETAF Calculations

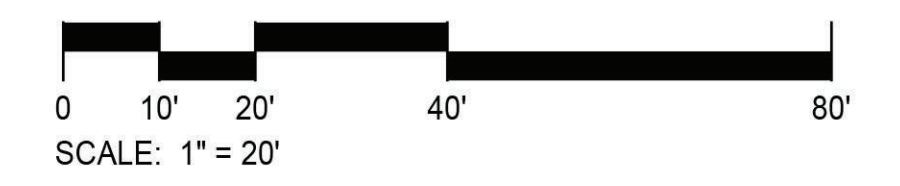
Regular Landscape Areas

Total ETAF x Area	4416
Total Area	11,456
Average ETAF	0.39

Average ETAF for Regular Landscape Areas must be 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	4416
Total Landscape Area (LA)	11,456
Sitewide ETAF	0.39



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Proposed Landscape Site Plan

ARCHITECTS ORANGE
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144 N ORANGE ST. ORANGE CA 92866 (714)639 9860

10-12-20
010
2017-084

TOTAL SITE AREA: 211613 S.F. 4.86 ACRES

TOTAL BUILDING AREA: 38420 S.F. F.A.R. 0.18

BUILDING AREA & PARKING SUMMARY:

Table with columns for building type, area, required parking, and provided stalls. Includes STARLIGHT CINEMA, JACK IN THE BOX, PATIO, CARWASH, ANCHOR, RESTAURANTS/RETAIL, PATIO, DT QUEUE, DT COFFEE SHOP, and PATIO.

TOTAL LANDSCAPE AREA: 24,034 S.F. 13.9% OF SITE

PARKING SUMMARY

Table showing provided and required parking for various types: STANDARD, COMPACT, VACUUME, ADA, CAV, EV, CARWASH QUEUE, JIB DT QUEUE, COFFEE SHOP QUEUE, and RESTAURANT DT QUEUE.

PHASE 1 PARCEL AREA: 118007 S.F. 2.71 ACRES

TOTAL BUILDING AREA: 17124 S.F. F.A.R. 0.15

BUILDING AREA & PARKING SUMMARY:

Table with columns for building type, area, required parking, and provided stalls. Includes STARLIGHT CINEMA, JACK IN THE BOX, PATIO, CARWASH, ANCHOR, RESTAURANTS/RETAIL, PATIO, DT QUEUE, DT COFFEE SHOP, and PATIO.

TOTAL LANDSCAPE AREA: 12,807 S.F. 12.7% OF SITE

PHASE 2 PARCEL AREA: 93606 S.F. 2.15 ACRES

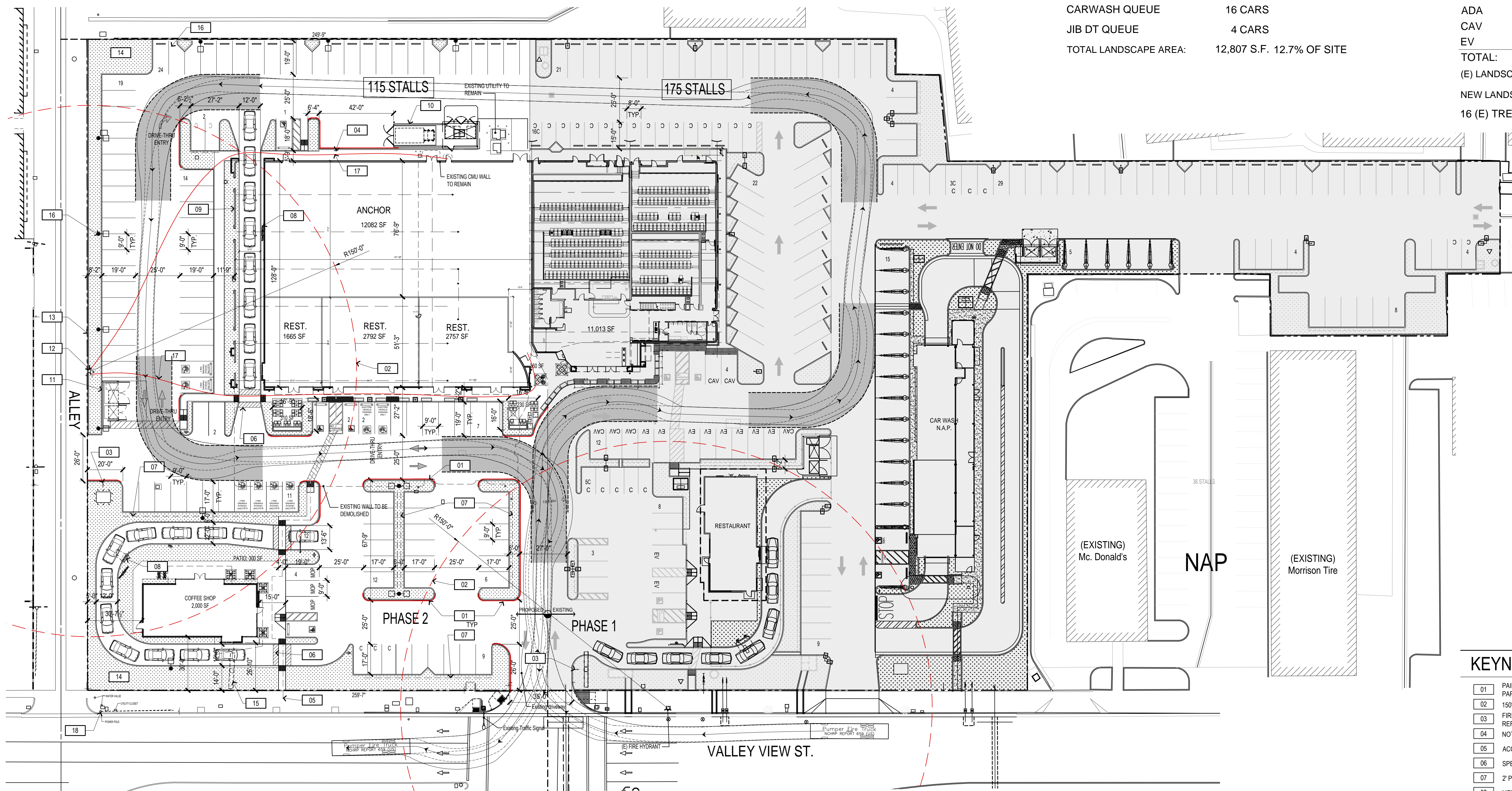
TOTAL BUILDING AREA: 21296 S.F. F.A.R. 0.23

BUILDING AREA & PARKING SUMMARY:

Table with columns for building type, area, required parking, and provided stalls. Includes ANCHOR, RESTAURANT, RESTAURANT/RETAIL, PATIO, DT QUEUE, DT COFFEE SHOP, and PATIO.

NEW LANDSCAPE AREA: 11,227 S.F. 15.5% OF SITE

Table showing provided and required parking for various types: STANDARD, COMPACT, ADA, CAV, EV, and TOTAL.



1 - ADMINISTRATION
ALL WORK SHALL BE IN CONFORMANCE WITH THE CODES IDENTIFIED IN THE GOVERNING CODES SECTION LISTED BELOW.
2019 CALIFORNIA BUILDING CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA MECHANICAL CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA PLUMBING CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA ELECTRICAL CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA FIRE CODE AND JURISDICTIONAL AMENDMENTS
2019 CALIFORNIA ENERGY CODE AND JURISDICTIONAL AMENDMENTS

2 - OCCUPANCY
A. PRIMARY OCCUPANCY (CHAPTER 3): A-1 (12,082 SF), 1 STORY ANCHOR
B. ADDITIONAL OCCUPANCIES: A-2 (7,214 SF), 1 STORY RESTAURANTS

3 - BUILDING AREA AND ALLOWABLE NUMBER OF FLOORS
A. CONSTRUCTION TYPE (CHAPTER 5): III-B
B. FULLY SPRINKLERED PER CHAPTER 9: YES
C. ALLOWABLE: 34,000 SF PER 506.2 FOR A-1 OCCUPANCY WITH SPRINKLER SYSTEM
D. ACTUAL: 19,082 SF
E. ALLOWABLE NUMBER OF FLOORS: 3 STORIES FOR A-1 OCCUPANCY (WITHOUT AREA INCREASE)
F. ACTUAL NUMBER OF FLOORS: 1 STORY

4 - OCCUPANCY SEPARATIONS
A. BUILDING IS CLASSIFIED AS NON-SEPARATED PER SECTION 508.3
NO OCCUPANCY SEPARATIONS REQUIRED

5 - TYPE OF CONSTRUCTION
A. CONSTRUCTION TYPE (SEC. 603): TYPE III-B
B. FIRE RESISTIVE CONSTRUCTION REQUIREMENTS (TABLE 601):
a. PRIMARY STRUCTURE 0 HR
b. EXTERIOR BEARING WALL 2 HR
c. INTERIOR BEARING WALL 0 HR
d. EXTERIOR WALLS (< 10- FEET FIRE SEPARATION - TABLE 602) 1 HR
e. EXTERIOR WALLS (10- FEET OR MORE FIRE SEPARATION TABLE 602) 0 HR
f. INTERIOR NON-BEARING WALL 0 HR
g. FLOOR CONSTRUCTION & ASSOC. SECONDARY MEMBERS 0 HR
h. ROOF CONSTRUCTION & ASSOC. SECONDARY MEMBERS 0 HR

PORTIONS OF THE PROJECT THAT ARE DEFERRED SHALL BE SUBJECT TO THE CODES, STANDARDS, AND OTHER APPLICABLE REQUIREMENTS IN FORCE ON THE DATE THAT THE DEFERRED PLAN IS SUBMITTED TO OCCA.

KEYNOTES table with 18 numbered items: 01 PAINT CURBS RED AT ALL CURBS NOT ASSOCIATED WITH A PARKING SPACE... 02 150' RADIUS FOR FIRE HYDRANT... 03 FIRE LANE ENTRANCE SIGN... 04 NOT USED... 05 ACCESSIBLE PATH OF TRAVEL... 06 SPEED BUMP... 07 2' PARKING OVERHANG... 08 MENU BOARD... 09 EXISTING CMU WALL TO REMAIN... 10 (E) TRASH ENCLOSURE... 11 NEW TRASH ENCLOSURE... 12 (E) FIRE HYDRANT... 13 NEW 4" HIGH CMU WALL ALONG PROPERTY LINE... 14 MODULAR WETLAND PER CIVIL DWGS... 15 (E) PYLON SIGN TO REMAIN... 16 NEW LIGHT POLE... 17 FIRE HOSE PULL <300'... 18 (E) POWER POLE, NO POWER OR DATA CONNECTION TO PROPERTY

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PHASE 1 SITE PLAN, N.I.C.

Proposed Site Plan - Phase II