

## AGENDA



Garden Grove City  
Council

Tuesday, January 28,  
2020

6:30 PM

Community Meeting  
Center 11300 Stanford  
Avenue Garden Grove  
California 92840

**Steven R. Jones**

Mayor

**John R. O'Neill**

Mayor Pro Tem - District 2

**George S. Brietigam**

Council Member - District 1

**Diedre Thu-Ha Nguyen**

Council Member - District 3

**Patrick Phat Bui**

Council Member - District 4

**Stephanie Klopfenstein**

Council Member - District 5

**Kim B. Nguyen**

Council Member - District 6

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**Meeting Assistance:** Any person requiring auxiliary aids and services, due to a disability, to address the City Council, should contact the City Clerk's Office 72 hours prior to the meeting to arrange for accommodations. Phone: (714) 741-5040.

**Agenda Item Descriptions:** Are intended to give a brief, general description of the item. The City Council may take legislative action deemed appropriate with respect to the item and is not limited to the recommended action indicated in staff reports or the agenda.

**Documents/Writings:** Any revised or additional documents/writings related to an item on the agenda distributed to all or a majority of the Council Members within 72 hours of a meeting, are made available for public inspection at the same time (1) in the City Clerk's Office at 11222 Acacia Parkway, Garden Grove, CA 92840, during normal business hours; (2) on the City's website as an attachment to the City Council meeting agenda; and (3) at the Council Chamber at the time of the meeting.

**Public Comments:** Members of the public desiring to address the City Council are requested to complete a **pink speaker card** indicating their name and address, and identifying the subject matter they wish to address. This card should be given to the City Clerk prior to the start of the meeting. General comments are made during "Oral Communications" and should be limited to matters under consideration and/or what the City Council has jurisdiction over. Persons wishing to address the City Council regarding a Public Hearing matter will be called to the podium at the time the matter is being considered.

**Manner of Addressing the City Council:** After being called by the Mayor, you may approach the podium, it is requested that you state your name for the record, and proceed to address the City Council. All remarks and questions should be addressed to the City Council as a whole and not to individual Council Members or staff members. Any person making impertinent, slanderous, or profane remarks or who becomes boisterous while addressing the City Council shall be called to order by the Mayor. If such conduct continues, the Mayor may order the person barred from addressing the City Council any further during that meeting.

**Time Limitation:** Speakers must limit remarks for a total of (5) five minutes. When any group of persons wishes to address the City Council on the same subject matter, the Mayor may request a

spokesperson be chosen to represent the group, so as to avoid unnecessary repetition. At the City Council's discretion, a limit on the total amount of time for public comments during Oral Communications and/or a further limit on the time allotted to each speaker during Oral Communications may be set.

**PLEASE SILENCE YOUR CELL PHONES DURING THE MEETING.**

## AGENDA

ROLL CALL: COUNCIL MEMBER BRIETIGAM, COUNCIL MEMBER D. NGUYEN, COUNCIL MEMBER BUI, COUNCIL MEMBER KLOPFENSTEIN, COUNCIL MEMBER K. NGUYEN, MAYOR PRO TEM O'NEILL, MAYOR JONES

INVOCATION

PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

### 1. PRESENTATIONS

- 1.a. Community Spotlight in recognition of Garden Grove Public Works Engineers Carina Dan, Liyan Jin, Rebecca Li, and Jessica Polidori for inspiring women in their field.
- 1.b. Community Spotlight in recognition of the Garden Grove Police Department Special Resources Team and Public Works Right-of-Way staff for their work to keep Garden Grove clean and safe.
- 1.c. 2020 Census update provided by the U.S. Census Bureau.
- 1.d. Garden Grove Police Department Infrastructure Space Needs Assessment update provided by Dewberry Architects Inc.

### 2. ORAL COMMUNICATIONS (to be held simultaneously with other legislative bodies)

### 3. WRITTEN COMMUNICATIONS

- 3.a. Consideration of a written request from the Buddhist Social Services Center to conduct a two day Buddha's Birthday Festival at Garden Grove Park. (*Action Item*)
- 3.b. Consideration of a written request from the Sister City Association of Garden Grove for co-sponsorship of the 7th annual Strawberry Stomp 5K. (Cost: \$13,000) (*Action Item*)

RECESS

CONDUCT OTHER LEGISLATIVE BODIES' BUSINESS

RECONVENE

### 4. CONSENT ITEMS

*(Consent Items will be acted on simultaneously with one motion unless separate discussion and/or action is requested by a Council Member.)*

- 4.a. Acceptance of Project Nos. 7216 and 7290, Various Residential Streets Rehabilitation as complete. *(Action Item)*
- 4.b. Award a contract to Novak & Normal Inc. dba: The PM Group for Project No. S-1259 - to print the City's Parks and Recreation Guide. (Cost: \$65,500) *(Action Item)*
- 4.c. Adoption of a Resolution approving a grant application for the Proposition 68 Per Capita Grant Program. *(Action Item)*
- 4.d. Authorization for Council Members and staff travel to South Korea to participate in a Tourism Promotion and Sister City Exchange Program. *(Action Item)*
- 4.e. Receive and file minutes from the meeting held on January 14, 2020. *(Action Item)*
- 4.f. Receive and file warrants. *(Action Item)*
- 4.g. Approval to waive full reading of ordinances listed. *(Action Item)*

## 5. PUBLIC HEARINGS

*(Motion to approve will include adoption of each Resolution unless otherwise stated.)*

- 5.a. Adoption of a Resolution establishing a Fireworks Stand Permit application fee. *(Action Item)*
- 5.b. Adoption of a Resolution adopting a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for an Industrial Warehouse Improvement Project at 12821 Knott Street, which includes the vacated southerly portion of Brady Way that fronts the westerly property line; and the introduction and first reading of an Ordinance

Entitled: AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GARDEN GROVE APPROVING PLANNED UNIT DEVELOPMENT NO. PUD-104-70 (REV. 2019) AMENDING PLANNED UNIT DEVELOPMENT NO. PUD-104-70 TO FACILITATE AN EXPANSION OF THE EXISTING INDUSTRIAL BUILDING, AND TO AMEND THE CITY'S OFFICIAL ZONING MAP TO CHANGE THE ZONING OF THE PROJECT SITE TO PUD-104-70 (REV. 2019) WITH M-P (INDUSTRIAL PARK) BASE ZONING, AND TO EXTEND AND COVER THE VACATED PORTION OF BRADY WAY, (THAT SOUTHERLY PORTION OF BRADY WAY, WHICH FRONTS ALONG THE WESTERLY PROPERTY LINE OF THE SUBJECT PROPERTY LOCATED AT 12821 KNOTT STREET), WITH PLANNED UNIT DEVELOPMENT NO. PUD-104-70 (REV. 2019) ZONING, WITH M-P (INDUSTRIAL PARK BASE ZONING). *(Action Item)*

## 6. ITEMS FOR CONSIDERATION

- 6.a. Award a contract to California Landscape & Design, Inc. for Project No. S-1262 - perimeter fence replacement at the Atlantis Play Center. (Cost: \$349,320) (*Action Item*)

7. MATTERS FROM THE MAYOR, CITY COUNCIL MEMBERS, AND CITY MANAGER

- 7.a. Update on Code Enforcement activities including Short Term Rentals as requested by Council Member Klopfenstein.

8. ADJOURNMENT

The next Regular City Council Meeting will be on Tuesday, February 11, 2020, at 5:30 p.m. in the Community Meeting Center, 11300 Stanford Avenue, Garden Grove, California.



**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To:	Scott C. Stiles	From:	John Montanez
Dept.:	City Manager	Dept.:	Community Services
Subject:	Consideration of a written request from the Buddhist Social Services Center to conduct a two day Buddha's Birthday Festival at Garden Grove Park. ( <i>Action Item</i> )	Date:	1/28/2020

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**OBJECTIVE**

For the City Council to consider a written request from the Buddhist Social Services Center to conduct a two-day Buddha's Birthday Festival at Garden Grove Park on Saturday, April 18, 2020 and Sunday, April 19, 2020.

**BACKGROUND**

The Buddhist Social Services Center is a non-profit organization based in Garden Grove, that celebrates Buddha's birthday with a community wide event filled with entertainment, seminars, meditation walks and food. The Buddhist Social Services Center has produced this event for the past six years at Mile Square Park in the City of Fountain Valley.

**DISCUSSION**

The Buddhist Social Services Center is requesting to host this year's Buddha's Birthday Festival at Garden Grove Park on Saturday, April 18, 2020 from 3:00 p.m. to 6:00 p.m. and on Sunday, April 19, 2020 from 8:00 a.m. to 9:00 p.m. There is an expected attendance of 3,000 participants throughout the day.

**FINANCIAL IMPACT**

Approval of this written request will not have a financial impact on the City's General Fund. All City cost and/or fees associated with the event will be reimbursed by the Buddhist Social Services Center.

**RECOMMENDATION**

It is recommended that the City Council:

- Consider the written request from the Buddhist Social Services Center to conduct a two-day Buddha's Birthday Festival at Garden Grove Park on Saturday, April 18, 2020 and Sunday, April 19, 2020; and
- Authorize the City Manager, or his designee, to prepare and sign an agreement on behalf of the City, outlining the terms and conditions for use of the park.

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>	<b>File Name</b>
Request - Event Description	1/16/2020	Letter	1-28-20_General_Description_of_Buddha_s_Festival_2020.pdf



GIÁO HỘI PHẬT GIÁO VIỆT NAM THỐNG NHẤT HOA KỲ  
Vietnamese American United Buddhist Congregation  
CỘNG ĐỒNG PHẬT GIÁO VIỆT NAM NAM CALI-Vietnamese Buddhist Community of Southern Calif  
BAN TỔ CHỨC ĐẠI LỄ PHẬT ĐẢN PL 2564-Buddha's Birthday Festival-Buddhist Year 2564  
Chùa Khánh Hỷ Buddhist Social Services Center  
10502 Orangewood Ave, Garden Grove, CA 92840

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4717 W. First St., Santa Ana, CA 92703 Tel.: (714) 878-3739

## **Buddha's Birthday Festival**

1. **Description of Event:** Buddha's Birthday Festival Celebration - Buddhist Year 2564 - 2020
2. **Date of Event:** Saturday April 18, 2020 from 3pm to 6pm and Sunday April 19, 2020 from 8am to 9pm
3. **Location:**
  - a. Garden Grove Park between the east-west diveways and the Atlantis Playground. Saturday and Sunday as above time.
  - b. Atlantis Play Center: Sunday only - Meditation Retreat walk and seminar
4. **Setup Time:** We will start to set up on April 17, 2020
5. **Special Request:** Showmobile rental and Amplified Sound.
6. **People attended:** 3,000 people at peak attendance (estimated)
7. **Experience:** 6 consecutive years in Mile Square Park since 2012.
8. **Contact person:**

Le Huynh 1612 N. Spurgeon Street  
Santa Ana, CA 92701  
Mobile: (714) 878-3739  
Email: [drlehuynh@gmail.com](mailto:drlehuynh@gmail.com)

**Proposed Area Used:** Following map is proposed layout for the general use. Actual layout can be modified after inputs from City.



**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To:	Scott C. Stiles	From:	John Montanez
Dept.:	City Manager	Dept.:	Community Services
Subject:	Consideration of a written request from the Sister City Association of Garden Grove for co-sponsorship of the 7th annual Strawberry Stomp 5K. (Cost: \$13,000) ( <i>Action Item</i> )		
		Date:	1/28/2020

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**OBJECTIVE**

For the City Council to consider a written request from the Sister City Association of Garden Grove for co-sponsorship of the 7th annual Strawberry Stomp 5K on Saturday, May 23, 2020.

**BACKGROUND**

The Sister City Association of Garden Grove (Association) is a local non-profit organization that is in good standing with the Internal Revenue Service and has been serving the Garden Grove community since 1989. Each year, the Association sends Garden Grove youth to our sister city, Anyang, South Korea, and also hosts their youth as part of their student exchange program. All proceeds from their fundraising efforts go directly toward sending students overseas and hosting the incoming exchange students.

**DISCUSSION**

The Association is requesting City Council approval for co-sponsorship of the 7th annual Strawberry Stomp 5K on Saturday, May 23, 2020.

**FINANCIAL IMPACT**

Co-sponsorship for the 7th annual Strawberry Stomp 5K will have an impact to the City's General Fund. The cost to provide Police and Public Works staff required to support this event is approximately \$13,000. This approximate cost is based on the two additional hours that are added to the existing street closure plans for the annual Strawberry Festival Parade. These expenses will be absorbed within the current

Police and Public Works budgets since this is considered a legacy event.

### RECOMMENDATION

It is recommended that the City Council:

- Consider the Sister City Association of Garden Grove request for co-sponsorship of their 7th annual Strawberry Stomp 5K on Saturday, May 23, 2020.

By: Janet Pelayo, Community Services Manager

### **ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>	<b>File Name</b>
Written Request from Garden Grove Sister City Association	1/15/2020	Letter	Written_Request_-_7th_Annual_Strawberry_Stomp_5K.pdf



## **Sister City Association of Garden Grove**

### **7th Annual Strawberry Stomp 5K GARDEN GROVE, CALIFORNIA**

January 15, 2020  
Honorable Mayor Steve Jones  
11222 Acacia Parkway  
Garden Grove, CA 92840

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Honorable Mayor and City Council Members,

On behalf of the Sister City Association of Garden Grove, I am writing to request co-sponsorship of the 7th annual Strawberry Stomp 5K by the City of Garden Grove. This event is scheduled to take place on ***Saturday, May 23, 2020*** just before the Strawberry Festival Parade. In addition to the parade route on Euclid and Chapman, it will require the partial closure of Main Street and Acacia Parkway. We are expecting over 1,000 participants this year. We will once again be cooperating with Main Street businesses to promote maximum exposure to participants. In the past, the streets have been closed from 7:00 a.m. to 10:00 a.m.

The estimated cost to the City for this event is \$13,000. While we are unable to cover the entire amount at this time, we are striving to become self-sufficient for this event and are able to contribute a small portion of the costs if the City so desires.

The Sister City Association of Garden Grove is a nonprofit California corporation, organized to further the knowledge and understanding between the people of Garden Grove and those of similar cities in foreign countries. Every year since 1989, the Sister City Association has been sending the best of Garden Grove's high school students to our sister city, Anyang, South Korea, and receiving their youth in our student exchange program. All proceeds from our fundraisers go directly toward sending our students overseas and hosting the incoming exchange students.

If you need any further information, please feel free to contact me at 714-686-3012 or [ggsistercity@gmail.com](mailto:ggsistercity@gmail.com).

Sincerely,

Amanda Pollock  
President, Sister City Association of Garden Grove

**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To:	Scott C. Stiles	From:	William E. Murray
Dept.:	City Manager	Dept.:	Public Works
Subject:	Acceptance of Project Nos. 7216 and 7290, Various Residential Streets Rehabilitation as complete. ( <i>Action Item</i> )	Date:	1/28/2020

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**OBJECTIVE**

For City Council to accept Project Nos. 7216 and 7290 - Various Residential Streets Rehabilitation as complete, and authorize the City Manager to execute the Notice of Completion of Public Improvement and Work.

**BACKGROUND**

The project area consisted of local streets within the perimeter created by Garden Grove Boulevard on the north, Century and Taft on the east, Trask Avenue on the south and Brookhurst on the west. More specifically these included: Larson Avenue from Brookhurst Street to Bowen Street; Bowen Street from Central Avenue to Garden Grove Boulevard; Deanann Place from Dakota Avenue to Central Avenue; Cypress Street from Trask Avenue to Garden Grove Boulevard; Nelson Street/Paloma Avenue from Westlake Street to south of Century Boulevard; Westlake Street from Trask Avenue to Century Boulevard; Central Avenue from Brookhurst Street to Cypress Street; Imperial Avenue from Cypress Street to Westlake Street; Alan Way cul-de-sac at Imperial Avenue; and Glen Way cul-de-sac at Imperial Avenue. As part of the City-wide Pavement Management Plan, the above streets were scheduled for street rehabilitation in Fiscal Year 2019-2020. This project qualified for, and was funded in part, by Community Development Block Grant (CDBG) funding.

On July 9, 2019, the City entered into a contract with RJ Noble Company, a general contractor, for the project which consisted of roadway rehabilitation by full depth reclamation and cement treatment, asphalt paving, cold milling, construction of new PCC sidewalk, curb, curb & gutter, stamped concrete, drive approach, cross gutter, and handicap ramps, restoration of traffic striping, reestablishment of centerline ties and monuments, and other items required by the plans and specifications. Of all street improvements within the block, Larson Avenue sidewalk, curb & gutter and asphalt pavement were falling apart requiring full reconstruction of the entire width



of the street's right-of-way. Other streets within the block not covered in this rehabilitation/reconstruction will be maintained by Public Works Street Maintenance crew utilizing crack-seal and slurry-seal.

#### DISCUSSION

The contractor, RJ Noble Company, has completed the improvements in accordance with the plans, specifications, and other contract documents.

#### FINANCIAL IMPACT

There is no financial impact to the General Fund. This improvement is included in the Fiscal Year 2019-20 Capital Improvement Budget and was funded by Measure "M2" Local Fairshare, Gas Tax, and Community Development Block Grant (CDBG) funds.

#### RECOMMENDATION

It is recommended that the City Council:

- Accept Project Nos. 7216 and 7290 – Various Residential Streets Rehabilitation, as complete;
- Authorize the City Manager to execute the Notice of Completion of Public Improvement and Work; and
- Authorize the Finance Director to release the retention payment when appropriate to do so.

By: Mike Santos, P.E.  
Associate Engineer

#### ATTACHMENTS:

Description	Upload Date	Type	File Name
NOTICE OF COMPLETION	1/10/2020	Notice	NOC_PROJ_7261_AND_7290.pdf

RECORDING REQUESTED BY

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When Recorded Mail To:

City Clerk  
City of Garden Grove  
P. O. Box 3070  
Garden Grove, CA 92842

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NOTICE OF COMPLETION  
OF PUBLIC IMPROVEMENT AND WORK

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NOTICE IS HEREBY GIVEN that the City of Garden Grove, Orange County, California, has caused a public improvement, to wit:

PROJECT NO. 7216 & 7290  
VARIOUS RESIDENTIAL STREETS REHABILITATION

to be constructed upon the property hereinafter described. The contract for furnishing of all labor, services, materials, and equipment, and all utilities and transportation, including power, fuel, and water, and performing all work necessary to construct and complete, in a good and workmanlike manner in strict accordance with the specifications, plans, and drawings therefore on file in the office of the City Clerk of the City of Garden Grove, for the construction, installation and completion of the above-described public improvement and work, was heretofore made and entered into with R.J. Noble Company on the 9th day of July, 2019, and filed for record in the office of the City Clerk of the City of Garden Grove; that the work upon said public improvement has been completed, and that the City Engineer has notified the City Council that he has made and completed a final inspection of the materials furnished and installed and the work performed in the construction, installation, and completion of said public improvement hereinabove more particularly described and set forth, and has certified in writing to the City Council that all the provisions of the contract and contract documents for the furnishing of all labor, services, materials, and equipment, and the performing of all work necessary for the construction, installation, and completion of said public improvement above described have been fully complied with to his satisfaction as required by the contract document; that final acceptance of the construction, installation, and completion of said public improvement above described was made on the 28th day of January 2020 that the nature of the title to said property of said City of Garden Grove is as follows: That is to say, it owns said public improvement in fee except the right-of-way upon which it is constructed, and that it owns an easement upon, over, and along said right-of-way for the purpose of the construction, installation, and completion of said public improvement hereinabove described and the use thereof after said completion; that the property hereinabove referred to and on which said public improvement is situated is described as follows, to wit:

PROJECT NO. 7216 & 7290  
VARIOUS RESIDENTIAL STREETS REHABILITATION

NAME OF SURETY on Labor and Material Bond is: Western Surety Company  
2020 Main Street, Suite 750  
Irvine, CA 92614  
Tel No. (866) 404-7926

DATED this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_

CITY OF GARDEN GROVE

By \_\_\_\_\_  
City Manager of the City of Garden  
Grove

ATTEST:

\_\_\_\_\_  
City Clerk of the City of Garden Grove

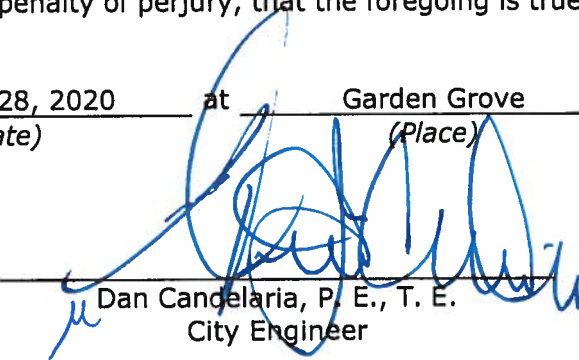
STATE OF CALIFORNIA  
COUNTY OF ORANGE

I am the City Engineer of the City of Garden Grove.

I have read the foregoing Notice of Completion of Public Improvement and Work, and know the contents thereof; and I certify that the same is true of my own knowledge, except as to those matters, which are therein stated upon my information or belief, and as to those matters I believe to be true.

I certify (or declare), under penalty of perjury, that the foregoing is true and correct.

Executed on January 28, 2020 at Garden Grove, California  
(Date) (Place)

  
\_\_\_\_\_  
Dan Candelaria, P. E., T. E.  
City Engineer

**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To: Scott C. Stiles From: John Montanez

Dept.: City Manager Dept.: Community Services

Subject: Award a contract to Novak & Normal Inc. dba: The PM Group for Project No. S-1259 - to print the City's Parks and Recreation Guide. (Cost: \$65,500) (*Action Item*) Date: 1/28/2020

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**OBJECTIVE**

This memo is to request the City Council to award a contract to Novak & Normal Inc. dba: The PM Group for Project No. S-1259 - to print the City's Parks and Recreation Guide.

**BACKGROUND**

The Community Services Department creates and designs the Parks and Recreation guide, which is mailed to 48,000 homes in Garden Grove, three times per year. The guide provides vital information about the City's recreation and community services to the residents of Garden Grove. The PM Group is needed to print the 144,000 copies and deliver them to the United States Post office.

**DISCUSSION**

Staff solicited bids for a company to print the Parks and Recreation Guide pursuant to Municipal Code Section 2.50.100.

Two (2) qualified bids were received and opened in the Purchasing Office at 10:00 a.m. on Monday, November 21, 2019. The lowest qualified bidder was Novak & Normal Inc. dba: The PM Group, with a total bid amount of \$65,500. This bid is within the current project budget. The licenses and references of the contractor have been reviewed and verified by staff, and all other documentation is in order. Contractors and bid amounts are as follows:

Novak & Normal Inc. dba: The PM Group	\$65,500
Axiom Design	\$280,480

## FINANCIAL IMPACT

This contract will have no additional fiscal impact on the general fund, as the funds required are allocated as part as the department's normal operating budget.

## RECOMMENDATION

It is recommended that the City Council:

- Award a contract to Novak & Normal Inc. dba: The PM Group, in the amount of \$65,500, for Project No. S-1259 - to print the City's Parks and Recreation Guide;
- Authorize up to four additional years for a total of five years with option years exercised one year at a time; and
- Authorize the City Manager to execute the contract and make minor modifications as appropriate thereto, on behalf of the City.

By Mark Freeman, Community Services Supervisor

### **ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>	<b>File Name</b>
PM Group Contract	1/14/2020	Agreement	PM_Group_2020_contract.pdf

## PROFESSIONAL SERVICES AGREEMENT

**THIS AGREEMENT** is made this \_\_\_\_\_ day of \_\_\_\_\_, 2020, by the **CITY OF GARDEN GROVE**, a municipal corporation, ("CITY") and **Novak & Normal Inc., dba: The PM Group**, herein after referred to as "CONTRACTOR".

### RECITALS

The following recitals are a substantive part of this Agreement:

1. This Agreement is entered into pursuant to Garden Grove COUNCIL AUTHORIZATION, DATED \_\_\_\_\_.
2. CITY desires to utilize the services of CONTRACTOR to Provide all labor, materials and equipment for the Printing, Mailing and Delivery of the Connections and Parks and Recreation Guide.
3. CONTRACTOR is qualified by virtue of experience, training, education and expertise to accomplish services.

### AGREEMENT

THE PARTIES MUTUALLY AGREE AS FOLLOWS:

1. **Term and Termination.** The term of the agreement shall be for period of one year from full execution of the agreement, with an option to extend said agreement additional four (4) years, for a total performance period of five (5) years. Option years shall be exercised one (1) year at a time, at the sole option of the CITY. This agreement may be terminated by the CITY without cause. In such event, the CITY will compensate CONTRACTOR for work performed to date in accordance with proposal which is attached as Attachment A and is hereby incorporated by reference. CONTRACTOR is required to present evidence to support performed work.
2. **Services to be Provided.** The services to be performed by CONTRACTOR shall consist of tasks as set forth in the Scope of Work. The Scope of Work is attached as Attachment "A", and is incorporated herein by reference. The Scope of Work and this Agreement do not guarantee any specific amount of work.
3. **Compensation.** CONTRACTOR shall be compensated as follows:
  - 3.1 **AMOUNT.** Total Compensation under this agreement shall not exceed (NTE) amount of Sixty Five Thousand Five Hundred Dollars (\$65,500.00), per year, payable in arrears and in accordance with PROPOSAL PRICING FORM, Attachment "B". All work shall be in accordance with RFP No. S-1259.

- 3.2 Payment For work under this Agreement, payment shall be made per invoice for work completed. Within 45 day of delivery of goods or completion of performance of services, CONTRACTOR must promptly render an invoice to CITY or payment may be significantly delayed. For extra work not a part of this Agreement, a written authorization by CITY will be required, and payment shall be based on schedule included in PROPOSAL PRICING FORM, Attachment "B". For extra work not a part of this Agreement, a written authorization by CITY will be required, and payment shall be based on schedule included in PROPOSAL PRICING FORM, Attachment "B. All work shall be in accordance with RFP. No. S-1259.
- 3.3 Records of Expenses. CONTRACTOR shall keep complete and accurate records of all costs and expenses incidental to services covered by this Agreement. These records will be made available at reasonable times to CITY.
- 3.4 Termination. CITY shall have the right to terminate this agreement, without cause, by giving thirty (30) days written notice of termination. If the Agreement is terminated by CITY, then the provisions of paragraph 3 would apply to that portion of the work completed.

4. **Insurance requirements.**

- 4.1 COMMENCEMENT OF WORK. CONTRACTOR shall not commence work under this Agreement until all certificates and endorsements have been received and approved by the CITY. All insurance required by this Agreement shall contain a Statement of Obligation on the part of the carrier to notify the CITY of any material change, cancellation, or termination at least thirty (30) days in advance and provide a Waiver of Subrogation in favor of the City.
- 4.2 WORKERS COMPENSATION INSURANCE. During the duration of this Agreement, CONTRACTOR and all subcontractors shall maintain Workers Compensation Insurance in the amount and type required by law, if applicable.
- 4.3 INSURANCE AMOUNTS. CONTRACTOR shall maintain the following insurance for the duration of this Agreement:
- (a) Commercial general liability in an amount of \$1,000,000.00 per occurrence (**claims made and modified occurrence policies are not acceptable**); Insurance companies must be acceptable to CITY and have a Best's Guide Rating of A-Class VII or better, as approved by the CITY.

- (b) Automobile liability in an amount of \$1,000,000.00 combined single limit (**claims made and modified occurrence policies are not acceptable**); Insurance companies must be acceptable to CITY and have a Best's Guide Rating of A-, Class VII or better, as approved by the CITY.

An **On-Going and Products Completed Operations Additional Insured Endorsement** for the policy under section 4.3 (a) shall designate CITY, it's officers, officials, employees, agents, and volunteers as additional insureds for liability arising out of work or operations performed by or on behalf of the CONTRACTOR. CONTRACTOR shall provide to CITY proof of insurance and endorsement forms that conform to CITY's requirements, as approved by the CITY.

An Additional Insured Endorsement for the policy under section 4.3 (b) shall designate CITY, it's officers, officials, employees, agents, and volunteers as additional insureds for automobiles, owned, leased, hired, or borrowed by the CONTRACTOR. CONTRACTOR shall provide to CITY proof of insurance and endorsement forms that conform to CITY's requirements, as approved by the CITY.

For any claims related to this Agreement, CONTRACTOR's insurance coverage shall be primary insurance as respects CITY, its officers, officials, employees, agents, and volunteers. Any insurance or self-insurance maintained by the CITY, its officers, officials, employees, agents, and volunteers shall be excess of the CONTRACTOR insurance and shall not contribute with it.

*If CONTRACTOR maintains higher insurance limits than the minimums shown above, CONTRACTOR shall provide coverage for the higher insurance limits otherwise maintained by the CONTRACTOR.*

5. **Non-Liability of Officials and Employees of the CITY.** No official or employee of CITY shall be personally liable to CONTRACTOR in the event of any default or breach by CITY, or for any amount which may become due to CONTRACTOR.
6. **Non-Discrimination.** CONTRACTOR covenants there shall be no discrimination against any person or group due to race, color, creed, religion, sex, marital status, age, handicap, national origin, or ancestry, in any activity pursuant to this Agreement.
7. **Independent Contractor.** It is agreed to that CONTRACTOR shall act and be an independent contractor and not an agent or employee of the CITY, and shall obtain no rights to any benefits which accrue to CITY'S employees.



8. **Compliance with Law.** CONTRACTOR shall comply with all applicable laws, ordinances, codes, and regulations of the federal, state, and local government. CONTRACTOR shall comply with, and shall be responsible for causing all contractors and subcontractors performing any of the work pursuant to this Agreement to comply with, all applicable federal and state labor standards, including, to the extent applicable, the prevailing wage requirements promulgated by the Director of Industrial Relations of the State of California Department of Labor. The City makes no warranty or representation concerning whether any of the work performed pursuant to this Agreement constitutes public works subject to the prevailing wage requirements.
9. **Notices.** All notices shall be personally delivered or mailed to the below listed address, or to such other addresses as may be designated by written notice. These addresses shall be used for delivery of service of process.
- a. (CONTRACTOR)  
Novak & Normal Inc., dba: The PM Group  
Attention: Paul McKinney, President  
25 Rancho Circle  
Lake Forest, CA 92630
- b. (Address of CITY) (with a copy to):  
City of Garden Grove Garden Grove City Attorney  
11222 Acacia Parkway 11222 Acacia Parkway  
Garden Grove, CA 92840 Garden Grove, CA 92840
10. **CONTRACTOR'S PROPOSAL.** This Agreement shall include CONTRACTOR'S proposal or bid which shall be incorporated herein by reference. In the event of any inconsistency between the terms of the proposal and this Agreement, this Agreement shall govern.
11. **Licenses, Permits, and Fees.** At its sole expense, CONTRACTOR shall obtain a Garden Grove Business License, all permits, and licenses as may be required by this Agreement.
12. **Familiarity with Work.** By executing this Agreement, CONTRACTOR warrants that: (1) it has investigated the work to be performed; (2) it has investigated the site of the work and is aware of all conditions there; and (3) it understands the facilities, difficulties, and restrictions of the work under this Agreement. Should Contractor discover any latent or unknown conditions materially differing from those inherent in the work or as represented by CITY, it shall immediately inform CITY of this and shall not proceed, except at CONTRACTOR's risk, until written instructions are received from CITY.
13. **Time of Essence.** Time is of the essence in the performance of this Agreement.

14. **Limitations Upon Subcontracting and Assignment.** The experience, knowledge, capability, and reputation of CONTRACTOR, its principals and employees were a substantial inducement for CITY to enter into this Agreement. CONTRACTOR shall not contract with any other entity to perform the services required without written approval of the CITY. This Agreement may not be assigned voluntarily or by operation of law, without the prior written approval of CITY. If CONTRACTOR is permitted to subcontract any part of this Agreement, CONTRACTOR shall be responsible to CITY for the acts and omissions of its subcontractor as it is for persons directly employed. Nothing contained in this Agreement shall create any contractual relationship between any subcontractor and CITY. All persons engaged in the work will be considered employees of CONTRACTOR. CITY will deal directly with and will make all payments to CONTRACTOR.
15. **Authority to Execute.** The persons executing this Agreement on behalf of the parties warrant that they are duly authorized to execute this Agreement and that by executing this Agreement, the parties are formally bound.
16. **Indemnification.** To the fullest extent permitted by law, CONTRACTOR shall defend, and hold harmless CITY and its elective or appointive boards, officers, agents, and employees from any and all claims, liabilities, expenses, or damages of any nature, including attorneys' fees, for injury or death of any person, or damages of any nature, including interference with use of property, arising out of, or in any way connected with the negligence, recklessness and/or intentional wrongful conduct of CONTRACTOR, CONTRACTOR's agents, officers, employees, subcontractors, or independent contractors hired by CONTRACTOR in the performance of the Agreement. The only exception to CONTRACTOR's responsibility to protect, defend, and hold harmless CITY, is due to the sole negligence, recklessness and/or wrongful conduct of CITY, or any of its elective or appointive boards, officers, agents, or employees.
- This hold harmless agreement shall apply to all liability regardless of whether any insurance policies are applicable. The policy limits do not act as a limitation upon the amount of indemnification to be provided by CONTRACTOR.
17. **Appropriations.** This Agreement is subject to and contingent upon funds being appropriated therefor by the Garden Grove City Council for each fiscal year covered by the term of this Agreement. If such appropriations are not made, this Agreement shall automatically terminate without penalty to the CITY.

\\\\\\

(Agreement Signature Block on Next Page)

**IN WITNESS THEREOF**, these parties have executed this Agreement on the day and year shown below.

Date: \_\_\_\_\_

**"CITY"**  
**CITY OF GARDEN GROVE**

By: \_\_\_\_\_  
**City Manager**

**ATTESTED:**

\_\_\_\_\_  
**City Clerk**

Date: \_\_\_\_\_

**"CONTRACTOR"**  
**Novak & Normal Inc., dba: The PM Group**

By: \_\_\_\_\_

Name: PAUL MCKINNEL

Title: PRESIDENT

Date: 1/6/2020

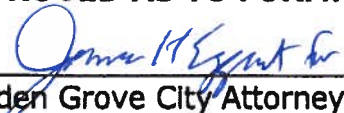
Tax ID No. 33-0827314

Contractor's License: N/A

Expiration Date: N/A

If CONTRACTOR is a corporation, a Corporate Resolution and/or Corporate Seal is required. If a partnership, Statement of Partnership must be submitted to CITY.

**APPROVED AS TO FORM:**

  
Garden Grove City Attorney

1/9/20  
Date

**ATTACHMENT "A"**  
**SCOPE OF WORK**  
**RFP No. S-1259**

**Provide all labor, materials and equipment for the Printing, Mailing and Delivery of the Connections and Parks and Recreation Guide**

**SCOPE**

The City is seeking a contract for the generation of proofs, printing, and mailing/delivery of the City's trimester *Connections* and *Parks and Recreation Guide*. These are two separate publications (1. *Connections* 2. *Parks and Recreation Guide*) that are stapled together. All proposals shall include turn-key pricing for all services requested. All quantities are estimated, and the City reserves the right to reasonably increase or decrease these amounts. It is anticipated that any contract awarded will be for one year (3 issues), starting with the summer 2020 publication, with the option of renewing the contract for up to total of five (5) years on an annual basis at the sole option of the City.

**PROJECT DESCRIPTION**

Design the proofs, print and mail and or deliver as specified, three trimester publications of the City of Garden Grove City News (*Connections*) and the *Parks and Recreation Guide*. The *Connections* = approximately 8 pages; The *Parks and Recreation Guide* = approximately 24 pages text. The *Parks and Recreation Guide* stitches 1/2" above the *Connections*, so there is a "reveal" of the *Parks and Recreation Guide* when both documents are bound together.

**SPECIFICATION**

The City is seeking two options with the following specifications, for all editions (winter/spring, summer and fall) of the *Connections* and Garden Grove *Parks and Recreation Guide*. Proposers must submit pricing for both OPTIONS 1 and 2 or the proposal may be deemed as non-responsive by the City. The City will select one or both options at its discretion.

**OPTION 1 DETAILS (Black and White):**

- Spread Size: 16.75 x 10.875
- Finished Size: 8.375 x 10.875
- Stock: 35# HiBrite
- Issue Size: approximately 24 pages plus covers
- *Connections* Cover: 70# Gloss Book, 4/4: Four color process, two sides
- *Parks and Recreation Guide* Cover: 70# Gloss book, #3 Grade; 4/4: Four color process, two sides

- Interior: 35# HiBrite; 1/1 Black throughout
- One digital-printed proof to ensure correct file translation and color accuracy
- File Type: The City will create the document in Adobe InDesign CS2 for PC, and the associated fonts, TIFF, JPEG, and AI/EPS files are included in document as well as the document folder. Files to be delivered to the contractor electronically.
- Finishing: Fold, gather, saddle stitch, trim to final size, Bundle (tie) in 50's/ turn in 25's prepare for carrier walk route mailing, addressed to residential customer (residences only)
- Bulk packed; carton pack desk copies FOB destination freight to two locations included

### **OPTION 2 DETAILS (Full Color):**

- Spread Size: 16.75 x 10.875
- Finished Size: 8.375 x 10.875
- Stock: 35# HiBrite
- Issue Size: approximately 24 pages plus covers
- Connections Cover: 70# Gloss Book, 4/4: Four color process, two sides
- Parks and Recreation Guide Cover: 70# Gloss book, #3 Grade; 4/4: Four color process, two sides
- Interior: 35# HiBrite; 4/4: Four color process throughout
- One digital-printed proof to ensure correct file translation and color accuracy
- File Type: The City will create the document in Adobe InDesign CS2 for PC, and the associated fonts, TIFF, JPEG, and AI/EPS files are included in document as well as the document folder. Files to be delivered to the contractor electronically.
- Finishing: Fold, gather, saddle stitch, trim to final size, Bundle (tie) in 50's/ turn in 25's prepare for carrier walk route mailing, addressed to residential customer (residences only)
- Bulk packed; carton pack desk copies FOB destination freight to two locations included

### **PROOF**

Contractor shall submit to the City a hard copy color proof of each publication's final draft, at least five (5) working days prior to printing. DO NOT print without final approval from the City. The City will not be responsible for any printing done without prior approval and all costs associated shall be the responsibility of the contractor.

## **PRODUCTION**

- Winter/Spring- 49,000 copies to be printed, with 1,000 copies to be delivered to Garden Grove City Hall
- Summer- 49,000 copies to be printed, with 1,000 copies to be delivered to Garden Grove City Hall
- Fall- 49,000 copies to be printed, with 1,000 copies delivered to Garden Grove City Hall

## **MAILING**

Contractor to obtain list for carrier route, sort by carrier route, bundle and deliver trayed to the main post office in Garden Grove located at: 10441 Stanford Avenue, Garden Grove, CA 92840 (714) 537-1181.

## **PRODUCTION SCHEDULE**

Contractor shall furnish the City with a production schedule which will assure that each issue is distributed at the times specified by the City. At a minimum, the schedule will include deadline dates for submittal of the InDesign file by the City, final corrections, and distribution. Contractor will not be responsible for delays caused by the City, however the contract will include financial penalties for late distribution which is determined to be the fault of the contractor.

## **PUBLICATION SCHEDULE**

### **Option 1**

The Connections consists of approximately 8 full color pages and The Parks and Recreation Guide consists of an 8 page full color cover plus 20 black and white pages, with the exception of the Summer Issue, which can be approximately 24 pages.

### **Option 2**

The Connections consists of approximately 8 full color pages and The Parks and Recreation Guide consists of an 8 page full color cover plus approximately 20 full color pages, with the exception of the Summer Issue, which can be approximately 24 pages.

The publication schedules are as follows:

Winter/Spring Issue-distributed first week December  
Summer Issue-distributed in first week April  
Fall Issue-distributed in first August

**SAMPLE DOCUMENT:**

A PDF sample of the City's Parks and Recreation Guide can be found on the City's website (Planet Bids) where the RFP document is located or you may stop by Garden Grove City Hall (Purchasing Division) for a printed copy.

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**RFP NO. S-1259  
ATTACHMENT "B"  
PROPOSAL PRICING FORM**

**THIS FORM MUST BE COMPLETED AS OUTLINED BELOW AND RETURNED WITH THE PROPOSAL. PLEASE DO NOT CHANGE THE FORMAT.**  
*The City provides the below numbers as estimated quantities only. Actual numbers could be much higher or lower than the quantities provided below.*

Est. Annual Quantity	Unit	Description	PRICE RANGE	EXTENDED COST
<b>OPTION ONE (1)</b>				
<b>150,000</b> Approximate	Each	8 full color pages for the Connections pages and 8 full color cover pages and 24 black and white for the Parks and Recreation Guide	\$	\$ 48,321
		TAXES AND OTHER FEES (If any)	\$	\$ 4,230*
<b>150,000</b> Approximate		Sort by Carrier Route and Delivery to Post Office and City as required	N/A	\$ Included
		Obtain List for Carrier Route	N/A	\$ Included
<b>OPTION ONE TOTAL</b>			\$	\$ 52,551*

Est. Annual Quantity	Unit	Description	UNIT PRICE RANGE	EXTENDED COST
<b>OPTION TWO (2)</b>				
<b>150,000</b> Approximate	Each	8 full color pages for the Connection pages and 32 full color pages for the Parks and Recreation Guide	\$	\$ 53,472
		TAXES AND OTHER FEES (If any)	\$	\$ 4,680*
<b>150,000</b> Approximate		Sort by Carrier Route and Delivery to Post Office and City as required	N/A	\$ Included
		Obtain List for Carrier Route	N/A	\$ Included
<b>OPTION TWO TOTAL</b>			\$	\$ 58,152*

\*See page 13 for sales tax and postage information.



Pricing must be provided for both OPTION ONE (1) AND OPTION (2) since the City may use both options as needed.

For additional taxes/fees listed in this Attachment "B" please provide an itemized list of those costs which include a complete description and cost breakdown for these additional taxes/fees. Please attach additional sheets if needed.

Please list any subcontractors (mailing/distribution centers) that you will be using for this project. All subcontractors are subject to final approval by the City. Contractor is responsible to ensure that all subcontractors carry the proper insurance as per the contract.

**1. Mailing services subcontracted through Advantage Mailing**

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**2.**

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Please check your calculations before submitting your Proposal; the City of Garden Grove will not be responsible for Proposer miscalculations.

BY: 

**(949) 597-1662**

(Signature)

**Paul McKinney**

Telephone Number

(Type or Print Name)

**President**

(Title)

**paulm@pmgrp.net**

(Email Address)

**The PM Group**

(Company Name)

### A WORD ABOUT SALES TAX

**For computation purposes, (see page 11), 8.75% sales tax has been included for the entire transaction.**

**However, if the City determine that *Connections* and *Parks and Recreation Guide* is considered a “sales message,” 8.75% sales tax is not required on the copies that mail. In this case, sales tax would be required only on the copies that deliver to the City.**

**Please consult with your tax and accounting experts for the final determination of how *Connections* and *Parks and Recreation Guide* shall be taxed.**

### POSTAGE

- **Postage is not included in pricing provided on page 11.**
- **EDDM postage is estimated at approximately \$0.182 each.**
- **Postage to be paid by The City directly to the USPS.**
- **The USPS has indicated there will be a postage increase in January 2020. At this time the amount of the increase is yet to be determined.**



## City of Garden Grove Compliance Summary Report

Vendor Number	Vendor Name	AM Best Rating	Insurance Carrier	Policy #	Eff. Date	Exp. Date	Coverage
57500	THE PM GROUP, INC. (NOVAK & NORMAL, INC.)	Compliant					
		A+, XV	Ohio Security Insurance Company	BAS56681390	5/1/2019	5/1/2020	Auto Liability
		A+, XV	West American Insurance Company	BKW56681390	5/1/2019	5/1/2020	General Liability
		A-p, XI	Employers Preferred Insurance Company	ELG152150407	5/1/2019	5/1/2020	Workers Comp

**Risk Profile :**

Standard (not professional services or construction)

**Required Additional Insured :**

City of Garden Grove, its officers, officials, agents, employees and volunteers

**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To:	Scott C. Stiles	From:	John Montanez
Dept.:	City Manager	Dept.:	Community Services
Subject:	Adoption of a Resolution approving a grant application for the Proposition 68 Per Capita Grant Program. ( <i>Action Item</i> )		
		Date:	1/28/2020

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**OBJECTIVE**

For the City Council to adopt a Resolution approving the grant application for the Proposition 68 Per Capita Grant Program.

**BACKGROUND**

In June 2018, California voters passed Proposition 68 which authorized \$4 billion in general obligation bonds for state and local parks, environmental protection and restoration projects, water infrastructure projects, and flood protection projects. More than \$1 billion in Proposition 68 proceeds were allocated to this year's State budget.

The Per Capita Grant Program is part of Proposition 68 funding, and has a total amount of \$185,000,000 available this budget year for local park rehabilitation, creation, and improvement grants to local governments on a per capita basis. Cities can apply for the total amount of funds that will be allocated based on population. The minimum amount for allocations is \$200,000. Additionally, this grant will require a 20% match in funds allocated.

**DISCUSSION**

The Community Services Department will be preparing a grant application for the Proposition 68 Per Capita Grant Program. Adoption of a Resolution authorizing the City Manager and Community Services Department to submit the grant application is required. Attached is the Resolution for City Council consideration. Upon adoption of the Resolution, Community Services staff will provide updates on the project selected for this grant program.

**FINANCIAL IMPACT**

At this time, staff has not received confirmation from the State Parks Office on the

total amount the city will be eligible to receive based on its per capita. However, staff has been informed that the minimum amount allocated will be \$200,000. The City will be required to provide 20% in matching funds. There are funds budgeted in the Park Fees under the Capital Improvement Plan that will be used as matching funds for this grant program.

#### RECOMMENDATION

It is recommended that the City Council:

- Adopt the attached Resolution to approve filing a grant application for the Proposition 68 Per Capita Grant Program; and
- Authorize the City Manager and Community Services Director to execute the grant application.

By: Janet Pelayo, Manager

#### **ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>	<b>File Name</b>
CC Resolution	1/24/2020	Resolution	1-28- 20_CC_Per_Capita_Resolution.pdf

GARDEN GROVE CITY COUNCIL

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDEN GROVE  
APPROVING THE APPLICATION FOR THE PROPOSITION 68 PER CAPITA GRANT  
PROGRAM

WHEREAS, the State Department of Parks and Recreation has been delegated the responsibility by the Legislature of the State of California for the administration of the Per Capita Grant Program, setting up necessary procedures governing the application; and

WHEREAS, said procedures established by the State Department of Parks and Recreation require the Applicant to certify by resolution the approval of the application before submission of said application to the State; and

WHEREAS, the Applicant will enter into a contract with the State of California to complete project(s).

NOW, THEREFORE, BE IT RESOLVED, that the Garden Grove City Council does hereby:

1. Approve the filing of project application(s) for Per Capita Grant Program grant project(s); and
2. Certify that said Applicant has or will have available, prior to commencement of work utilizing Per Capita funding, sufficient funds to complete the project(s); and
3. Certify that the Applicant has or will have sufficient funds to operate and maintain the project; and
4. Certify that all projects proposed will be consistent with the park and recreation element of the City of Garden Grove's general or recreation plan (PRC § 80063(a)); and
5. Certify that these funds will be used to supplement, not supplant, local revenues in existence as of June 5, 2018 (PRC § 80062(d)); and
6. Certify that it will comply with the provisions of §1771.5 of the State Labor Code; and
7. (PRC §80001(b)(8)(A-G)) To the extent practicable, as identified in the "Presidential Memorandum – Promoting Diversity an Inclusion in Our National Parks, National Forests, and Other Public Lands and Waters," dated January 12, 2017, the Garden Grove City Council will consider a range of actions that include, but are not limited to, the following:
  - a. Conducting active outreach to diverse population, particularly minority, low-income, and disable populations and tribal communities, to increase awareness within those communities and the public generally about specific programs and opportunities.
  - b. Mentoring new environmental, outdoor recreation, and conservation leaders to increase diverse representation across these areas.
  - c. Creating new partnerships with state, local, tribal, private, and nonprofit organization expand access for diverse populations.

- d. Identifying and implementing improvement of existing programs to increase visitation and access by diverse populations, particularly minority, low-income, and disabled populations and tribal communities.
  - e. Expanding the use of multilingual and culturally appropriate materials in public communications and educational strategies, including through social media strategies, as appropriate, that target diverse populations.
  - f. Developing or expanding coordinated efforts to promote youth engagement and empowerment, including fostering new partnership with diversity-serving and youth-serving organizations, urban areas, and programs.
  - g. Identify possible staff liaisons to diverse populations.
- 8. Agree that to the extent practicable, the project(s) will provide workforce education and training, contractor and job opportunities for disadvantaged communities (PRC §80001 (b)(5));
  - 9. Certify that the Applicant shall not reduce the amount of funding otherwise available to be spent on parks or other projects eligible for funds under this division in its jurisdiction. A one-time allocation of other funding that has been expended for parks or other projects, but which is not available on an ongoing basis, shall not be considered when calculating a recipient's annual expenditures (PRC §80062(d));
  - 10. Certify that the grantee has reviewed, understands, and agrees to the General Provisions contained in the contract shown in the Procedural Guide; and
  - 11. Delegate the authority to the City Manager and/or Community Services Director, to conduct all negotiations, sign and submit all documents, including, but not limited to applications, agreements, amendments, and payment requests, which may be necessary for the completion of the grant scope; and
  - 12. Agree to comply with all applicable federal, state and local laws, ordinances, rules, regulations and guidelines.

**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To:	Scott C. Stiles	From:	Maria Stipe
Dept.:	City Manager	Dept.:	City Manager
Subject:	Authorization for Council Members and staff travel to South Korea to participate in a Tourism Promotion and Sister City Exchange Program. ( <i>Action Item</i> )		
		Date:	1/28/2020

---

**OBJECTIVE**

To obtain travel authorization for five members of the City Council and three staff members to participate in a tourism promotion and Sister City exchange program in the Republic of Korea from April 4–10, 2020, which includes travel time.

**BACKGROUND**

For the past 30 years, the City of Garden Grove has worked to foster friendship, understanding and cooperation with its Sister City in Anyang, Korea. This has been accomplished through support of the Sister City Association and annual student exchange program, various business meetings, as well as participation in a public employee exchange program.

**DISCUSSION**

This year, to celebrate 30 years of friendship, the Mayor of Anyang has invited Mayor Jones and a delegation of City officials, staff and members of the tourism and business community to visit Anyang City from April 8–10, 2020. The purpose of the visit will be to further our commitment to promote exchange and cooperation between our two cities and officially commemorate the 30th anniversary of our friendship and sisterhood.

As part of this visit, the City will be partnering with representatives from Visit Anaheim and the Orange County Sports Commission to promote tourism from the Republic of Korea to Garden Grove. On April 6-7, the City delegation, which will include Steve Jones, John O'Neill, Patrick Phat Bui, George Brietigam, Diedre Thu-Ha Nguyen, Lisa Kim, Greg Blodgett and Jany Lee, will meet with Korea's key travel industry representatives in Seoul to discuss various tourism opportunities including E-Sports tournaments and promoting Garden Grove as a tourism destination. It is



anticipated that tourism industry officials will be further encouraged to invest in and promote tourism exchange between the City of Garden Grove and the Republic of Korea as a result of this visit.

#### FINANCIAL IMPACT

There is no impact to the General Fund. Expenses related to this trip will be fully covered by the Garden Grove Tourism Promotion Corporation (GGTPC) budget. The estimated cost for the City delegation, comprised of five City Council Members and three staff members, is \$31,600.

#### RECOMMENDATION

It is recommended that the City Council:

- Authorize travel for five City Council Members and three staff members to South Korea from April 4-10, 2020, in cooperation with the GGTPC, Visit Anaheim, and the OC Sports Commission.

**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To: Scott C. Stiles                      From: Teresa Pomeroy  
Dept.: City Manager                      Dept.: City Clerk  
Subject: Receive and file minutes      Date: 1/28/2020  
            from the meeting held on  
            January 14, 2020. (*Action*  
            *Item*)

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Attached are the minutes from the meeting held on January 14, 2020, recommended to be received and filed as submitted or amended.

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>	<b>File Name</b>
Minutes	1/23/2020	Minutes	cc-min_01_14_2020.pdf

MINUTES

GARDEN GROVE CITY COUNCIL

Regular Meeting

Tuesday, January 14, 2020

Community Meeting Center  
11300 Stanford Avenue, Garden Grove, CA 92840

CONVENE MEETING

At 6:37 p.m., Mayor Jones convened the meeting in the Council Chamber.

ROLL CALL      PRESENT:      (6)      Council Members Brietigam, D. Nguyen,  
Klopfenstein, K. Nguyen, Mayor Pro Tem  
O'Neill, Mayor Jones

ABSENT:      (1)      Council Member Bui

INVOCATION

PLEDGE OF ALLEGIANCE TO THE FLAG OF THE UNITED STATES OF AMERICA

COMMUNITY SPOTLIGHT IN RECOGNITION OF CITY EMPLOYEE ALLISON WILSON'S  
RETIREMENT AFTER 36 YEARS OF SERVICE

COMMUNITY SPOTLIGHT IN RECOGNITION OF STUDENTS VISITING FROM GARDEN  
GROVE'S SISTER CITY ANYANG, KOREA

ADOPTION OF A PROCLAMATION DECLARING JANUARY 13, 2020 AS KOREAN  
AMERICAN DAY IN GARDEN GROVE (F: 83.1)

It was moved by Council Member K. Nguyen, seconded by Council Member D. Nguyen that:

A Proclamation declaring January 13, 2020, as Korean American Day in Garden Grove, be adopted.

The motion carried by a 6-0-1 vote as follows:

Ayes: (6) Brietigam, O'Neill, D. Nguyen, Klopfenstein, K.  
Nguyen, Jones  
Noes: (0) None  
Absent: (1) Bui

Following the vote, both Kyoung Ja Kim, Chairperson of the Korean American Federation of Orange County, and Brian Chung, President of the Korean American Chamber of Commerce of Orange County thanked the City Council for recognizing Korean Americans.

#### ORAL COMMUNICATIONS

Speakers: Tom Raber, Craig Durfey, Julian, Damien Garcia Monroe, Tanya Pham.

#### RECESS

At 7:15 p.m., Mayor Jones recessed the meeting.

#### RECONVENE

At 7:17 p.m., Mayor Jones reconvened the meeting in the Council Chamber with Council Members Brietigam, O'Neill, D. Nguyen, Klopfenstein, and K. Nguyen present.

#### ADOPTION OF A PROCLAMATION DECLARING JANUARY 13, 2020 AS KOREAN AMERICAN DAY IN GARDEN GROVE (F: 83.1)

This matter was considered earlier in the meeting.

#### AWARD A CONTRACT TO SPECTRUM FOR INTERNET SERVICE

It was moved by Council Member Brietigam, seconded by Council Member O'Neill that:

A three year contract be awarded to Spectrum, in the amount of \$59,754, to provide all labor, material and equipment for Internet service; and

The City Manager or his designee be authorized to execute the contract on behalf of the City, with an option to be renewed annually for up to two additional years.

The motion carried by a 6-0-1 vote as follows:

Ayes: (6) Brietigam, O'Neill, D. Nguyen, Klopfenstein, K.  
Nguyen, Jones  
Noes: (0) None  
Absent: (1) Bui

## ADOPTION OF A RESOLUTION SUPPORTING AN OC STREETCAR EXTENSION

It was moved by Council Member Brietigam, seconded by Council Member O'Neill that:

Resolution No. 9603-20 entitled: A Resolution of the City Council of the City of Garden Grove supporting an OC Streetcar extension, be adopted.

The motion carried by a 6-0-1 vote as follows:

Ayes: (6) Brietigam, O'Neill, D. Nguyen, Klopfenstein, K.  
Nguyen, Jones  
Noes: (0) None  
Absent: (1) Bui

## RECEIVE AND FILE MINUTES FROM THE MEETINGS HELD ON DECEMBER 10, 2019 AND DECEMBER 17, 2019 (F: VAULT)

It was moved by Council Member Brietigam, seconded by Council Member O'Neill that:

Minutes from the meetings held on December 10, 2019, and December 17, 2019, be received and filed.

The motion carried by a 6-0-1 vote as follows:

Ayes: (6) Brietigam, O'Neill, D. Nguyen, Klopfenstein, K.  
Nguyen, Jones  
Noes: (0) None  
Absent: (1) Bui

## WARRANTS

It was moved by Council Member Brietigam, seconded by Council Member O'Neill that:

Regular Warrants 657324 through 657489; 657490 through 657675; 657676 through 657881; 657882 through 658089; Wires W2685 through W2694; Direct Deposit W657399; W2696 through W2704; W2705 through W2706; Direct Deposits W657881 through W658089; be approved as presented in the warrant register submitted, and have been audited for accuracy and funds are available for payment thereof by the Finance Director; and

Payroll Warrants 183817 through 183840; Direct Deposits D358055 through D358882; and Wires W2654 through W2657; be approved as presented in the

warrant register submitted, and have been audited for accuracy and funds are available for payment thereof by the Finance Director.

The motion carried by a 6-0-1 vote as follows:

Ayes: (6) Brietigam, O'Neill, D. Nguyen, Klopfenstein, K.  
Nguyen, Jones  
Noes: (0) None  
Absent: (1) Bui

APPROVAL OF AMENDMENT NO. 1 TO THE AGREEMENT WITH ENGINEERING RESOURCES OF SOUTHERN CALIFORNIA INC., FOR ON-CALL CIVIL PLAN CHECKING SERVICES

Following staff introduction, it was moved by Council Member Brietigam, seconded by Council Member Klopfenstein that:

Amendment No. 1 to the existing agreement with Engineering Resources of Southern California, Inc., to increase the initial agreement amount from \$600,000 to \$800,000, a \$200,000 increase, be approved; and

The City Manager be authorized to sign Amendment No. 1 on behalf of the City, and to make minor modifications as appropriate.

The motion carried by a 6-0-1 vote as follows:

Ayes: (6) Brietigam, O'Neill, D. Nguyen, Klopfenstein, K.  
Nguyen, Jones  
Noes: (0) None  
Absent: (1) Bui

ADOPTION OF A RESOLUTION AUTHORIZING A FUNDING AGREEMENT WITH THE CALIFORNIA STATE WATER RESOURCES CONTROL BOARD (SWRCB) FOR A GROUNDWATER TREATMENT PROJECT

Following staff introduction and City Council discussion, it was moved by Council Member Klopfenstein, seconded by Council Member K. Nguyen that:

Resolution No. 9604-20 entitled: A Resolution of the City Council of the City of Garden Grove authorizing entering into a funding agreement with the State Water Resources Control Board; authorizing and designating the City of Garden Grove for the Groundwater Treatment Project, be adopted;

The Public Works Director, or his designee, be authorized to sign, for and on behalf of the City of Garden Grove, the funding agreement for the Project and any amendments; and



proactive on discussions regarding flooding in District's 5 and 6 with the Public Works Director, as well as setting meetings with Senator Umberg and Assemblyman Tom Daly. She also asked for the Public Works Director to assist her by assessing the condition of Buena Clinton Street. She encouraged people to attend the Fourth Annual Women's March on Saturday, January 18, 2020, at 10:00 a.m. in downtown Santa Ana. This is a family friendly event put on by a local grass roots coalition of individuals dedicated to promoting equity and advancing the status of women and women's issues.

Council Member Klopfenstein encouraged residents to continue mosquito abatement through winter months, noting that the new normal are year round biting mosquitos. She noted that the Namm Show is coming to the Anaheim Convention Center January 16<sup>th</sup> through the 19<sup>th</sup>. She stressed that Namm is beneficial to the tourist district in Garden Grove; however, it will also impact the residents who live near the convention center. She thanked the City Manager, Public Works Director, and Police Chief, for meeting with her to prepare for and to troubleshoot the parking and congestion issues the residents will have to contend with during Namm.

City Manager Stiles stated that there will be a presentation by the 2020 Census Bureau at the next City Council meeting, and he commented on the importance of a complete and accurate census count for the benefit of the community. There will also be an overview of the Police Department Infrastructure Needs Assessment provided, as well as a Code Enforcement activity update to include Short Term Rentals.

Council Member Brietigam requested that City Manager Stiles confirm with the Census Bureau staff on what census workers will be wearing and the type of badges they will be using for the benefit of the residents.

#### ADJOURNMENT

At 7:36 p.m., Mayor Jones adjourned the meeting. The next Regular City Council Meeting will be held on Tuesday, January 28, 2020, at 5:30 p.m. at the Community Meeting Center, 11300 Stanford Avenue, Garden Grove, California.

Teresa Pomeroy, CMC  
City Clerk



**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To: Scott C. Stiles From: Teresa Pomeroy  
Dept.: City Manager Dept.: City Clerk  
Subject: Receive and file warrants. Date: 1/28/2020  
(*Action Item*)

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Attached are the warrants recommended to be received and filed.

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>	<b>File Name</b>
Warrants	1/23/2020	Warrants	1-28-20_CC_Warrants_(Payroll_1-2-20).pdf
Warrants	1/23/2020	Warrants	1-28-20_CC_warrants_(1-8-20).pdf
Warrants	1/23/2020	Warrants	1-28-20_CC_Warrants_(1-15-20).pdf
Warrants	1/23/2020	Warrants	1-28-20_CC_Warrants_(Payroll_1-16-20).pdf

183841	JUDITH A MOORE	1858.96	183842	DIANE BELAIR	1795.04
183843	ARMANDO HERRERA JR.	485.06	183844	JAKE P TRAN	291.04
183845	DARIEL TAPIA	287.86	183846	MICHAEL F ROCHA	1961.08
183847	ARTHUR J FLORES	2216.60	183848	EDWIN O THURMAN JR	865.73
183849	DEANNA M CHUMACERO	477.72	183850	AARON D DINH	187.29
183851	STEVEN E GOMEZ	692.53	183852	ARNULFO GUZMAN JR	148.09
183853	HALLIE S HUANG	60.60	183854	LAURA M PACHECO	58.39
183855	EDOUARD T PHAN	306.58	183856	JACOB THAOSATIEN	104.66
183857	SAWANTHA B VARGAS	252.15	183858	DANIEL A ZEMBOWER	60.60
183859	RUDY A ROCHA	245.83	183860	GONZALO GONZALEZ JR	1769.03
183861	LEVI JOENIEL SILVA	1820.20	183862	WILLIAM ALLISON	5071.29
183863	O.C.E.A. GENERAL	2299.18	183864	O.C.E.A.	1113.59
183865	COMMUNITY HEALTH CHARITI	45.00	183866	GARDEN GROVE POLICE ASSO	1610.00
D358881	GEORGE S BRIETIGAM III	558.42	D358882	PHAT T BUI	256.11
D358883	STEVEN R JONES	402.10	D358884	STEPHANIE L KLOPFENSTEIN	326.55
D358885	DIEDRE THU HA NGUYEN	499.09	D358886	KIM B NGUYEN	500.60
D358887	JOHN R O'NEILL	543.62	D358888	STEVE R SOLORIO	45.52
D358889	PAMELA M HADDAD	1547.83	D358890	SHAWN S PARK	2230.42
D358891	SCOTT C STILES	6916.30	D358892	MARIA A STIPE	5279.69
D358893	MEENA YOO	2133.37	D358894	MARITZA PIZARRO	1884.35
D358895	AMANDA M POLLOCK	1550.63	D358896	TERESA L POMEROY	3112.84
D358897	LIZABETH C VASQUEZ	1988.32	D358898	VERONICA AVILA	1906.67
D358899	JEFFREY P DAVIS	2048.01	D358900	BRITTANI L JOHNSON	176.70
D358901	NOELLE N KIM	1926.84	D358902	MISSY M MENDOZA	291.41
D358903	MARIE L MORAN	2465.79	D358904	ANA E PULIDO	3525.53
D358905	KRISTY H THAI	2229.35	D358906	SHAUNA J CARRENO	1921.15
D358907	VY D HO	1506.85	D358908	DANNY HUYNH	3557.55
D358909	VILMA C KLOESS	2265.88	D358910	IVY LE	2130.40
D358911	TAMMY LE	1380.33	D358912	LINDA MIDDENDORF	2297.69
D358913	MARIA A NAVARRO	2279.29	D358914	PHUONG VIEN T NGUYEN	2065.34
D358915	QUANG NGUYEN	2431.46	D358916	TINA T NGUYEN	2139.44
D358917	THYANA T PHI	2381.57	D358918	MARIA RAMOS	2213.64
D358919	TANYA L TO	1415.78	D358920	CUONG K TRAN	2065.17
D358921	ELAINE TRUONG	1531.73	D358922	THANH-NGUYEN VO	1531.88
D358923	SYLVIA GARCIA	2037.75	D358924	YUAN SONG	4429.81
D358925	KAREN M HARRIS	2770.89	D358926	CHRISTI C MENDOZA	894.64
D358927	TREVOR G SMOUSE	2133.14	D358928	JANET J CHUNG	2472.78
D358929	ANN C EIFERT	3015.69	D358930	MARGARITA A ABOLA	1760.80
D358931	MARY ANN M ALCANCIA	2729.86	D358932	MARISA ATIN RAMOS	1239.98
D358933	ROBERT W MAY	1144.73	D358934	SHAWNA A MCDONOUGH	1452.99
D358935	HEIDY Y MUNOZ	3039.71	D358936	SELAMAWIT NIGATU	1725.96
D358937	MY TRA VO	1795.01	D358938	LIGIA ANDREI	1593.69
D358939	ARIANA B BAUTISTA	1563.22	D358940	KAREN J BROWN	456.02
D358941	CORINNE L HOFFMAN	2238.87	D358942	JEFF N KURAMOTO	2625.68
D358943	CHELSEA E LUKAS	1556.20	D358944	EDWARD E MARVIN JR	1613.99
D358945	ANGELA M MENDEZ	1592.55	D358946	JENNIFER L PETERSON	1761.82
D358947	ANH PHAM	1577.72	D358948	EVA RAMIREZ	1919.93
D358949	ALEXIS B ROMERO	1844.35	D358950	JAIME F CHAVEZ	1501.72

\*\*\*\* PAGE TOTAL = 160034.81

D358951	GARY F HERNANDEZ	1590.33	D358952	NEAL M MANALANSAN	1636.27
D358953	DANIEL J SANCHEZ	1601.65	D358954	SANDRA E SEGAWA	3361.76
D358955	ALANA R CHENG	2314.84	D358956	PAUL GUERRERO	2889.62
D358957	LISA L KIM	4701.56	D358958	JULIE A ASHLEIGH	1826.68
D358959	MICHAEL G AUSTIN	2344.57	D358960	RITA M CRAMER	2230.99
D358961	CHRISTOPHER J CRANDALL	2570.20	D358962	BRYSON T DAHLHEIMER	2022.55
D358963	DAVID A DENT	3910.25	D358964	TODD C HARTWIG	2533.76
D358965	RALPH V HERNANDEZ	2228.27	D358966	AARON J HODSON	2246.56
D358967	DONALD E LUCAS	2776.71	D358968	SVETLANA MOURE	2075.47
D358969	PHU T NGUYEN	3598.98	D358970	LORENA J QUILLA-SOULES	2643.46
D358971	PEDRO ROQUE	2243.78	D358972	MARCO A VALADEZ	866.25
D358973	CHRISTOPHER CHUNG	2544.80	D358974	PRIT J KASKLA	1818.62
D358975	HUONG Q LY	1849.81	D358976	LEE W MARINO	3799.25
D358977	MARIA L MEDRANO	2123.57	D358978	MARIA C PARRA	2910.50
D358979	GREG BLODGETT	3368.23	D358980	MONICA COVARRUBIAS	2920.82
D358981	GRACE E LEE	2159.35	D358982	AMEENAH ABU-HAMDIYYAH	1783.55
D358983	ROY N ROBBINS	2811.23	D358984	TIMOTHY E THRONE	1786.67
D358985	ALLISON D WILSON	1701.69	D358986	MICHAEL C BOS	2020.89
D358987	DANIEL J CANDELARIA	4052.99	D358988	VINCENT L DE LA ROSA	2283.79
D358989	KAMYAR DIBAJ	1126.28	D358990	ALICIA M HOFER	1684.94
D358991	NICOLAS C HSIEH	2965.01	D358992	ROSEMARIE JACOT	1937.94
D358993	SHAN L LEWIS	2536.87	D358994	NAVIN B MARU	3388.30
D358995	JUAN C NAVARRO	2243.59	D358996	MICHAEL F SANTOS	2874.72
D358997	MARK P UPHUS	3510.53	D358998	JOSE A VASQUEZ	3052.81
D358999	ANA G VERGARA NEAL	2372.90	D359000	DAI C VU	3870.57
D359001	KHANG L VU	3089.97	D359002	CHRISTOPHER L ALLEN	1641.24
D359003	JOSHUA J ARIONUS	1871.18	D359004	ALEJANDRO BANUELOS	1404.51
D359005	JAN BERGER	2062.63	D359006	ROBERT P BERMUDEZ	987.95
D359007	TIM P CANNON	4352.26	D359008	CARINA M DAN	1946.64
D359009	RYAN H DAVIS	1503.11	D359010	KATHLEEN N DELFIN	968.88
D359011	RONALD W DIEMERT	1934.67	D359012	CHRIS N ESCOBAR	3240.17
D359013	JEREMY J GLENN	1314.78	D359014	ALEJANDRO GONZALEZ	3231.20
D359015	MICHAEL J GRAY	1602.02	D359016	LARRY GRIFFIN	2175.62
D359017	ROBERT A HAENDIGES	2211.01	D359018	RYAN S HART	4127.73
D359019	EDWARD A HUY	2695.48	D359020	VIDAL JIMENEZ	2589.97
D359021	LIYAN JIN	89.40	D359022	SAMUEL K KIM	3632.24
D359023	AWANDA LE LAI	389.65	D359024	REBECCA PIK KWAN LI	3565.90
D359025	DAVID MA'AE	1595.59	D359026	TYLER MEISLAHN	1882.55
D359027	JESSE K MONTGOMERY	1893.49	D359028	JUSTIN M MORRIS	1354.02
D359029	STEVEN J MOYA JR	2078.07	D359030	BASIL G MURAD	2095.30
D359031	KIRK L NATLAND	1143.45	D359032	DUC TRUNG NGUYEN	3343.86
D359033	CORNELIU NICOLAE	2691.39	D359034	ANDREW I ORNELAS	1910.86
D359035	DAVID A ORTEGA	3071.82	D359036	CELESTINO J PASILLAS	2653.75
D359037	WILLIAM F PEARSON	2171.74	D359038	JESSICA J POLIDORI	2569.86
D359039	CHRISTOPHER B PRUDHOMME	1461.22	D359040	ESTEBAN H RODRIGUEZ	1558.46
D359041	LES A RUITENSCHILD	3347.56	D359042	JONATHAN RUIZ	2027.97
D359043	ALEXIS SANTOS	1185.49	D359044	ADRIAN M SARMIENTO	2854.96
D359045	ALBERT TALAMANTES JR	3068.29	D359046	MINH K TRAN	1999.74

\*\*\*\* PAGE TOTAL = 226302.38

D359047	ALEJANDRO VALENZUELA JR	1187.77	D359048	ALEJANDRO N VALENZUELA	2450.44
D359049	RONALD J WOLLAND	1242.12	D359050	VICTOR K YERGENSEN	1877.48
D359051	ALICE K FREGOSO	1821.62	D359052	ALICIA R GARCIA	429.65
D359053	RAQUEL K MANSON	2563.26	D359054	WILLIAM E MURRAY JR	6122.63
D359055	EMILY H TRIMBLE	1921.31	D359056	ALFRED J AGUIRRE	2751.98
D359057	EDWARD D AMBRIZ GARCIA	369.20	D359058	RODOLPHO M BECERRA	1957.78
D359059	RAYMOND A BUCHLER	1181.99	D359060	EDGAR A CANO	1593.16
D359061	ALBERT J CARRISOZA	1689.75	D359062	GABRIELA R CONTRERAS	2122.22
D359063	JULIE T COTTON	1593.28	D359064	DANIEL A DEL ROSARIO	505.18
D359065	DOROTHY L DUATA	529.43	D359066	ERIC M ESPINOZA	1657.45
D359067	ALBERT R EURS II	2355.14	D359068	ROBERT J FRANCO	720.72
D359069	MAURICIO S GARCIA	2396.57	D359070	CASEY G GIROUARD	1461.03
D359071	HERMILO HERNANDEZ	860.09	D359072	DARNELL D JERRY	431.28
D359073	BRENT KAYLOR	2008.12	D359074	MARK W LADNEY	2633.26
D359075	RAUL LEYVA	1856.04	D359076	ANTONIO R MARTIN	2110.92
D359077	DIEGO A MEJIA	1751.85	D359078	RIGOBERTO MENDEZ	475.09
D359079	STEVEN T ORTIZ	2235.91	D359080	PHILLIP Q PHAM	370.48
D359081	RICHARD L PINKSTON	2281.12	D359082	JOSE J ROMAN	398.86
D359083	ALEXIS P TARIN	1929.49	D359084	STEVE J TAUANU'U	1723.12
D359085	SUSAN VITALI	100.81	D359086	IOAN ANDREI	959.65
D359087	SYLVESTER A BABINSKI IV	1585.09	D359088	DONEISHA L BELL	794.40
D359089	JEFFREY G CANTRELL	1958.71	D359090	JULIA ESPINOZA	1200.51
D359091	CECELIA A FERNANDEZ	1169.97	D359092	CONRAD A FERNANDEZ	986.00
D359093	DIANA GOMEZ	905.70	D359094	JORGE GONZALEZ	1255.65
D359095	MICHAEL R GREENE	1815.86	D359096	GLORIA A HARO	1168.51
D359097	ERIC W JOHNSON	1123.42	D359098	LEONEL A LAMAS	949.99
D359099	KHUONG NGUYEN	1202.72	D359100	DELFRADO C REYES	1182.29
D359101	RAFAEL ROBLES	1419.28	D359102	ADRIANNA M RODRIGUEZ	954.61
D359103	RODERICK THURMAN	1618.96	D359104	EVARISTO VERA	1624.13
D359105	RICHARD L WILLIAMS	1774.39	D359106	ANSELMO AGUIRRE	1859.54
D359107	DOMINIC CAMERA	687.16	D359108	PHILLIP J CARTER	2387.40
D359109	RICK L DUVAL	1936.00	D359110	AARON R HANSEN	1428.98
D359111	HUY HOA HUYNH	796.45	D359112	MATTHEW D ILFELD	1156.88
D359113	BRYAN D KWIATKOWSKI	1472.99	D359114	ALFREDO MARTINEZ	1330.25
D359115	DANIEL C MOSS	1259.34	D359116	ROLANDO QUIROZ	1564.96
D359117	TODD R REED	1980.95	D359118	WILLIAM A SOTO	433.38
D359119	LUIS A TAPIA	2132.10	D359120	MICHAEL W THOMPSON	2317.28
D359121	JOSEPH E TRUJILLO	653.61	D359122	WILLIAM J WHITE	1983.37
D359123	JESSE GUZMAN	1303.14	D359124	MARK M KHALIL	1856.50
D359125	BRETT A MEISLAHN	2117.43	D359126	DOUGLAS A MOORE	1981.15
D359127	ANDREW J MORELAND	566.35	D359128	AUSTIN H POWELL	1852.97
D359129	MELVIN P REED	1513.91	D359130	STEPHEN D SUDDUTH	1222.96
D359131	TIMOTHY WALLINGFORD	2050.76	D359132	SOUHELIA K GOUNTOUMA	1992.69
D359133	ALBERT J HOLMON III	3217.47	D359134	VICTOR T BLAS	3049.55
D359135	FRANK X DE LA ROSA	1581.25	D359136	JOSE GOMEZ	1876.89
D359137	MICHAEL V GUERRERO	1362.49	D359138	BRENT W HAYES	2882.49
D359139	FRANK D HOWENSTEIN	2282.83	D359140	ALLEN G KIRZHNER	3660.72
D359141	BRANDON S NUNES	1229.02	D359142	STEPHEN PORRAS	2791.01

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D359143	JESSE VIRAMONTES	1585.86	D359144	JOHN ZAVALA	1982.71
D359145	KAETLYN L AGATEP	163.07	D359146	YOLANDA A ALVARADO	26.37
D359147	STEPHANIE AMBRIZ	385.05	D359148	JOSELYN D AVALOS	232.18
D359149	REBECCA J BAILOR	232.35	D359150	JOSUE BARREIRO MENDOZA	1307.30
D359151	DYLAN J BOGGAN	236.87	D359152	RACHEL M CAMARENA	1837.63
D359153	RENE CAMARENA	1790.18	D359154	VICTORIA M CASILLAS	1775.11
D359155	RACHAEL M CHOATE	272.26	D359156	AMANDA D CROSS	1640.36
D359157	GISELL L CRUZ	288.70	D359158	KENNETH E CUMMINGS	854.47
D359159	MARLY DELGADO CHAVEZ	237.10	D359160	GABRIELA DIAZ	345.80
D359161	MARK C FREEMAN	2807.83	D359162	JARED D GARCIA	450.10
D359163	VANESSA L GARCIA	121.19	D359164	JACOB R GRANT	2519.75
D359165	KIMBERLY K HOLER	74.72	D359166	LAUREN E HULL	281.60
D359167	ELAINE M MA'AE	3036.78	D359168	JOHANA L MALDONADO	311.53
D359169	LORENA OCHOA MCINTYRE	1745.46	D359170	JESUS MEDINA	1696.53
D359171	JUAN MEDINA	2033.69	D359172	JOHN A MONTANCHEZ	4458.53
D359173	KIRSTEN K NAKAISHI	753.55	D359174	GINA D NECCO	302.46
D359175	JACOB J NEELY	392.51	D359176	NOEL N NICHOLAS	1012.21
D359177	JENNIFER GODDARD NYE	3050.01	D359178	GABRIELA O'CADIZ-HERNAND	2833.79
D359179	NANCY A OCAMPO	395.67	D359180	STEPHANIE ORTIZ	237.30
D359181	CHRISTIAN PANGAN	128.77	D359182	EMILY PATINO MARQUEZ	44.07
D359183	JANET E PELAYO	3194.42	D359184	JESUS PEREZ	144.22
D359185	ALEXA PRADO	327.68	D359186	SHADY S PUAILOA	327.68
D359187	SUGEIRY REYNOSO	2218.28	D359188	MARINA Y ROMERO	1835.75
D359189	MONICA K ROMO	33.05	D359190	MARIA D ROSALES	187.81
D359191	TANYA ROSAS	478.19	D359192	DIANA SALDIVAR	163.07
D359193	RICARDO SALDIVAR	798.75	D359194	DANA MARIE SAUCEDO	2014.18
D359195	EMERON J SCHLUMBERGER	930.90	D359196	RYAN J STEVENS	154.23
D359197	KENNETH P TRAVIS III	297.46	D359198	CLAUDIA VALDIVIA	2834.32
D359199	JEFFREY VAN SICKLE	2122.51	D359200	DAISY O VENCES	208.58
D359201	JOSHUA VENCES	180.88	D359202	PAUL E VICTORIA	1263.76
D359203	JACOB D VIRAMONTES	257.10	D359204	TIFFANY D VU	154.23
D359205	DAVID M WILMES	451.24	D359206	MORRIS B SPELL	3892.06
D359207	GRANT A NOBLE	1604.06	D359208	THOMAS R DARE	6972.91
D359209	CAROLE A KANEGAE	2184.65	D359210	VINCENTE J VAICARO	3445.73
D359211	KRISTEN A BACKOURIS	1613.14	D359212	SHARON S BAEK	1789.86
D359213	RAY E BEX	5320.54	D359214	GENA M BOWEN	1584.68
D359215	JESENIA CAMPOS	1880.77	D359216	AMIR A EL-FARRA	4749.51
D359217	HELENA EL SOUSOU	2443.50	D359218	PATRICK E GILDEA	4518.79
D359219	AI KELLY HUYNH	1988.50	D359220	KEIRA LONG	1813.47
D359221	JOHN E REYNOLDS	4749.54	D359222	ASHLEY C ROJAS	1573.38
D359223	REYNA ROSALES	1717.90	D359224	MICHAEL J VISCOMI	6259.75
D359225	GIOVANNI ACOSTA	2372.28	D359226	PEDRO R ARELLANO	3640.93
D359227	TIMOTHY R ASHBAUGH	2413.93	D359228	ALFREDO R AVALOS	4230.64
D359229	COLLIN E BAKER	1780.13	D359230	RENE BARRAZA	2471.50
D359231	BEAU A BERENGER	2943.05	D359232	RYAN S BERLETH	1959.44
D359233	SUMMER A BOGUE	2031.78	D359234	RENZO CHUMBE	1959.39
D359235	GARY L COULTER	2826.54	D359236	CHARLIE DANIELEY III	1535.82
D359237	ISAAC DAVILA	4110.37	D359238	BROC D DUDLEY	2044.16

\*\*\*\* PAGE TOTAL = 160882.41

D359239	STEPHEN C ESTLOW	969.22	D359240	JESUS FAJARDO	2124.76
D359241	HECTOR FERREIRA JR	2171.79	D359242	KARI A FLOOD	2475.71
D359243	ROBERT D FRESENIUS	2001.30	D359244	JASON S FULTON	2119.79
D359245	JOSEPH P GROSS JR	2995.89	D359246	TRAVIS J HADDEN	2019.77
D359247	TROY HALLER	4032.63	D359248	JASON A HOWARD	4201.75
D359249	KIRK P HURLEY	1930.98	D359250	NICKOLAS K JENSEN	2668.16
D359251	VICTORIA A JORDAN	2105.20	D359252	EDWARD K KIM	2233.82
D359253	TIMOTHY P KOVACS	3961.57	D359254	MICHAEL J LANG	2483.89
D359255	MARK A LORD	3234.67	D359256	JORGE L MAZON	2410.74
D359257	BRYAN J MEERS	3116.78	D359258	JEREMY N MORSE	2487.65
D359259	MITCHEL S MOSSER	2471.95	D359260	AARON S NELSON	3210.13
D359261	JASON S PERKINS	3912.94	D359262	PHILLIP H PHAM	2329.26
D359263	COREY T POLOPEK	2445.69	D359264	SINDY RAMIREZ OROZCO	2582.18
D359265	JOHN E RANEY	3394.31	D359266	THOMAS S REED	2355.96
D359267	DANIELLE E RIEDL	2326.70	D359268	AARON T SHIPLEY	2361.12
D359269	SHAYLEN L SIMONS	2120.49	D359270	EDGAR VALENCIA	3251.69
D359271	ROYCE C WIMMER	3945.07	D359272	SARAH A WRIGHT	2203.30
D359273	COLE A YNIGUEZ	1853.23	D359274	MARCOS R ALAMILLO	3108.75
D359275	RICHARD A ALVAREZ-BROWN	2874.32	D359276	BOBBY B ANDERSON	2835.82
D359277	JOHN F BANKSON	3186.28	D359278	JOSHUA K BEHZAD	2124.84
D359279	EVAN S BERESFORD	2845.53	D359280	TROY F BOWMAN	2072.53
D359281	JEFFREY A BROWN	3516.17	D359282	JOHN CASACCIA II	3701.11
D359283	JUAN C CENTENO	11473.89	D359284	JEROME L CHEATHAM	2667.20
D359285	HAN J CHO	2750.95	D359286	BRIAN M CLASBY JR	2836.60
D359287	JULIO C CORTEZ	2207.17	D359288	JUAN L DELGADO JR	3544.66
D359289	KEVIN DINH	2947.58	D359290	OTTO J ESCALANTE	4684.24
D359291	JOSHUA N ESCOBEDO	2521.67	D359292	MICHELLE N ESTRADA-MONSA	2160.15
D359293	GEORGE R FIGUEROA	1385.41	D359294	BRIAN C GIRGENTI	3134.04
D359295	SEAN M GLEASON	2206.26	D359296	KYLE N HALEY	1912.47
D359297	EFFRAIN A JIMENEZ JR	2258.71	D359298	CODY M JOHNSON	2108.20
D359299	ROBERT J KIVLER	1673.51	D359300	ARION J KNIGHT	2850.33
D359301	PETER M KUNKEL	2886.05	D359302	RAFAEL M LEE	725.69
D359303	ERICK LEYVA	4265.89	D359304	RAFAEL LOERA JR	2703.03
D359305	JESSE A LUCATERO	2596.86	D359306	ROBERTO MACHUCA	2104.21
D359307	TAYLOR A MACY	2604.86	D359308	GIANLUCA F MANIACI	3163.01
D359309	NATHAN D MORTON	2898.18	D359310	PATRICK W MURPHY	2052.27
D359311	PATRICK J MUSCHETTO	2110.15	D359312	JEFFREY C NGUYEN	2913.80
D359313	JOSHUA T OLIVO	3577.40	D359314	STEVEN TRUJILLO ORTIZ	2128.70
D359315	OWAR F PEREZ	1973.04	D359316	LUIS A QUIROZ	1912.47
D359317	DANIEL RODRIGUEZ	2383.98	D359318	ERIC T RUZIECKI	3302.03
D359319	SEAN M SALAZAR	2686.84	D359320	ROBERT M STEPHENSON III	3664.26
D359321	JOHN J YERGLER	3024.94	D359322	PAUL W ASHBY	4789.16
D359323	RYAN V BUSTILLOS	4805.68	D359324	THOMAS A CAPPS	4035.61
D359325	MICHAEL K ELHAMMI	4268.22	D359326	AUSTIN C LAVERY	4271.69
D359327	DANNY J MIHALIK	4734.78	D359328	JASON M MURO	4852.78
D359329	RON A REYES	5231.04	D359330	ROCKY F RUBALCABA	3657.46
D359331	LINO G SANTANA	6629.41	D359332	CHRISTOPHER M EARLE	2872.79
D359333	BENJAMIN M ELIZONDO	3161.89	D359334	KRISTOFER D KELLEY	2874.17

\*\*\*\* PAGE TOTAL = 285960.82

D359335	NICHOLAS A LAZENBY	2935.79	D359336	CHARLES H LOFFLER	3530.90
D359337	BRADLEY A LOWEN	2393.90	D359338	LUIS F RAMIREZ	3118.10
D359339	RYAN R RICHMOND	1746.11	D359340	GAREY D STAAL	3221.17
D359341	AARON J COOPMAN	3165.80	D359342	MICHAEL E GERDIN	2352.39
D359343	DONALD J HUTCHINS	3231.65	D359344	JASON L JOHNSON	2457.01
D359345	RYAN M LUX	2376.82	D359346	RAUL MURILLO JR	3455.64
D359347	COURTNEY P ALLISON	2610.68	D359348	LISA A BELTHIUS	213.96
D359349	RANDY G CHUNG	123.05	D359350	ADAM B COUGHRAN	207.32
D359351	CHRISTOPHER C DOVEAS	321.64	D359352	DANIEL S EDWARDS	696.29
D359353	EDUARDO C LEIVA	5292.59	D359354	JOHN O OJEISEKHOBIA	320.95
D359355	JOSEPH D VARGAS	509.45	D359356	CARL J WHITNEY	4499.32
D359357	ANDREW N BUI	407.24	D359358	TANNER C DE PADUA	334.13
D359359	JOSEPH A GARCIA	393.94	D359360	SERGIO J JIMENEZ TAVAREZ	456.32
D359361	KENTON TRAN	336.68	D359362	CALEB I VAUGHN	377.79
D359363	TYLER D VU	393.34	D359364	FRANCISCO AVALOS JR	1774.00
D359365	KAREN D BRAME	1256.55	D359366	KENNETH L CHISM	1862.47
D359367	DARRYL B CORTEZ JR.	1733.31	D359368	PAUL E DANIELSON	302.42
D359369	TAYLOR M DUARTE	1726.13	D359370	ANDREW N EARP	1861.57
D359371	KORY C FERRIN	3576.64	D359372	JAMES D FISCHER	661.79
D359373	VICTORIA M FOSTER	1317.85	D359374	THI A HUYNH	2718.64
D359375	CHAD B KIM	1841.06	D359376	KENNETH E MERRILL	332.79
D359377	MICHAEL A MOSER	1645.60	D359378	EMMANUEL PEREZ	1395.43
D359379	DOUGLAS A PLUARD	3722.84	D359380	JOSEPH A T PURSLEY	1937.48
D359381	ALFREDO SALGADO JR.	1726.13	D359382	CHARLES W STARNES	2256.15
D359383	SAMUEL K TOMA	1731.09	D359384	DON Q TRAN	1726.13
D359385	TUONG-VAN NGUYEN VU	1883.42	D359386	RICHARD O BURILLO	4903.55
D359387	FLOR DE LIS ELIZONDO	1135.79	D359388	PATRICIA C FLINN	2489.20
D359389	RAQUEL D MAYA	622.39	D359390	REBECCA S WEEKS	4280.90
D359391	JONATHAN B WAINWRIGHT	2908.41	D359392	DAVID C YOUNG	4781.03
D359393	MARIA A ALCARAZ	1866.39	D359394	MARIA S ATWOOD	1675.42
D359395	BRITTANEE N BRANTNER	1796.72	D359396	CARISSA L BRUNICK	1720.66
D359397	TAMMY L CHAURAN-HAIGROV	2174.75	D359398	RUSSELL B DRISCOLL	1911.31
D359399	VERONICA FRUTOS	833.56	D359400	DAVID L GEORGE	2290.54
D359401	PINKY C HINGCO	2534.83	D359402	DANNY G JUAREZ	1433.05
D359403	SHELBY KEUILIAN	1610.57	D359404	ALLYSON T LE	1368.73
D359405	ANGELA LEDESMA	1856.20	D359406	LINDALINH THU LY	1529.00
D359407	MARIA C MCFARLANE	2098.88	D359408	DAWN M MONTOYA	1635.55
D359409	TRINA T NGUYEN	1622.72	D359410	DEBRA J NICHOLS	2022.52
D359411	JENNIFER V ROMBOUGH	2523.78	D359412	KIMBRA S VELLANOWETH	1925.09
D359413	CHRYS TAL L WEYKER	1666.79	D359414	DUO XU	650.44
D359415	SHANNON M YELENSKY	1936.04	D359416	JENNIFER A DIX	2974.68
D359417	KATHERINE M FRANCISCO	1955.68	D359418	AMANDA B GARNER	2164.60
D359419	ARCHIE GUZMAN	2147.54	D359420	LAUREN M LADD	2599.29
D359421	ROBERT D LUX	2433.38	D359422	MELISSA MENDOZA-CAMPOS	1920.63
D359423	BRANDY J PARK	2475.53	D359424	CRISTINA V PAYAN	2159.21
D359425	JENNIFER M RODRIGUEZ	2068.97	D359426	TANYA L SAMOFF	2844.33
D359427	SUSAN A I SEYMOUR	2389.37	D359428	NICOLE D SHORROW	2614.01
D359429	DANNY J SOSEBEE	33.07	D359430	MARSHA D SPELLMAN	2846.25

\*\*\*\* PAGE TOTAL = 185900.81

D359431	SPENCER T TRAN	2195.56	D359432	SANTA WARDLE	1370.93
D359433	CHERYL L WHITNEY	2343.49	D359434	CLAUDIA ALARCON	3115.97
D359435	DANIEL A CAMARA	2447.77	D359436	BRIAN D DALTON	2232.09
D359437	NICHOLAS A DE ALMEIDA LO	2969.13	D359438	RICHARD E DESBIENS	2070.95
D359439	JAMES D FRANKS	3317.71	D359440	PETE GARCIA	2277.27
D359441	ROBERT J GIFFORD	3337.63	D359442	STEVEN H HEINE	1100.44
D359443	JOSE D HERRERA	3150.91	D359444	WILLIAM T HOLLOWAY	3302.12
D359445	MICHAEL J JENSEN	3706.37	D359446	GERALD F JORDAN	2617.95
D359447	PATRICK R JULIENNE	2988.57	D359448	JOSEPH L KOLANO	2337.99
D359449	LEA K KOVACS	2534.26	D359450	DEREK M LINK	3002.92
D359451	DAVID LOPEZ	2443.77	D359452	STEVEN W LUKAS	1498.36
D359453	MATTHEW P MARCHAND	2940.38	D359454	MARIO MARTINEZ JR	4011.26
D359455	ADAM C NIKOLIC	3797.81	D359456	LUIS A PAVAN	3942.88
D359457	TERRA M RAMIREZ	2068.08	D359458	CHRISTIN E ROGERS	2833.81
D359459	CHRISTOPHER M SHELGRN	2407.45	D359460	BRIAN T STROUD	3031.52
D359461	PAUL M TESSIER	2786.95	D359462	DENNIS WARDLE	2479.83
D359463	ADAM D ZMIJA	3702.81	D359464	RONALD A DOSCHER	674.15
D359465	ERIC A QUINTERO	2177.50	D359466	JANNA K BRADLEY	2420.19
D359467	MARY C CERDA	1969.62	D359468	BRANDI M HART	358.04
D359469	LIANE Y KWAN	3203.46	D359470	JANY H LEE	6670.36
D359471	ZENIA M LOPEZ	1455.96	D359472	SHERRILL A MEAD	2224.46
D359473	STEPHANIE E RICHARDS	1848.05	D359474	CAITLYN M STEPHENSON	1790.33
D359475	LAURA J STOVER	5332.81	D359476	ANNA L GOLD	1705.23
D359477	KATRENA J SCHULZE	492.20	D359478	MATTHEW T SWANSON	1709.79
D359479	ANTHONY VALENZUELA	1413.02	D359480	CANDY G WILDER	2405.73
D359481	STEVEN F ANDREWS	2122.77	D359482	TERENCE S CHANG	2317.27
D359483	VERNA L ESPINOZA	1864.50	D359484	CESAR GALLO	2549.71
D359485	ERNIE E HINGCO	1663.56	D359486	GEOFFREY A KLOESS	3333.47
D359487	RACHOT MORAGRAAN	3523.54	D359488	NOEL J PROFFITT	3124.70
D359489	ANAND V RAO	4898.14	D359490	JOSEPH M SCHWARTZ	2753.15
D359491	ROD T VICTORIA	2045.85	D359492	TERREL KEITH WINSTON	3473.27
D359493	POLICE ASSN	16003.28	D359494	SO CAL CU	46930.00
D359500	SOUTHALND CU	4251.94	W2658	GREAT WEST LIFE 457 #340	94977.62
W2659	GREAT WEST LIFE OBRA#340	1718.09	W2660	INTERNAL REVENUE SERVICE	271007.77
W2661	EMPLOYMENT DEVELOPMENT D	77715.14			

\*\*\*\* PAGE TOTAL = 674489.61



TOTAL CHECK PAYMENTS	26	26,084.10
TOTAL DIRECT DEPOSITS	615	1,377,157.78
TOTAL WIRE PAYMENTS	4	445,418.62
GRAND TOTAL PAYMENTS	645	1,848,660.50

Checks #183841 thru #183866, and Direct Deposits #D358881 thru #D359500, and wire #W2658 thru #W2661 presented in the Payroll Register submitted to the Garden Grove City Council 14 JAN 2020, have been audited for accuracy and funds are available for payment thereof.

  
 PATRICIA SONG - FINANCE DIRECTOR

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/08/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658090-658101	VOID WARRANTS		
658102	STATE OF CALIF-FRANCHISE TAX BOARD	WAGE ATTACHMENT	926.08 *
658103	EMPLOYMENT DEVELOPMENT DEPT ATTN: WAGE GARNISHMENT	WAGE ATTACHMENT	159.12 *
658104	ORANGE COUNTY SHERIFF/ LEVING OFFICER CENTRAL DIV	WAGE ATTACHMENT	463.90 *
658105	INTERNAL REVENUE SERVICE	WAGE ATTACHMENT	51.50 *
658106	STATE OF CALIF-FRANCHISE TAX BOARD	WAGE ATTACHMENT	1,517.06 *
658107	EMPLOYMENT DEVELOPMENT DEPT ATTN: WAGE GARNISHMENT	WAGE ATTACHMENT	159.12 *
658108	UNION BANK	MV GAS/DIESEL FUEL	328.79 *
658109	UNION BANK	MV GAS/DIESEL FUEL	455.35 *
658110	UNION BANK	MV GAS/DIESEL FUEL	450.83 *
658111	UNION BANK	DUES/MEMBERSHIPS	130.00 *
658112	ORANGE COUNTY SHERIFF/ LEVING OFFICER CENTRAL DIV	WAGE ATTACHMENT	449.52 *
658113	INTERNAL REVENUE SERVICE	WAGE ATTACHMENT	51.50 *
658114	AT&T CORP	TELEPHONE	9,001.12 *
658115	FRONTIER COMMUNICATIONS	TELEPHONE/BEEPERS	168.02 *
658116	MCI COMM SERVICE	TELEPHONE	35.97 *
658117-658119	VOID WARRANTS		
658120	SO CALIF EDISON CO	ELECTRICITY	152,032.70 *
658121	SO CALIF GAS CO	NATURAL GAS	8,783.72 *
658122	TIME WARNER CABLE	CABLE	929.06 *
658123	VERIZON WIRELESS-LA	TELEPHONE/BEEPERS	11,600.36 *
658124	ACA COMPLIANCE SERVICES INC DBA CIMPLX COMPLIANCE SERVICES	OTHER PROF SERV	2,590.50 *
658125	DEERE & COMPANY DBA AG & TURF CORP BUSINESS DIV	MOTOR VEHICLE REPL	29,047.82 *

PAGE TOTAL FOR "\*" LINES = 219,332.04

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/08/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658126	*BANUELOS, ALEJANDRO	DEP CARE REIMB	333.33 *
658127	BARR AND CLARK, INC.	OTHER PROF SERV	320.00 *
658128	BEGINNERS EDGE SPORTS TRAINING, LLC	INSTRUCTOR SERVICES	2,274.30 *
658129	BIG RON'S AUTO BODY & PAINT, INC.	REPAIRS-FURN/MACH/EQ	7,686.43 *
658130	BUREAU VERITAS NORTH AMERICA INC	OTHER PROF SERV UNIFORMS	8,850.81 3,675.00 12,525.81 *
658131	C.L.E.A. CALIF LAW ENFORCEMENT ASSOC	DISABILITY INSURANCE	3,216.25 *
658132	C.WELLS PIPELINE MATERIALS INC.	WHSE INVENTORY	4,501.17 *
658133	CALIFORNIA FACILITY SPECIALTIES, INC.	OTHER PROF SERV	57,500.00 *
658134	CAMERON WELDING SUPPLY	MOTOR VEH PARTS OTHER REC/CULT SUPP	124.00 94.69 218.69 *
658135	*CHANG, TERENCE	DEP CARE REIMB	769.20 *
658136	*CHO, HAN J	DEP CARE REIMB	192.30 *
658137	*CHUNG, JANET J	DEP CARE REIMB	384.60 *
658138	COASTLINE EQUIPMENT	MOTOR VEH PARTS	400.25 *
658139	COSTCO MEMBERSHIP	DUES/MEMBERSHIPS	180.00 *
658140	CRUISE, GERALD J	INSTRUCTOR SERVICES	1,232.28 *
658141	L.N.CURTIS & SONS DEPT 34921	WHSE INVENTORY	249.78 *
658142	DAVEY RESOURCE GROUP, INC	OTHER PROF SERV	5,875.00 *
658143	DAVIS FARR LLP	ACCTG/AUDITING	21,659.00 *
658144	*DELGADO, JUAN	DEP CARE REIMB	32.31 *
658145	DEWBERRY ARCHITECTS INC.	OTHER PROF SERV	61,423.10 *

PAGE TOTAL FOR "\*" LINES = 180,973.80

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/08/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658146	DOG SERVICES UNLIMITED	INSTRUCTOR SERVICES	603.54 *
658147	EWING IRRIGATION PRODUCTS, INC.	PIPES/APPURTENANCES	120.33 *
658148	EXCLUSIVE AUTO DETAIL	MOTOR VEHICLE MAINT	606.00 *
658149	FEDERAL EXPRESS CORP	DELIVERY SERVICES	148.17 *
658150	FIVESTAR RUBBER STAMP ETC., INC	OFFICE SUPPLIES/EXP	96.13 *
658151	FLOWERS BY CINA, INC.	OTHER AGR SUPPLIES	65.56 *
658152	FOSTER MORRISON CONSULTING, LTD	OTHER PROF SERV	3,880.00 *
658153	THE SHERWIN-WILLIAMS CO DBA FRAZEE PAINTS	PAINT/DYE/LUBRICANTS	174.08 *
658154	FRYE SIGN CO	MOTOR VEH PARTS	690.00
		SIGNS/FLAGS/BANNERS	97.88
			787.88 *
658155	FUN EXPRESS, INC.	OTHER CLOTHING ITEMS	180.93 *
658156	*GARCIA, SYLVIA	MED TRUST REIMB	282.40
		L/S/A TRANSPORTATION	55.00
			337.40 *
658157	REPUBLIC WASTE SERVICES OF SOUTHERN CALIFORNIA, LLC	AMT DUE GG DISPSL	566,650.16
		REFUSE COLL SERV	9,823.33
			576,473.49 *
658158	GARDEN GROVE UNIFIED SCHOOL DIST	TRASH/CLEANING SERV	450.00 *
658159	GARDEA, LAURA	INSTRUCTOR SERVICES	713.88 *
658160	*GILDEA, PATRICK	DEP CARE REIMB	1,346.10 *
658161	GREEN HALO SYSTEMS	SOFTWARE	546.00 *
658162	GRISWOLD, CINDY	INSTRUCTOR SERVICES	283.50 *
658163	GUERRERO, PAUL	L/S/A TRANSPORTATION	55.00 *
658164	HAENDIGES, ROBERT	MED TRUST REIMB	391.68 *

PAGE TOTAL FOR "\*" LINES = 587,259.67

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/08/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658165	HILLCO FASTENER WAREHOUSE	MOTOR VEH PARTS	4.27 *
658166	CALIBER BODYWORKS, INC. DBA CALIBER COLLISION CENTERS	REPAIRS-FURN/MACH/EQ	160.00 *
658167	THE HOME DEPOT PRO	WHSE INVENTORY	1,310.09
		SHLD EQUIP/SUPPLIES	277.83
		GEN PURPOSE TOOLS	1,809.60
			3,397.52 *
658168	HOTSY OF SOUTHERN CALIFORNIA	REPAIRS-FURN/MACH/EQ	965.62 *
658169	*HUYNH, AI KELLY	TUITION REIMB	18.00 *
658170	INTERWEST CONSULTING GROUP ATTN: ACCOUNTING	OTHER PROF SERV	43,808.37 *
658171	JAY'S CATERING	FOOD	307.76 *
658172	LAWSON PRODUCTS, INC.	MOTOR VEH PARTS	118.02 *
658173	*LEE, GRACE	DEP CARE REIMB	384.60 *
658174	LIEBERT CASSIDY WHITMORE	DUES/MEMBERSHIPS	3,535.00 *
658175	LINCOLN FINANCIAL GROUP	LIFE INS PREMIUM	6,937.60 *
658176	*ZENIA, LOPEZ	EMPL COMPUTER PURCH	2,207.09 *
658177	LUDWIG, DAWNA	INSTRUCTOR SERVICES	608.27 *
658178	MC MASTER-CARR SUPPLY CO	MOTOR VEH PARTS	71.76 *
658179	FIS ACCOUNTING DEPT	BANK FEES-CRDT CD	24,252.38 *
658180	MYERS, NICOLE	INSTRUCTOR SERVICES	93.20 *
658181	NAPA AUTO PARTS	MOTOR VEH PARTS	1,002.66 *
658182	NATIONAL CONSTRUCTION RENTALS	OTHER RENTALS	4,605.85 *
658183	VOID WARRANT		
658184	OFFICE DEPOT, INC	OFFICE SUPPLIES/EXP	3,415.13 *

PAGE TOTAL FOR "\*" LINES = 95,893.10

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/08/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658185	O'CADIZ-HERNANDEZ*, GABRIELA	OTHER FOOD ITEMS	52.92 *
658186	ORANGE COUNTY FIRE PROTECTION	MAINT-SERV CONTRACTS	3,151.30 *
658187	OCN, IND, WHJ	ADVERTISING	926.80 *
658188	ORANGE COUNTY WINWATER WORKS	WHSE INVENTORY	2,100.81 *
658189	PACIFIC INDUSTRIAL WATER SYSTEMS	MOTOR VEH PARTS	55.00 *
658190	PETDATA	OTHER PROF SERV	2,512.80 *
658191	PASILLAS, CEL	SAFETY EQ/SUPPLIES	240.00 *
658192	PASMA	OTHER EDUCATION EXP	300.00 *
658193	PEST OPTIONS, INC.	OTHER PROF SERV	917.25 *
658194	PHAN, DIEM P	INSTRUCTOR SERVICES	457.16 *
658195	*PLUARD, DOUGLAS A	DEP CARE REIMB	192.30 *
658196	LEGAL SHIELD	LEGAL	999.65 *
658197	PRIM&MULTI-SPEC CLN OF ANAHEIM DBA GATEWAY URGENT CARE CTR	MEDICAL SERVICES	425.00 *
658198	DATA TICKET, INC	OTHER PROF SERV	1,938.45 *
658199	SAFETY 1st PEST CONTROL, INC	MAINT-SERV CONTRACTS	725.00 *
658200	*SAUCEDO, DANA	MED TRUST REIMB L/S/A TRANSPORTATION	190.00 54.25 244.25 *
658201	SAXE-CLIFFORD, PH.D., SUSAN	MEDICAL SERVICES	900.00 *
658202	SHRED CONFIDENTIAL, INC.	OTHER PROF SERV	261.19 *
658203	SIMPSON CHEVROLET OF GG	MOTOR VEH PARTS	407.30 *
658204	PERFORMANCE NURSERY CORP.	TREES	259.37 *
658205	SPARKLETTS	BOTTLED WATER	222.37 *

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/08/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658206	STATE INDUSTRIAL PRODUCTS	WHSE INVENTORY	1,911.26 *
658207	*STOVER, LAURA	DEP CARE REIMB	225.00 *
658208	*STROUD, BRIAN	EMPL COMPUTER PURCH	2,500.00 *
658209	SUPERION LLC	OTHER PROF SERV	12,768.76 *
658210	THE RINKS- ANAHEIM ICE	INSTRUCTOR SERVICES	277.83 *
658211	*TRAN, CUONG	DEP CARE REIMB	184.50 *
658212	WEST GROVE VOLLEYBALL, LLC	INSTRUCTOR SERVICES	457.16 *
658213	U.S. BEHAVIORAL HEALTH PLAN, CA DEPT# 75889	NON-SPEC CONTR SERV	1,419.60 *
658214	UNITED PARCEL SERVICE	DELIVERY SERVICES	87.00
		OFFICE SUPPLIES/EXP	29.00
			116.00 *
658215	UNITED RENTALS NORTHWEST, INC	HEAVY EQUIP RENTAL	89.18
		AGGREGATES/MASONRY	246.32
			335.50 *
658216	U.S. POSTAL SERVICE (HASLER)	POSTAGE	20,000.00 *
658217	SUNG HO PARK FIVE STAR TAEKWONDO	INSTRUCTOR SERVICES	722.96 *
658218	VASILJ INC. DBA IVANKO	STREET CONSTR CONT	125,979.50 *
658219	VULCAN MATERIALS COMPANY WESTERN DIVISION	ASPHALT PRODUCTS	2,736.17 *
658220	GRAINGER	WHSE INVENTORY	132.90 *
658221	WATERLINE TECHNOLOGIES, INC.	LABORATORY CHEMICALS	904.32 *
658222	WAXIE SANITARY SUPPLY	JANITORIAL SUPPLIES	94.41 *
658223	WEST COAST ARBORISTS INC	TREE TRIMMING SERV	3,397.40 *
658224	FERGUSON ENTERPRISES, INC #1350	PIPES/APPURTENANCES	191.76 *
658225	WESTERN EXTERMINATOR	MAINT-SERV CONTRACTS	1,513.50 *

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/08/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658226	WOODRUFF, SPRADLIN & SMART A PROFESSIONAL CORP	LEGAL FEES	5,489.00 *
658227	WEX BANK DBA WRIGHT EXPRESS FSC	MV GAS/DIESEL FUEL	1,352.24 *
658228	YELLOW CAB OF GREATER OC	L/S/A TRANSPORTATION	219.00 *
658229	GROUP DELTA CONSULTANTS, INC	ENGINEERING SERVICES	3,872.50 *
658230	SWRCB ACCOUNTING OFFICE ATTN: DRINKING WATER PRGM FEES	PERMITS/OTHER FEES	71,851.08 *
658231	*VALDIVIA, CLAUDIA	DEP CARE REIMB	192.30 *
658232	SAFARILAND, LLC	OTHER PROF SUPPLIES	581.98 *
658233	*DIBAJ, KAMYAR	DEP CARE REIMB	192.30 *
658234	DENNIS LAPORTA	CITATION DIST	42.00 *
658235	FACTORY MOTOR PARTS CO BIN 139107	MOTOR VEH PARTS	926.39 *
658236	BREANNA M RIVERA	CITATION DIST	79.00 *
658237	BRUCE HALL LAND SURVEYOR, INC	ENGINEERING SERVICES	4,492.00 *
658238	WESTERN WATER WORKS	WHSE INVENTORY	1,837.01 *
658239	PHAM, KY VAN	MED TRUST REIMB	80.00 *
658240	KOREAN FESTIVAL COMMITTEE OF OC DBA ARIRANG FESTIVAL	DEPOSIT REFUND	4,781.09 *
658241	STREET TREE SEMINAR	DUES/MEMBERSHIPS	30.00 *
658242	CHEMEX INDUSTRIES	OTHER MAINT ITEMS	848.16 *
658243	TRAFFIC MANAGEMENT PRODUCTS INC.	SIGNS/FLAGS/BANNERS	132.54 *
658244	HUNTINGTON BEACH CHRYSLER JEEP	REPAIRS-FURN/MACH/EQ	457.26 *
658245	CALIF PARK & RECREATION SOCIETY CPRS	REGISTRATION FEES	150.00 *
658246	STANDARD INSURANCE CO. RAS EXECUTIVE BENEFITS	DISABILITY INSURANCE	821.70 *
658247	TRANSAMERICA EMPLOYEE BENEFITS	LIFE INS PREMIUM	4,429.24 *

PAGE TOTAL FOR "\*" LINES = 102,856.79



## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/08/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658248	O'REILLY AUTO PARTS	MOTOR VEH PARTS	1,197.60 *
658249	WESTNET INC	REPAIRS-FURN/MACH/EQ FURN/MACH/EQ ADDS	2,020.00 7,255.34 9,275.34 *
658250	COUNTY OF ORANGE TREASURER REVENUE RECOVERY-A/R UNIT	OTHER PROF SERV	225,670.04 *
658251	DISCOVERY SCIENCE CENTER	OTHER PROF SERV	1,615.00 *
658252	FG SOLUTIONS LLC	OTHER PROF SERV	1,913.75 *
658253	B.L. WALLACE DISTRIBUTOR, INC.	MAINT SUPP-TRAFF SIG OTHER MAINT ITEMS	920.81 356.19 1,277.00 *
658254	A-THRONE CO., INC.	OTHER RENTALS	143.74 *
658255	AMERINATIONAL COMMUNITY SERVICES, INC.	OTHER PROF SERV	326.70 *
658256	*VU, KHANG	MED TRUST REIMB	1,499.94 *
658257	ULI - URBAN LAND INSTITUTE LB MEETINGS	TUITION/TRAINING	1,035.00 *
658258	*STILES, SCOTT C	MED TRUST REIMB	1,799.98 *
658259	LT PROPERTIES	LAND/BLDG/ROOM RENT	16,947.15 *
658260	MEERS, BRYAN	DEP CARE REIMB	192.30 *
658261	HDR ENGINEERING INC	ENGINEERING SERVICES	5,675.00 *
658262	*ROGERS, CHRISTIN	DEP CARE REIMB	192.30 *
658263	SCHAFER CONSULTING, INC.	OTHER PROF SERV	16,762.50 *
658264	SUPPORT PRODUCT SERVICES INC.	MAINT-SERV CONTRACTS	16,689.25 *
658265	FAIR HOUSING FOUNDATION	OTHER PROF SERV	2,716.04 *
658266	BACH THAWH NGUYEN	CITATION DIST	51.00 *
658267	*VICTORIA, ROD	DEP CARE REIMB	192.30 *

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/08/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658268	HF&H CONSULTANTS, LLC	OTHER PROF SERV	9,696.31 *
658269	TOPAZ ALARM CORP	FACT:OFFICE EXP	25.00 *
658270	YO-FIRE SUPPLIES	WHSE INVENTORY	3,090.42 *
658271	CHEVROLET OF WATSONVILLE NATIONAL AUTO FLEET GROUP	MOTOR VEHICLE REPL	45,053.06 *
658272	SOUTHERN COMPUTER WAREHOUSE	OFFICE SUPPLIES/EXP	58.20
		MINOR FURN/EQUIP	171.80
			230.00 *
658273	ZERO WASTE USA	OTHER MAINT ITEMS	274.88 *
658274	INFOSEND, INC.	POSTAGE	6,469.48
		PRINTING	2,363.21
		OTHER PROF SERV	823.72
		PAPER/ENVELOPES	805.38
			10,461.79 *
658275	AUTONATION FORD TUSTIN	REPAIRS-FURN/MACH/EQ	180.00
		MOTOR VEH PARTS	116.32
			296.32 *
658276	KLOESS, GEOFFREY	DEP CARE REIMB	153.69 *
658277	OCTAPHARMA PLASMA INC ATTN: ACCOUNTS PAYABLE	WATER REFUND	2,786.84 *
658278	LACEY CUSTOM LINENS, INC.	LAUNDRY SERVICES	292.13 *
658279	*CORNELIU, NICOLAE	SAFETY EQ/SUPPLIES	239.84 *
658280	ALBERTSONS	OTHER FOOD ITEMS	82.87 *
658281	MONICA RUST	DEPOSIT REFUNDS	175.00 *
658282	GARDEN GROVE HOUSING PARTNERS LP	BUS OPER TAX REFUND	185.30 *
658283	CHUMACERO, DEANNA	CLASSROOM SUPPLIES	62.11 *
658284	GOLDENWEST LAWNMOWERS & SCOOTERS	REPAIRS-FURN/MACH/EQ	75.12 *
W2708	CALIFORNIA STATE DISBURSEMENT UNIT	WAGE ATTACHMENT	1,955.52 *

PAGE TOTAL FOR "\*" LINES = 75,136.20

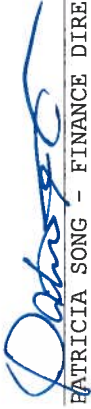
## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/08/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
W2708	MARYLAND CHILD SUPPORT ACCOUNT CASE # 980094958	WAGE ATTACHMENT	343.38 *
W2710	REYNOLDS, MICHELE	WAGE ATTACHMENT	461.54 *
W2711	UNION BANK-COMM CUSTOMER SERV UNIT, GOVT ACCOUNTS	BANK FEES	1,261.48 *
W2712	WILLOWICK GOLF MANAGEMENT, LLC	CASH-WILLOW GOLF	50,000.00 *
W2713	SHANNON WAINWRIGHT	WAGE ATTACHMENT	553.85 *
W2714	ORANGE COUNTY FIRE AUTHORITY ACCOUNTS RECEIVABLE	OTHER PROF SERV	1,931,500.00 *
W2715	PUBLIC EMPLOYEES' RETIREMENT SYSTEM	PENSION PAYMENT	483,566.56 *
W2716	UNION BANK-COMM CUSTOMER SERV UNIT, GOVT ACCOUNTS	BANK FEES	1,084.93 *
W2718	AGENCY WIRE		
W2719	CALIFORNIA STATE DISBURSEMENT UNIT	WAGE ATTACHMENT	1,955.52 *
W2720	DELTA CARE USA ATTN: ACCTS RECEIVABLE	SELF-INS ADMN	6,959.17 *
W2721	LINCOLN FINANCIAL GROUP	LIFE INS PREMIUM	6,558.05 *
W2722	MARYLAND CHILD SUPPORT ACCOUNT CASE # 980094958	WAGE ATTACHMENT	343.38 *
W2723	PUBLIC EMPLOYEES' RETIREMENT SYSTEM	HEALTH INSURANCE	626,524.30 *
W2724	REYNOLDS, MICHELE	WAGE ATTACHMENT	461.54 *
W2725	SHANNON WAINWRIGHT	WAGE ATTACHMENT	553.85 *
W2726	DELTA DENTAL OF CALIFORNIA	SELF-INS CLAIMS	11,515.80 *
W2727	PUBLIC EMPLOYEES' RETIREMENT SYSTEM	PENSION PAYMENT	450,097.88 *

PAGE TOTAL FOR "\*" LINES = 3,573,741.23

FINAL TOTAL                      5,333,522.21 \*

DEMANDS #658090 - 658284 AND WIRES W2707 - W2727 AS PRESENTED IN THE WARRANT REGISTER SUBMITTED TO THE  
GARDEN GROVE CITY COUNCIL JANUARY 8, 2020, HAVE BEEN AUDITED FOR ACCURACY AND FUNDS ARE AVAILABLE  
FOR PAYMENT THEREOF



PATRICIA SONG - FINANCE DIRECTOR

WARRANT	VENDOR	DESCRIPTION	AMOUNT
		WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20	
658285	STATE OF CALIF-FRANCHISE TAX BOARD	WAGE ATTACHMENT	618.25 *
658286	CITY OF GARDEN GROVE-WORK COMP ACCT	SELF-INS CLAIMS	387,406.74 *
658287	UNION BANK	OTHER PROF SERV	14.95
		UNIFORMS	54.31
		BOTTLED WATER	43.73
		OTHER FOOD ITEMS	458.49
		HSHLD EQUIP/SUPPLIES	48.25
		ATHLETIC SUPPLIES	193.89
		AWARDS/TROPHIES	960.00
		OTHER REC/CULT SUPP	324.42
			2,098.04 *
658288	UNION BANK	FACT:YTH ENRCH	117.54
		FOOD	128.70
		FOOD SERV SUPPL	15.12
		OTHER FOOD ITEMS	120.00
		OFFICE SUPPLIES/EXP	339.41
		OTHER MINOR TOOLS/EQ	17.37
		AWARDS/TROPHIES	495.00
		OTHER REC/CULT SUPP	476.65
			1,709.79 *
658289	UNION BANK	OTHER PROF SERV	30.00
		DUES/MEMBERSHIPS	60.00
		FOOD	464.40
		OTHER CLOTHING ITEMS	19.29
		HSHLD EQUIP/SUPPLIES	49.44
		OFFICE SUPPLIES/EXP	6.50
		OTHER REC/CULT SUPP	795.97
		SIGNS/FLAGS/BANNERS	307.86
			1,733.46 *
658290	UNION BANK	POSTAGE	22.05
		MAINT OF REAL PROP	99.00
		DUES/MEMBERSHIPS	200.00
		REGISTRATION FEES	221.25
		TUITION/TRAINING	270.00

PAGE TOTAL FOR "\*" LINES = 393,566.28

WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
		OFFICE SUPPLIES/EXP HARDWARE	17.39 488.99 1,318.68 *
658291	UNION BANK	DUES/MEMBERSHIPS FOOD FOOD SERV SUPPL CRAFT SUPPLIES	30.00 5.99 136.01 130.47 302.47 *
658292	UNION BANK	FOOD	167.43 *
658293	UNION BANK	REGISTRATION FEES	180.00 *
658294	UNION BANK	CITY MEMBERSHIPS	10.00 *
658295	UNION BANK	MAINT OF REAL PROP	400.00 *
658296	UNION BANK	ADVERTISING OTHER PROF SERV TAXES/LICENSES FOOD OTHER PROF SUPPLIES AWARDS/TROPHIES	1,150.00 62.99 127.99 322.52 187.81 49.28 1,900.59 *
658297	VO, TIN TRUNG	WAGE ATTACHMENT RENT SUBSIDY	-275.00 1,100.00 825.00 *
658298	SCHWERMANN, CELESTE	WAGE ATTACHMENT RENT SUBSIDY	-343.25 1,373.00 1,029.75 *
658299	POMEROY*, TERESA L.	MED TRUST REIMB	80.00 *
658300	AT&T CORP	TELEPHONE	162.50 *
658301	ANAHEIM, CITY OF	ELECTRICITY	104.51 *
658302	SPOK, INC.	TELEPHONES/BEEPERS	187.72 *
658303	FRONTIER COMMUNICATIONS	TELEPHONE/BEEPERS	2,611.21 *

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658304	VOID WARRANT		
658305	SO CALIF EDISON CO	ELECTRICITY	30,440.56 *
658306	SO CALIF GAS CO	NATURAL GAS	8,749.57 *
658307	PTM GENERAL ENGINEERING SERVICES, INC.	STREET CONSTR CONT	13,491.53 *
658308	PTM GENERAL ENGINEERING SERVICES, INC.	STREET CONSTR CONT	13,331.55 *
658309	PTM GENERAL ENGINEERING SERVICES, INC.	STREET CONSTR CONT	7,405.20 *
658310	PTM GENERAL ENGINEERING SERVICES, INC.	STREET CONSTR CONT	13,906.52 *
658311	UNION BANK	DUES/MEMBERSHIPS	90.00
		TUITION/TRAINING	1,347.00
		FOOD	439.09
			1,876.09 *
658312	UNION BANK	NETWORKING SERVICES	282.28
		OTHER PROF SERV	1,837.00
		DUES/MEMBERSHIPS	299.41
		REGISTRATION FEES	745.00
		TELEPHONE EQUIP	163.13
		SOFTWARE	104.93
		OFFICE SUPPLIES/EXP	162.06
		MINOR FURN/EQUIP	1,060.71
			4,654.52 *
658313	AAA OIL, INC. dba California Fuels & Lub	TAX REBATE	139,578.00 *
658314	ABC SUPPLY CO. INC.	OTHER MAINT ITEMS	126.05 *
658315	ABSOLUTE INTERNATIONAL SECURITY	OTHER PROF SERV	1,457.35 *
658316	AIS ADVANCED IMAGING STRATEGIES INC.	OFFICE SUPPLIES/EXP	110.93 *
658317	ALAN'S LAWN AND GARDEN CENTER INC.	MOTOR VEH PARTS	945.61 *
658318	ALL AMERICAN ASPHALT	DEPOSIT REFUND	2,800.00
		WATER REFUND	-932.24
			1,867.76 *

PAGE TOTAL FOR "\*" LINES = 237,941.24

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658319	AMTECH ELEVATOR SERVICES	MAINT-SERV CONTRACTS	2,501.00 784.28 3,285.28 *
658320	ANAHEIM HOUSING AUTHORITY COMMUNITY DEV./ATTN:FISCAL	MOBILITY INSP FEE	1,050.00 *
658321	BC TRAFFIC SPECIALIST	SIGNS/FLAGS/BANNERS	1,819.33 *
658322	*BANUELOS, ALEJANDRO	DEP CARE REIMB	192.30 *
658323	ANTHONY BIRMINGHAM WINDOW CLEANING	MAINT-SERV CONTRACTS	1,351.00 *
658324	C.WELLS PIPELINE MATERIALS INC.	WHSE INVENTORY	4,157.52 *
658325	CAMERON WELDING SUPPLY	FACT:PROGRAM EXP OTHER MAINT ITEMS	21.33 127.51 148.84 *
658326	*CENTENO, JUAN	DEP CARE REIMB	994.94 *
658327	CERTIFIED TRANSPORTATION SERVICES, INC.	L/S/A TRANSPORTATION	496.48 *
658328	C.G. LANDSCAPE, INC.	MAINT-SERV CONTRACTS	950.00 *
658329	CONTINENTAL CONCRETE CUTTING	OTHER MAINT ITEMS	1,766.00 *
658330	CONTROL AUTOMATION DESIGN	MAINT-SERV CONTRACTS	1,085.00 *
658331	CONTROLLED MOTION SOLUTIONS, INC.	MOTOR VEH PARTS	1,491.75 *
658332	DANIELS TIRE SERVICE	WHSE INVENTORY	1,977.12 *
658333	DE LAGE LANDEN FINANCIAL SERVICES, INC.	STD-DE LAGE LTD-DE LAGE FUND BAL-UNAPPR MAINT-SERV CONTRACTS LONG TERM DEBT	0.00 49,622.80 -49,622.80 15,056.28 49,622.80 64,679.08 *
658334	DAVEY RESOURCE GROUP, INC	OTHER PROF SERV	14,795.00 *
658335	DELTA DENTAL OF CALIFORNIA	SELF-INS ADMN	2,468.04 *

PAGE TOTAL FOR "\*" LINES = 102,707.68



## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658336	DIAMOND ENVIRONMENTAL SERVICES	MAINT-SERV CONTRACTS	2,180.01 *
658337	EXCLUSIVE AUTO DETAIL	MOTOR VEHICLE MAINT	570.00 *
658338	EXPERIAN INFO SOLUTIONS INC	OTHER PROF SERV	78.36 *
658339	FIVESTAR RUBBER STAMP ETC., INC	OFFICE SUPPLIES/EXP	27.84 *
658340	FOSTER MORRISON CONSULTING, LTD	OTHER PROF SERV	3,400.00 *
658341	MONTROSE AIR QUALITY SERVICES, LLC	MAINT-SERV CONTRACTS	1,510.00 *
658342	GANAHIL LUMBER COMPANY	OTHER CONST SUPPLIES	505.26 *
658343	GARDEN GROVE CHAMBER OF COMMERCE	REGISTRATION FEES	400.00 *
658344	GARDEN GROVE UNIFIED SCHOOL DIST	LAND/BLDG/ROOM RENT	599.55 *
658345	*GIFFORD, ROBERT	EMPL COMPUTER PURCH	2,500.00 *
658346	GOLDEN OFFICE TRAILERS INC	LAND/BLDG/ROOM RENT	957.00 *
658347	GOVERNMENT SOCIAL MEDIA, LLC	TUITION/TRAINING	795.00 *
658348	GUERRERO, PAUL	MED TRUST REIMB	389.00 *
658349	HAAKER EQUIPMENT COMPANY	MOTOR VEH PARTS	745.58 *
658350	HACH COMPANY INC	LABORATORY CHEMICALS	105.31 *
658351	HILLCO FASTENER WAREHOUSE	HARDWARE	6.95 *
658352	HILL'S BROS LOCK & SAFE INC	MAINT-SERV CONTRACTS	643.06
		MOTOR VEH PARTS	86.67
		OTHER MAINT ITEMS	16.75
		HARDWARE	167.48
			913.96 *
658353	HINDERLITER, DE LLAMAS & ASSOCIATES	OTHER PROF SERV	2,250.00 *
658354	CALIBER BODYWORKS, INC. DBA CALIBER COLLISION CENTERS	REPAIRS-FURN/MACH/EQ	1,504.73 *
658355	THE HOME DEPOT PRO	WHSE INVENTORY	1,565.67 *

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658356	*HUYNH, AI KELLY	DEP CARE REIMB	384.00 *
658357	ICC INTERNATIONAL CODE COUNCIL	BOOKS/SUBS/CASSETTES	29.31 *
658358	INTERWEST CONSULTING GROUP ATTN: ACCOUNTING	OTHER PROF SERV	11,390.00 *
658359	INTELEPEER CLOUD COMMUNICATIONS, LLC	TELEPHONE	1,872.94 *
658360	J & M SERVICE, INC.	OTHER CONST SUPPLIES	116.63 *
658361	JACOT, ROSEMARIE	MED TRUST REIMB	651.91 *
658362	JEFF JENKINS SERVICE TECHNICIAN	LABORATORY CHEMICALS	706.58 *
658363	KNORR SYSTEMS, INC. ACCOUNTS RECEIVABLE	REPAIRS-FURN/MACH/EQ OTHER MINOR TOOLS/EQ	989.00 715.48 1,704.48 *
658364	KOA CORPORATION	OTHER PROF SERV	43,530.50 *
658365	LAWSON PRODUCTS, INC.	MOTOR VEH PARTS	1,118.02 *
658366	*LEE, GRACE	MED TRUST REIMB	115.00 *
658367	MASTER LANDSCAPE & MAINTENANCE	NON-SPEC CONTR SERV	7,711.59 *
658368	SUPERCO SPECIALTY PRODUCTS DIVISION OF MOMAR, INCORPORATED	GEN PURPOSE TOOLS	342.47 *
658369	*MONTANCHEZ, JOHN	MED TRUST REIMB	101.92 *
658370	NAPA AUTO PARTS	MOTOR VEH PARTS	1,282.60 *
658371	NATIONAL CONSTRUCTION RENTALS	OTHER RENTALS	153.60 *
658372	OFFICE DEPOT, INC	OFFICE SUPPLIES/EXP	2,376.01 *
658373	NEWMAN POOL SERVICE, INC	OTHER PROF SERV	190.00 *
658374	NIAGARA PLUMBING	PIPES/APPURTENANCES	78.30 *
658375	NICKEY PETROLEUM CO., INC.	JANITORIAL SUPPLIES	591.60 *
658376	*NIKOLIC, ADAM	TRAVEL ADVANCE	160.00 *

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658377	R.J. NOBLE COMPANY	DEPOSIT REFUND WATER REFUND OTHER MAINT ITEMS	2,800.00 -1,515.46 1,781.97 3,066.51 *
658378	OCEAN BLUE ENVIRONMENTAL SERVICES, INC.	OTHER MAINT ITEMS	5,895.56 *
658379	ORANGE COUNTY APPLIANCE PARTS	PIPES/APPURTENANCES	90.79 *
658380	ORANGE COUNTY FIRE PROTECTION	MAINT-SERV CONTRACTS	902.30 *
658381	O.C. HOUSING AUTHORITY ACCTG DEPT.	MOBILITY INSP FEE	4,500.00 *
658382	ORANGE COUNTY STRIPING SERV	MAINT-SERV CONTRACTS	5,077.19 *
658383	PACIFIC4	WHSE INVENTORY	1,129.97 *
658384	PAULUS ENGINEERING, INC.	WTR/SWR CONST CONTR	37,662.14 *
658385	PEST OPTIONS, INC.	OTHER PROF SERV	525.00 *
658386	PLAYPOWER LT FARMINGTON INC. C/O ACCOUNTS RECEIVABLE	OTHER MAINT ITEMS	729.98 *
658387	PYRO-COMM SYSTEMS, INC.	MAINT-SERV CONTRACTS	135.00 *
658388	SCP DISTRIBUTORS, LLC	OTHER MAINT ITEMS	39.75 *
658389	S.C. YAMAMOTO, INC.	OTHER PROF SERV	77.00 *
658390	*SHELGREN, CHRISTOPHER	TRAVEL ADVANCE	240.00 *
658391	SHRED CONFIDENTIAL, INC.	OTHER PROF SERV	252.00 *
658392	SIMPSON CHEVROLET OF GG	MOTOR VEH PARTS	20.23 *
658393	SITEONE LANDSCAPE SUPPLY HLDING	WHSE INVENTORY	211.56 *
658394	SO CALIF MUN ATHLETIC FEDERATION	OTHER PROF SERV	651.70 *
658395	SOUTHERN CALIFORNIA GAS CO ML 711D	MAINT-SERV CONTRACTS	575.00 *
658396	SOUTHERN COUNTIES LUBRICANTS LLC	WHSE INVENTORY	695.28 *

PAGE TOTAL FOR "\*" LINES = 62,476.96

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658397	SOUTHERN COUNTIES OIL COMPANY	MV GAS/DIESEL FUEL	24,506.51 *
658398	TURBO DATA SYSTEMS, INC	OTHER PROF SERV	6,085.58 *
658399	TYCO FIRE&SECURITY(US) MGMT,INC JOHNSON CONTROLS FIRE PROTECTOR MINOR TOOLS/EQ		183.30 *
658400	HD SUPPLY FACILITIES MAINTENANCE LTD-USA BLUEBOOK	LABORATORY CHEMICALS	3,216.42 *
658401	UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA	OTHER MAINT ITEMS	503.56 *
658402	UNIFIRST CORP	LAUNDRY SERVICES	1,788.45 *
658403	UNITED RENTALS NORTHWEST, INC	AGGREGATES/MASONRY	433.37 *
658404	VULCAN MATERIALS COMPANY WESTERN DIVISION	ASPHALT PRODUCTS	1,125.01 *
658405	GRAINGER	LABORATORY CHEMICALS PIPES/APPUTENANCES MAINT SUPP-TRAFF SIG OTHER MAINT ITEMS	-11.60 64.16 590.07 1,289.08 1,931.71 *
658406	WALLACE & ASSOC CONSULTING C/O GRAND VALLEY BANK	ENGINEERING SERVICES	10,797.00 *
658407	WALTERS WHOLESALE ELECTRIC	ELECTRICAL SUPPLIES	25.21 *
658408	CARL WARREN & COMPANY	SELF-INS ADMN	9,288.00 *
658409	WASAFI, HABIBULLAH	TENANT UTILITY REIMB	35.00 *
658410	WATERLINE TECHNOLOGIES, INC.	LABORATORY CHEMICALS	871.20 *
658411	WAXIE SANITARY SUPPLY	WHSE INVENTORY	3,055.76 *
658412	WEST COAST ARBORISTS INC	TREE TRIMMING SERV	3,869.00 *
658413	WEST YOST ASSOCIATES	OTHER PROF SERV	123,287.33 *
658414	*WILDER, CANDY	MED TRUST REIMB	1,230.00 *
658415	WOODRUFF, SPRADLIN & SMART A PROFESSIONAL CORP	LEGAL FEES	164,314.32 *
658416	ZEP SALES & SERVICE	WHSE INVENTORY	114.32 *

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658417	LE, QUAN H.	TENANT UTILITY REIMB	11.00 *
658418	*VALDIVIA, CLAUDIA	MED TRUST REIMB	180.54 *
658419	DTNtech MARKETING	AWARDS/TROPHIES	750.13 *
658420	*YOO, MEENA	MED TRUST REIMB	60.00 *
658421	CSULB FOUNDATION	TUITION/TRAINING	680.00 *
658422	INTERNATIONAL E-Z UP, INC. SDS-12-2378	WHSE INVENTORY	298.69 *
658423	ASSOCIATED SOILS ENGINEERING, INC.	ENGINEERING SERVICES	45,249.85 *
658424	GGSA	DEPOSIT REFUNDS	250.00 *
658425	BALDWIN, ROBERT	TENANT UTILITY REIMB	24.00 *
658426	*GRAY, MIKE	SAFETY EQ/SUPPLIES	121.21 *
658427	FACTORY MOTOR PARTS CO BIN 139107	MOTOR VEH PARTS	557.26 *
658428	WESTERN WATER WORKS	WHSE INVENTORY	3,335.59 *
658429	CHEMEX INDUSTRIES	OTHER PROF SUPPLIES	1,856.50 *
658430	GIBBENS & ASSOCIATES LLC C/O MICHAEL P. GIBBENS	TUITION/TRAINING	453.73 *
658431	MIHN VO	BOOKING FEES-CITY	355.00 *
658432	GFOA	DUES/MEMBERSHIPS	300.00 *
658433	SARBS-CWEA C/O OCSD WILLIAM CASSIDY	REGISTRATION FEES	605.00 *
658434	SALDIVAR, EDUARDO	DEPOSIT REFUNDS	250.00 *
658435	BEE REMOVERS	MAINT-SERV CONTRACTS	505.00 *
658436	GGUSD	DEPOSIT REFUNDS	250.00 *
658437	*TESSIER, PAUL	EMPL COMPUTER PURCH	2,500.00 *
658438	O'REILLY AUTO PARTS	MOTOR VEH PARTS	1,124.61 *

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658439	FRESNO CITY COLLEGE	TUITION/TRAINING	114.00 *
658440	MEJIA, MARY A	TENANT UTILITY REIMB	15.00 *
658441	IMPERIAL SPRINKLER SUPPLY INC	WHSE INVENTORY	669.74 *
658442	COSTAR GROUP, INC. ATTN: ACCOUNTING DEPT-CONTRACTS	OTHER PROF SERV	984.48 *
658443	MUNICIPAL MAINTENANCE EQUIPMENT, INC.	MOTOR VEH PARTS	194.19 *
658444	PACIFIC COAST BOLT CORP	WHSE INVENTORY	1,324.04 *
658445	ASENCIO, SONIA LISA	TENANT UTILITY REIMB	22.00 *
658446	LABSOURCE, INC.	WHSE INVENTORY	2,276.14 *
658447	CALIFORNIA ASSOCIATION OF CODE ENFORCEMENT OFFICERS (CACEO)	DUES/MEMBERSHIPS	95.00 *
658448	NGUYEN, BECKY	TENANT UTILITY REIMB	77.00 *
658449	CITY OF SANTA ANA	TUITION/TRAINING	198.00 *
658450	FASTENAL INDUSTRIAL CONSTRUCTION SUPPLY	WHSE INVENTORY	83.81 *
658451	SO CAL PUBLIC SAFETY DISPATCHER ATTN: WENDY KOUDELKA NBPD	DUES/MEMBERSHIPS	50.00 *
658452	JACK BRITO	DEPOSIT REFUNDS	500.00 *
658453	TOPAZ ALARM CORP	OTHER PROF SERV	862.00 *
658454	YO-FIRE SUPPLIES	WHSE INVENTORY	1,862.90 *
658455	SILVIA ARNADA	DEPOSIT REFUNDS	500.00 *
658456	VMI, INC.	VIDEO PRODUCTION EXP	6,922.94 *
658457	ALEJANDRA RODRIGUEZ	DEPOSIT REFUNDS	500.00 *
658458	DIVISION OF THE STATE ARCHITECT ATTN: SB 1186	STATE ADA PASSTHRU	1,130.60 *
658459	ORANGE COUNTY CLERK RECORDER HALL OF FINANCE & RECORDS	FEE REFUND	50.00 *
658460	CHEVROLET OF WATSONVILLE NATIONAL AUTO FLEET GROUP	MOTOR VEHICLE REPL	145,120.67 *

PAGE TOTAL FOR "\*" LINES = 163,552.51

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658461	*VASQUEZ, LIZABETH	DEP CARE REIMB	385.40 *
658462	CORELOGIC SOLUTIONS, LLC ATTN: INFORMATION SOLUTIONS	SOFTWARE	394.50 *
658463	AMERICAN INTERNET SERVICES, LLC	NETWORK COMMUNIC	669.56 *
658464	SO CAL INDUSTRIES	OTHER RENTALS	1,523.15 *
658465	SOUTHERN COMPUTER WAREHOUSE	MAINT-SERV CONTRACTS OFFICE SUPPLIES/EXP MINOR FURN/EQUIP	174.04 1,823.84 1,035.68 3,033.56 *
658466	INFOSEND, INC.	PRINTING OTHER PROF SERV	4,953.71 320.00 5,273.71 *
658467	AUTONATION FORD TUSTIN	MOTOR VEH PARTS	1,127.91 *
658468	TANYA SAMOFF	EMPL COMPUTER PURCH	2,500.00 *
658469	MUNICIPAL WATER DISTRICT OF ORANGE COUNTY	OTHER PROF SERV	83,855.00 *
658470	FIREMASTER DEPT. 1019	SAFETY EQ/SUPPLIES	860.56 *
658471	LACEY CUSTOM LINENS, INC.	LAUNDRY SERVICES	120.01 *
658472	MWB COPY PRODUCTS, INC DBA:SOCAL OFFICE TECHNOLOGIES	MAINT-SERV CONTRACTS	8,936.02 *
658473	ENGINEERING RESOURCES OF SOUTHERN CALIFORNIA INC.	ENGINEERING SERVICES OTHER PROF SERV	9,275.00 1,450.00 10,725.00 *
658474	BILL'S SOUND & SECURITY	OTHER PROF SERV	300.00 *
658475	NATIONAL CREDIT REPORTING	OTHER PROF SERV	25.90 *
658476	RUFINO GRANDE	DEPOSIT REFUNDS	1,000.00 *
658477	XEROX CORPORATION DBA: XEROX FINANCIAL SERVICES	STD-XEROX LTD-XEROX FUND BAL-UNAPPR TAXES/LICENSES	-5.25 5,159.59 -5,154.34 465.48

PAGE TOTAL FOR "\*" LINES = 120,730.28

## WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658478	JTB SUPPLY CO INC	INTEREST COSTS	165.38
658479	SORIANO, TERESA	LONG TERM DEBT	5,154.34
658480	FLEMING ENVIRONMENTAL INC.		5,785.20 *
658481	CALIFORNIA DEPARTMENT OF TAX AND FEE ADMINISTRATION	MAINT SUPP-TRAFF SIG	2,869.92 *
658482	GOLDENWEST LAWNMOWERS & SCOOTERS	TENANT UTILITY REIMB	18.00 *
658483	IRVINE PIPE & SUPPLY INC	MAINT-SERV CONTRACTS	1,170.00
658484	CSIKESZ, EMERY	OTHER PROF SERV	3,971.21
658485	KRESS, ROBERT		5,141.21 *
658486	PHAN, VU	PERMITS/OTHER FEES	584.62 *
658487	GMT REAL ESTATE	MOTOR VEH PARTS	77.21 *
658488	TAREK BUYS HOUSES LLC	PIPES/APPUTENANCES	77.32 *
658489	PHUNG, THAI	WATER CLOSING BILL REFUND	44.90 *
658490	TRANG, JACQUELYN	WATER CLOSING BILL REFUND	141.15 *
658491	VU, VIET	WATER CLOSING BILL REFUND	1.56 *
658492	TRAN, KIMCHI	WATER CLOSING BILL REFUND	48.70 *
658493	TRAN, DUNG	WATER CLOSING BILL REFUND	41.64 *
658494	HUYNH, VIVIEN	WATER CLOSING BILL REFUND	18.12 *
658495	VANLEY, DEBORAH	WATER CLOSING BILL REFUND	80.95 *
658496	VO, VIVIAN	WATER CLOSING BILL REFUND	34.51 *
		WATER CLOSING BILL REFUND	18.50 *
		WATER CLOSING BILL REFUND	41.06 *
		WATER CLOSING BILL REFUND	373.25 *
		WATER CLOSING BILL REFUND	12.99 *
		WATER CLOSING BILL REFUND	65.40 *



WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
658497	TRAN, TAP	WATER CLOSING BILL REFUND	122.81 *
658498	NGUYEN, TRAVIS	WATER CLOSING BILL REFUND	17.54 *
658499	NGUYEN, HUNG	WATER CLOSING BILL REFUND	20.58 *
658500	PHASE DIAGNOSTICS, INC.	WATER CLOSING BILL REFUND	20.76 *
658501	GG PROPERTY GROUP, LLC	WATER CLOSING BILL REFUND	28.33 *
658502	CALLEN, DONALD R	WATER CLOSING BILL REFUND	45.18 *
658503	TRAN, ALEXANDER	WATER CLOSING BILL REFUND	17.13 *
658504	VU, HAO	WATER CLOSING BILL REFUND	18.53 *
658505	GARDEN GROVE GAS %KUMAR SHASHI	WATER CLOSING BILL REFUND	20.28 *
658506	TRAN, KHANH	WATER CLOSING BILL REFUND	35.39 *
658507	BRE PARAGON CRYSTAL VIEW	WATER CLOSING BILL REFUND	103.51 *
658508	POST STERLING COURT, LP	RENT SUBSIDY	1,158.00 *
W2728	VISION SERVICE PLAN	VISION-CAFE CONTR	6,767.74 *
W2729	PUBLIC EMPLOYEES' RETIREMENT SYSTEM	PENSION PAYMENT	135,775.08 *
W2730	MUNICIPAL WATER DISTRICT OF ORANGE COUNTY	IMPORT WTR-MWDOC	939,536.65 *
W2731	FNTC-CORPORATE UTIC FIDELITY NATIONAL TILE COMPANY	LAND ACQUISITION	13,862.00 *
W2732	CITY OF GARDEN GROVE-LIABILITY ACCT	LEGAL FEES	53,059.70
		MUN CLAIMS BD PMT	1,857.10
			54,916.80 *
W2733	U.S. BANK IT&C	SECT-115 TRST PEN	673,159.00 *
W658507	MONARK, LP C/O SWAMI INTERNATIONAL	RENT SUBSIDY	3,116.00 *

PAGE TOTAL FOR "\*" LINES = 1,828,741.31

WARRANTS SUBMITTED TO CITY COUNCIL FOR APPROVAL 01/15/20

WARRANT	VENDOR	DESCRIPTION	AMOUNT
		FINAL TOTAL	3,446,463.17 *
	DEMANDS #658285 - 658508 AND WIRES W2728 - W2733 AS PRESENTED IN THE WARRANT REGISTER SUBMITTED TO THE GARDEN GROVE CITY COUNCIL JANUARY 15, 2020, HAVE BEEN AUDITED FOR ACCURACY AND FUNDS ARE AVAILABLE FOR PAYMENT THEREOF		
	 PATRICIA SONG - FINANCE DIRECTOR		

183867	DEBRA J NICHOLS	4886.63	183868	ALLISON D WILSON	3305.72
183869	ALLISON D WILSON	8290.60	183870	JUDITH A MOORE	1861.59
183871	DIANE BELAIR	1796.13	183872	ARMANDO HERRERA JR.	420.38
183873	JAKE P TRAN	553.78	183874	DARIEL TAPIA	594.14
183875	MICHAEL F ROCHA	1961.96	183876	ARTHUR J FLORES	2219.78
183877	EDWIN O THURMAN JR	974.15	183878	DEANNA M CHUMACERO	836.01
183879	AARON D DINH	198.30	183880	STEVEN E GOMEZ	727.68
183881	ARNULFO GUZMAN JR	165.17	183882	HALLIE S HUANG	138.21
183883	EDOUARD T PHAN	435.73	183884	MYCHAELLA J SIEVE	114.17
183885	JACOB THAOSATIEN	327.54	183886	SAMANTHA B VARGAS	176.28
183887	DANIEL A ZEMBOWER	209.33	183888	RUDY A ROCHA	270.41
183889	GONZALO GONZALEZ JR	1771.74	183890	WILLIAM ALLISON	5082.61
183891	O.C.E.A. GENERAL	2287.18	183892	O.C.E.A.	1101.59
183893	COMMUNITY HEALTH CHARITI	45.00	183894	GARDEN GROVE POLICE ASSO	1610.00
1839494	GEORGE S BRIETIGAM III	312.05	1839495	PHAT T BUI	9.74
1839496	STEVEN R JONES	155.73	1839497	STEPHANIE L KLOPFENSTEIN	80.18
1839498	DIEDRE THU HA NGUYEN	278.70	1839499	KIM B NGUYEN	280.23
1839500	JOHN R O'NEILL	297.25	1839501	PAMELA M HADDAD	1550.96
1839502	SHAWN S PARK	2233.02	1839503	SCOTT C STILES	6522.81
1839504	MARIA A STIPE	5287.18	1839505	MEENA YOO	2136.21
1839506	MARITZA PIZARRO	1908.56	1839507	AMANDA M POLLOCK	1552.86
1839508	TERESA L POMEROY	3112.84	1839509	LIZABETH C VASQUEZ	1991.36
1839510	VERONICA AVILA	1909.35	1839511	JEFFREY P DAVIS	2050.72
1839512	NOELLE N KIM	1929.22	1839513	MISSY M MENDOZA	471.06
1839514	MARIE L MORAN	2468.07	1839515	ANA E PULIDO	3526.34
1839516	KRISTY H THAI	2131.65	1839517	SHAUNA J CARRENO	1924.28
1839518	VY D HO	1545.99	1839519	DANNY HUYNH	3530.83
1839520	VILMA C KLOESS	2337.88	1839521	IVY LE	1764.52
1839522	TAMMY LE	1380.03	1839523	LINDA MIDDENDORF	2298.87
1839524	MARIA A NAVARRO	2279.97	1839525	PHUONG VIEN T NGUYEN	2065.99
1839526	QUANG NGUYEN	2431.81	1839527	TINA T NGUYEN	4123.31
1839528	THYANA T PHI	2381.99	1839529	MARIA RAMOS	2215.95
1839530	TANYA L TO	1416.26	1839531	CUONG K TRAN	2065.82
1839532	ELAINE TRUONG	1532.25	1839533	THANH-NGUYEN VO	1532.22
1839534	SYLVIA GARCIA	2125.44	1839535	YUAN SONG	4433.91
1839536	KAREN M HARRIS	2771.41	1839537	CHRISTI C MENDOZA	897.44
1839538	TREVOR G SMOUSE	2135.47	1839539	JANET J CHUNG	2473.12
1839540	ANN C EIFERT	3021.46	1839541	MARGARITA A ABOLA	1761.07
1839542	MARY ANN M ALCANCIA	2730.68	1839543	MARISA ATIN RAMOS	1242.41
1839544	ROBERT W MAY	1144.43	1839545	SHAWNA A McDONOUGH	1455.57
1839546	HELDY Y MUNOZ	3040.10	1839547	SELAMAWIT NIGATU	1112.73
1839548	MY TRA VO	2072.56	1839549	LIGIA ANDREI	1596.84
1839550	ARIANA B BAUTISTA	1563.48	1839551	KAREN J BROWN	807.01
1839552	CORINNE L HOFFMAN	2239.87	1839553	JEFF N KURAMOTO	2628.39
1839554	CHELSEA E LUKAS	1556.70	1839555	EDWARD E MARVIN JR	1616.59
1839556	ANGELA M MENDEZ	1592.35	1839557	JENNIFER L PETERSON	1764.34
1839558	ANH PHAM	1578.62	1839559	EVA RAMIREZ	1923.08
1839560	ALEXIS B ROMERO	1743.92	1839561	JAIME F CHAVEZ	1504.57

\*\*\*\* PAGE TOTAL = 175919.43

D359562	GARY F HERNANDEZ	1592.84	D359563	NEAL M MANALANSAN	1636.40
D359564	DANIEL J SANCHEZ	1577.04	D359565	SANDRA E SEGAWA	3365.06
D359566	ALANA R CHENG	2424.07	D359567	PAUL GUERRERO	2448.31
D359568	LISA L KIM	4709.48	D359569	JULIE A ASHLEIGH	1829.76
D359570	MICHAEL G AUSTIN	2347.70	D359571	RITA M CRAWER	2231.44
D359572	CHRISTOPHER J CRANDALL	2570.64	D359573	BRYSON T DAHLHEIMER	2025.14
D359574	DAVID A DENT	3913.48	D359575	TODD C HARTWIG	2164.56
D359576	RALPH V HERNANDEZ	2231.03	D359577	AARON J HODSON	2119.35
D359578	DONALD E LUCAS	2777.20	D359579	SVETLANA MOURE	2078.02
D359580	PHU T NGUYEN	3604.08	D359581	LORENA J QUILLA-SOULES	2644.24
D359582	PEDRO ROQUE	2244.91	D359583	MARCO A VALADEZ	588.41
D359584	CHRISTOPHER CHUNG	2547.92	D359585	PRIT J KASKLA	1821.48
D359586	HUONG Q LY	1852.90	D359587	LEE W MARINO	3963.08
D359588	MARIA L MARTINEZ	2212.87	D359589	MARIA C PARRA	3472.81
D359590	GREG BLODGETT	2839.32	D359591	MONICA COVARRUBIAS	3303.48
D359592	GRACE E LEE	2162.50	D359593	AMEENAH ABU-HAMDIYYAH	1605.34
D359594	ROY N ROBBINS	2812.14	D359595	TIMOTHY E THRONE	1865.20
D359596	MICHAEL C BOS	2023.57	D359597	DANIEL J CANDELARIA	4057.22
D359598	VINCENT L DE LA ROSA	2284.10	D359599	KAMYAR DIBAJ	1130.40
D359600	ALICIA M HOFER	1687.76	D359601	NICOLAS C HSIEH	2969.78
D359602	ROSEMARIE JACOT	2000.68	D359603	SHAN L LEWIS	2207.92
D359604	NAVIN B MARU	3388.30	D359605	JUAN C NAVARRO	2246.10
D359606	MICHAEL F SANTOS	2870.06	D359607	MARK P UPHUS	3514.09
D359608	JOSE A VASQUEZ	2744.38	D359609	ANA G VERGARA NEAL	2482.29
D359610	DAI C VU	3871.15	D359611	KHANG L VU	3090.71
D359612	CHRISTOPHER L ALLEN	1709.16	D359613	JOSHUA J ARIONUS	1874.35
D359614	ALEJANDRO BANUELOS	1414.86	D359615	JAN BERGER	2065.26
D359616	ROBERT P BERMUDEZ	608.83	D359617	TIM P CANNON	2770.90
D359618	CARINA M DAN	1947.64	D359619	RYAN H DAVIS	1573.57
D359620	KATHLEEN N DELFIN	971.59	D359621	RONALD W DIEMERT	1937.07
D359622	CHRIS N ESCOBAR	2882.57	D359623	JEREMY J GLENN	1315.44
D359624	ALEJANDRO GONZALEZ	2856.31	D359625	MICHAEL J GRAY	1602.39
D359626	LARRY GRIFFIN	1594.96	D359627	ROBERT A HAENDIGES	3002.13
D359628	RYAN S HART	3655.94	D359629	EDWARD A HUY	2124.60
D359630	VIDAL JIMENEZ	2262.46	D359631	SAMUEL K KIM	3638.54
D359632	AMANDA LE LAI	369.16	D359633	REBECCA PIK KWAN LI	3572.47
D359634	DAVID MA'AE	2059.49	D359635	TYLER MEISLAHN	1885.53
D359636	JESSE K MONTGOMERY	2173.65	D359637	JUSTIN M MORRIS	1319.32
D359638	STEVEN J MOYA JR	2080.95	D359639	BASIL G MURAD	2096.09
D359640	KIRK L NATLAND	1144.10	D359641	DUC TRUNG NGUYEN	2438.85
D359642	CORNELIU NICOLAE	2692.60	D359643	ANDREW I ORNELAS	1911.99
D359644	DAVID A ORTEGA	2242.40	D359645	CELESTINO J PASILLAS	2656.26
D359646	WILLIAM F PEARSON	2174.63	D359647	JESSICA J POLIDORI	2570.22
D359648	CHRISTOPHER B PRUDHOMME	1411.95	D359649	ESTEBAN H RODRIGUEZ	1988.58
D359650	LES A RUITENSCHILD	3347.56	D359651	JONATHAN RUIZ	2030.23
D359652	ALEXIS SANTOS	1188.28	D359653	ADRIAN M SARMIENTO	2592.86
D359654	ALBERT TALAMANTES JR	1916.66	D359655	MINH K TRAN	1592.78
D359656	ALEJANDRO VALENZUELA JR	1188.16	D359657	ALEJANDRO N VALENZUELA	4326.09

\*\*\* PAGE TOTAL = 222930.14

D359658	RONALD J WOLLAND	1242.51	D359659	VICTOR K VERGENSEN	1854.79
D359660	ALICE K FREGOSO	1824.31	D359661	ALICIA R GARCIA	447.54
D359662	RAQUEL K MANSON	2566.18	D359663	WILLIAM E MURRAY JR	6128.43
D359664	EMILY H TRIMBLE	1923.89	D359665	ALFRED J AGUIRRE	2752.95
D359666	EDWARD D AMBRIZ GARCIA	586.14	D359667	RODOLPHO M BECERRA	1958.25
D359668	RAYMOND A BUCHLER	1182.29	D359669	EDGAR A CANO	1609.59
D359670	ALBERT J CARRISOZA	1968.33	D359671	GABRIELA R CONTRERAS	2260.21
D359672	JULIE T COTTON	1593.64	D359673	DANIEL A DEL ROSARIO	403.39
D359674	DOROTHY L DUATA	545.49	D359675	ERIC M ESPINOZA	1677.41
D359676	ALBERT R EURS II	2356.35	D359677	ROBERT J FRANCO	609.45
D359678	MAURICIO S GARCIA	2397.78	D359679	CASEY G GIROUARD	1484.87
D359680	DARNELL D JERRY	722.56	D359681	BRENT KAYLOR	2359.28
D359682	MARK W LADNEY	2635.71	D359683	RAUL LEYVA	2046.67
D359684	ANTONIO R MARTIN	2068.53	D359685	DIEGO A MEJIA	1752.37
D359686	RIGOBERTO MENDEZ	475.09	D359687	STEVEN T ORTIZ	2236.47
D359688	PHILLIP Q PHAM	453.28	D359689	RICHARD L PINKSTON	2282.13
D359690	JOSE J ROMAN	548.17	D359691	ALEXIS P TARIN	2145.53
D359692	STEVE J TAUANU'U	3849.01	D359693	IOAN ANDREI	960.10
D359694	SYLVESTER A BABINSKI IV	1587.45	D359695	DONEISHA L BELL	650.71
D359696	JEFFREY G CANTRELL	1959.34	D359697	JULIA ESPINOZA	1200.54
D359698	CECELIA A FERNANDEZ	1170.51	D359699	CONRAD A FERNANDEZ	836.03
D359700	DIANA GOMEZ	905.50	D359701	JORGE GONZALEZ	1216.66
D359702	MICHAEL R GREENE	1816.74	D359703	GLORIA A HARO	1158.38
D359704	ERIC W JOHNSON	1152.69	D359705	LEONEL A LAMAS	727.26
D359706	KHUONG NGUYEN	1183.04	D359707	DELFRADO C REYES	1183.04
D359708	RAFAEL ROBLES	1219.19	D359709	ADRIANNA M RODRIGUEZ	877.63
D359710	RODERICK THURMAN	1621.18	D359711	EVARISTO VERA	1625.10
D359712	RICHARD L WILLIAMS	1605.34	D359713	ANSELMO AGUIRRE	1860.13
D359714	DOMINIC CAMERA	687.57	D359715	PHILLIP J CARTER	2390.87
D359716	RICK L DUVALL	2866.75	D359717	AARON R HANSEN	1709.11
D359718	HUY HOA HUYNH	796.89	D359719	MATTHEW D ILFELD	1157.62
D359720	BRYAN D KWIATKOWSKI	1671.53	D359721	ALFREDO MARTINEZ	1776.35
D359722	DANIEL C MOSS	1418.46	D359723	ROLANDO QUIROZ	1568.15
D359724	TODD R REED	1647.80	D359725	RICARDO SALDIVAR	523.91
D359726	WILLIAM A SOTO	433.73	D359727	LUIS A TAPIA	2134.91
D359728	MICHAEL W THOMPSON	2899.05	D359729	JOSEPH E TRUJILLO	673.11
D359730	WILLIAM J WHITE	2002.06	D359731	JESSE GUZMAN	1919.23
D359732	MARK M KHALIL	1856.24	D359733	BRETT A MEISLAHN	2120.60
D359734	DOUGLAS A MOORE	2085.89	D359735	ANDREW J MORELAND	466.77
D359736	AUSTIN H POWELL	1853.36	D359737	MELVIN P REED	1516.76
D359738	STEPHEN D SUDDUTH	1962.22	D359739	TIMOTHY WALLINGFORD	2051.43
D359740	SOUMELIA K GOUNTOUNA	1993.67	D359741	ALBERT J HOLMON III	3223.77
D359742	VICTOR T BLAS	3481.19	D359743	FRANK X DE LA ROSA	1930.03
D359744	JOSE GOMEZ	1879.17	D359745	MICHAEL V GUERRERO	1438.45
D359746	BRENT W HAYES	3236.74	D359747	FRANK D HOWENSTEIN	2965.44
D359748	ALLEN G KIRZHNER	4363.15	D359749	BRANDON S NUNES	1361.67
D359750	STEPHEN PORRAS	3748.67	D359751	JESSE VIRAMONTES	3247.27
D359752	JOHN ZAVALA	2931.25	D359753	KAETLYN L AGATEP	20.48

\*\*\* PAGE TOTAL = 167476.47

D359754	YOLANDA A ALVARADO	61.00	D359755	STEPHANIE AMBRIZ	321.30
D359756	JOSELYN D AVALOS	315.34	D359757	REBECCA J BAIOR	403.67
D359758	SARAH M BAIRD	78.00	D359759	JOSUE BARREIRO MENDOZA	1307.53
D359760	DYLAN J BOGGAN	132.20	D359761	RACHEL M CAMARENA	1840.46
D359762	RENE CAMARENA	1791.21	D359763	VICTORIA M CASILLAS	1777.86
D359764	RACHAEL M CHOATE	190.02	D359765	AMANDA D CROSS	1640.16
D359766	GISELL L CRUZ	336.04	D359767	KENNETH E CUMMINGS	1223.90
D359768	MARLY DELGADO CHAVEZ	377.99	D359769	GABRIELA DIAZ	250.49
D359770	GRISELL V EVERASTICO	27.86	D359771	MARK C FREEMAN	2809.04
D359772	JARED D GARCIA	462.77	D359773	VANESSA L GARCIA	192.30
D359774	JACOB R GRANT	1870.66	D359775	KIMBERLY K HOLER	471.48
D359776	LAUREN E HULL	214.89	D359777	KALYSTA N LOPEZ	132.20
D359778	ELAINE M MA'AE	2386.62	D359779	JOHANA L MALDONADO	188.50
D359780	LORENA OCHOA MCINTYRE	1747.79	D359781	JESUS MEDINA	1699.15
D359782	JUAN MEDINA	2036.45	D359783	JOHN A MONTANCHEZ	4464.57
D359784	KIRSTEN K NAKAISHI	578.27	D359785	GINA D NECCO	271.58
D359786	JACOB J NEELY	427.71	D359787	NOEL N NICHOLAS	1053.89
D359788	JENNIFER GODDARD NYE	2462.35	D359789	GABRIELA O'CADIZ-HERNAND	2834.07
D359790	NANCY A OCAMPO	354.58	D359791	STEPHANIE ORTIZ	163.86
D359792	CHRISTIAN PANGAN	321.65	D359793	JANET E PELAYO	3198.28
D359794	JESUS PEREZ	69.65	D359795	ALEXA PRADO	165.86
D359796	SHADY S PUATLOA	473.76	D359797	SUGEIRY REYNOSO	2219.49
D359798	MARINA Y ROMERO	1836.83	D359799	MARIA D ROSALES	424.71
D359800	TANYA ROSAS	271.64	D359801	DIANA SALDIVAR	365.60
D359802	DANA MARIE SAUCEDO	2014.45	D359803	EMERON J SCHLUMBERGER	941.03
D359804	REBECCA S SMITH	27.86	D359805	RYAN J STEVENS	72.11
D359806	KENNETH P TRAVIS III	478.74	D359807	CLAUDIA VALDIVIA	2834.60
D359808	JEFFREY VAN SICKLE	2125.09	D359809	DAISY O VENCES	69.65
D359810	JOSHUA VENCES	430.71	D359811	PAUL E VICTORIA	1263.58
D359812	JACOB D VIRAMONTES	425.91	D359813	TIFFANY D VU	156.24
D359814	DAVID M WILMES	300.19	D359815	MORRIS B SPELL	5429.56
D359816	GRANT A NOBLE	1899.57	D359817	THOMAS R DARE	6436.11
D359818	CAROLE A KANEGAE	2185.58	D359819	VINCENTE J VAICARO	7498.79
D359820	KRISTEN A BACKOURIS	1493.44	D359821	SHARON S BAEK	1827.03
D359822	RAY E BEX	4487.26	D359823	GENA M BOWEN	1584.68
D359824	JESENIA CAMPOS	1881.08	D359825	AMIR A EL-FARRA	4761.32
D359826	HELENA ELSOUSOU	1897.14	D359827	PATRICK E GILDEA	5265.55
D359828	AI KELLY HUYNH	1987.87	D359829	ALLYSON T LE	1594.55
D359830	KEIRA LONG	1816.32	D359831	JOHN E REYNOLDS	4756.80
D359832	ASHLEY C ROJAS	1576.46	D359833	REYNA ROSALES	1720.17
D359834	MICHAEL J VISCOMI	6259.75	D359835	GIOVANNI ACOSTA	2961.56
D359836	PEDRO R ARELLANO	3367.83	D359837	TIMOTHY R ASHBAUGH	2543.20
D359838	ALFREDO R AVALOS	4230.64	D359839	COLLIN E BAKER	4177.03
D359840	RENE BARRAZA	2472.30	D359841	BEAU A BERENGER	2943.61
D359842	RYAN S BERLETH	1962.63	D359843	SUMMER A BOGUE	2446.29
D359844	RENZO CHUMBE	1961.79	D359845	GARY L COULTER	2616.47
D359846	CHARLIE DANIELEY III	1788.92	D359847	ISAAC DAVILA	1964.03
D359848	BROC D DUDLEY	4577.66	D359849	STEPHEN C ESTLOW	972.59

\*\*\* PAGE TOTAL = 166730.97

D359850	JESUS FAJARDO	2995.38	D359851	HECTOR FERREIRA JR	5525.39
D359852	KARI A FLOOD	2593.29	D359853	ROBERT D FRESSENIUS	3935.54
D359854	JASON S FULTON	4423.67	D359855	JOSEPH P GROSS JR	3524.42
D359856	TRAVIS J HADDEN	4172.57	D359857	TROY HALLER	7897.87
D359858	JASON A HOWARD	2481.18	D359859	KIRK P HURLEY	4293.33
D359860	NICKOLAS K JENSEN	2582.22	D359861	VICTORIA A JORDAN	2565.68
D359862	EDWARD K KIM	10656.36	D359863	TIMOTHY P KOVACS	3961.57
D359864	MICHAEL J LANG	3320.91	D359865	MARK A LORD	3238.63
D359866	JORGE L MAZON	2426.49	D359867	BRYAN J MEERS	2562.68
D359868	JEREMY N MORSE	2719.56	D359869	MITCHEL S MOSSER	2472.37
D359870	AARON S NELSON	3141.34	D359871	JASON S PERKINS	5219.33
D359872	PHILLIP H PHAM	4900.10	D359873	COREY T POLOPEK	2448.36
D359874	SINDY RAMIREZ OROZCO	5426.26	D359875	JOHN E RANEY	3896.21
D359876	THOMAS S REED	2356.54	D359877	DANIELLE E RIEDL	4216.96
D359878	AARON T SHIPLEY	2101.02	D359879	SHAYLEN L SIMONS	3909.63
D359880	CHARLES W STARNES	6405.03	D359881	EDGAR VALENCIA	3257.73
D359882	ROYCE C WIMMER	3710.28	D359883	SARAH A WRIGHT	2205.54
D359884	COLE A YNIGUEZ	4102.29	D359885	MARCOS R ALAMILLO	3412.08
D359886	RICHARD A ALVAREZ-BROWN	2878.12	D359887	BOBBY B ANDERSON	2899.29
D359888	JOHN F BANKSON	3192.56	D359889	JOSHUA K BEHZAD	2032.81
D359890	EVAN S BERSFORD	2851.21	D359891	TROY F BOWMAN	3443.48
D359892	JEFFREY A BROWN	3522.04	D359893	JOHN CASACCIA II	3701.11
D359894	JUAN C CENTENO	3315.10	D359895	JEROME L CHEATHAM	2670.49
D359896	HAN J CHO	2913.71	D359897	BRIAN M CLASBY JR	6121.85
D359898	JULIO C CORTEZ	4680.43	D359899	JUAN L DELGADO JR	3550.85
D359900	KEVIN DINH	2953.41	D359901	OTTO J ESCALANTE	4690.60
D359902	JOSHUA N ESCOBEDO	3299.56	D359903	MICHELLE N ESTRADA-MONSA	2372.59
D359904	GEORGE R FIGUEREDO	1389.01	D359905	BRIAN C GIRGENTI	2977.11
D359906	SEAN M GLEASON	5121.15	D359907	KYLE N HALEY	2947.32
D359908	EFRAIN A JIMENEZ JR	2259.20	D359909	CODY M JOHNSON	2111.34
D359910	ROBERT J KIVLER	3431.03	D359911	ARION J KNIGHT	2850.98
D359912	PETER M KUNKEL	3300.75	D359913	RAPHAEL M LEE	535.79
D359914	ERICK LEVVA	3653.12	D359915	RAFAEL LOERA JR	2227.45
D359916	JESSE A LUCATERO	4868.88	D359917	ROBERTO MACHUCA	4466.31
D359918	TAYLOR A MACY	2608.70	D359919	GIANLUCA F MANIACI	2204.95
D359920	NATHAN D MORTON	2898.18	D359921	PATRICK W MURPHY	2467.65
D359922	PATRICK J MUSCHETTO	1954.74	D359923	JEFFREY C NGUYEN	2914.84
D359924	JOSHUA T OLIVO	3583.35	D359925	STEVEN TRUJILLO ORTIZ	5301.80
D359926	OMAR F PEREZ	2144.51	D359927	LUIS A QUIROZ	2947.32
D359928	DANIEL RODRIGUEZ	2386.34	D359929	ERIC T RUZIECKI	3203.89
D359930	SEAN M SALAZAR	2691.04	D359931	ROBERT M STEPHENSON III	3670.08
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D359934	RYAN V BUSTILLOS	2683.26	D359935	THOMAS A CAPPS	2684.01
D359936	MICHAEL K ELHAMI	3069.75	D359937	AUSTIN C LAVERTY	3345.84
D359938	DANNY J MIHALIK	3362.07	D359939	JASON M MURO	3195.40
D359940	RON A REYES	3521.37	D359941	ROCKY F RUBALCABA	3112.57
D359942	LINO G SANTANA	4335.74	D359943	CHRISTOPHER M EARLE	5918.32
D359944	BENJAMIN M ELIZONDO	2725.83	D359945	KRISTOFER D KELLEY	3748.27

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D359946	NICHOLAS A LAZENBY	2942.20	D359947	CHARLES H LOFFLER	4197.44
D359948	BRADLEY A LOWEN	2396.87	D359949	LUIS F RAMIREZ	3124.17
D359950	RYAN R RICHMOND	4360.76	D359951	GAREY D STAAL	3222.19
D359952	AARON J COOPMAN	3166.56	D359953	MICHAEL E GERDIN	5108.39
D359954	DONALD J HUTCHINS	3233.33	D359955	JASON L JOHNSON	2458.06
D359956	RYAN M LUX	3033.53	D359957	RAUL MURILLO JR	3984.77
D359958	COURTNEY P ALLISON	2614.44	D359959	LISA A BELTHIUS	278.61
D359960	RANDY G CHUNG	195.79	D359961	ADAM B COUGHRAN	247.17
D359962	CHRISTOPHER C DOVEAS	532.38	D359963	DANIEL S EDWARDS	855.36
D359964	EDUARDO C LEIVA	5307.66	D359965	JOHN O OJEISEKHOB	116.09
D359966	JOSEPH D VARGAS	261.74	D359967	CARL J WHITNEY	4770.66
D359968	ANDREW N BUI	446.74	D359969	TANNER C DE PADUA	389.51
D359970	JOSEPH A GARCIA	264.41	D359971	SERGIO J JIMENEZ TAVAREZ	430.71
D359972	KENTON TRAN	333.52	D359973	CALEB I VAUGHN	316.52
D359974	TYLER D VU	459.11	D359975	FRANCISCO AVALOS JR	1776.29
D359976	KAREN D BRAME	1256.55	D359977	KENNETH L CHISM	2012.31
D359978	DARRYL B CORTEZ JR.	1736.13	D359979	PAUL E DANIELSON	660.80
D359980	TAYLOR M DUARTE	1728.66	D359981	ANDREW N EARP	1861.57
D359982	KORY C FERRIN	3582.99	D359983	JAMES D FISCHER	662.33
D359984	VICTORIA M FOSTER	1633.95	D359985	THI A HUYNH	5579.12
D359986	CHAD B KIM	1841.62	D359987	KENNETH E MERRILL	390.35
D359988	MICHAEL A MOSER	1648.30	D359989	EMMANUEL PEREZ	1395.69
D359990	DOUGLAS A PUJARD	3703.74	D359991	JOSEPH A T PURSLEY	1938.07
D359992	ALFREDO SALGADO JR.	1728.66	D359993	LEVI JOENIEL SILVA	1822.49
D359994	SAMUEL K TOMA	1734.20	D359995	DON Q TRAN	1728.66
D359996	TUONG-VAN NGUYEN VU	1680.27	D359997	RICHARD O BURILLO	4910.20
D359998	FLOR DE LIS ELIZONDO	1279.48	D359999	PATRICIA C FLINN	2492.19
D360000	RAQUEL D MATA	622.42	D360001	REBECCA S MEEKS	2712.43
D360002	JONATHAN B WAINWRIGHT	2912.28	D360003	DAVID C YOUNG	7022.11
D360004	MARIA A ALCARAZ	1868.40	D360005	MARIA S ATWOOD	1947.98
D360006	BRITTANEE N BRANTNER	1617.84	D360007	CARISSA L BRUNICK	1765.48
D360008	TAMMY L CHAURAN-HAIGROV	2076.39	D360009	RUSSELL B DRISCOLL	1826.42
D360010	VERONICA FRUTOS	1304.08	D360011	DAVID L GEORGE	1973.24
D360012	PINKY C HINGCO	2216.58	D360013	DANNY G JUAREZ	1435.93
D360014	SHELBY KEUTLIAN	1638.96	D360015	ANGELA LEDESMA	1858.68
D360016	LINDALINH THU LY	1532.02	D360017	MARIA C MCFARLANE	2224.13
D360018	DAWN M MONTVOYA	1795.90	D360019	TRINA T NGUYEN	1625.38
D360020	JENNIFER V ROMBOUGH	2657.67	D360021	KIMBRA S VELLANOWETH	2551.83
D360022	CRYSTAL L WEYKER	1805.98	D360023	DUO XU	799.62
D360024	SHANNON M YELENSKY	1719.14	D360025	JENNIFER A DIX	2372.53
D360026	KATHERINE M FRANCISCO	1373.91	D360027	AMANDA B GARNER	2164.60
D360028	ARCHIE GUZMAN	2575.37	D360029	LAUREN M LADD	1858.47
D360030	ROBERT D LUX	2157.02	D360031	MELISSA MENDOZA-CAMPOS	1921.20
D360032	BRANDY J PARK	2476.09	D360033	CRISTINA V PAYAN	2268.69
D360034	JENNIFER M RODRIGUEZ	2596.65	D360035	TANYA L SAMOFF	3182.06
D360036	SUSAN A I SEYMOUR	2286.11	D360037	NICOLE D SHORROW	3130.75
D360038	DANNY J SOSEBEE	32.89	D360039	MARSHA D SPELLMAN	2173.44
D360040	SPENCER T TRAN	2196.03	D360041	SANTA WARDLE	1730.72

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D360042	CHERYL L WHITNEY	1648.48	D360043	CLAUDIA ALARCON	2967.18
D360044	DANIEL A CAMARA	2450.27	D360045	BRIAN D DALTON	2367.37
D360046	NICHOLAS A DE ALMEIDA LO	2558.10	D360047	RICHARD E DESBIENS	2035.71
D360048	JAMES D FRANKS	2440.55	D360049	PETE GARCIA	2283.26
D360050	ROBERT J GIFFORD	3166.01	D360051	STEVEN H HEINE	1330.92
D360052	JOSE D HERRERA	3156.79	D360053	WILLIAM T HOLLOWAY	4410.43
D360054	MICHAEL J JENSEN	2969.77	D360055	GERALD F JORDAN	3333.40
D360056	PATRICK R JULIENNE	7292.55	D360057	JOSEPH L KOLANO	2341.87
D360058	LEA K KOVACS	4021.67	D360059	DEREK M LINK	3130.59
D360060	DAVID LOPEZ	2449.45	D360061	STEVEN W LUKAS	1500.57
D360062	MATTHEW P MARCHAND	2844.11	D360063	MARIO MARTINEZ JR	8061.99
D360064	ADAM C NIKOLIC	3484.40	D360065	LUIS A PAYAN	5814.49
D360066	TERRA M RAMIREZ	2071.01	D360067	CHRISTIN E ROGERS	2834.66
D360068	CHRISTOPHER M SHELIGREN	4825.95	D360069	BRIAN T STROUD	3397.15
D360070	PAUL M TESSIER	2784.74	D360071	DENNIS WARDLE	2482.34
D360072	ADAM D ZMIJA	3601.23	D360073	RONALD A DOSCHER	1403.34
D360074	ERIC A QUINTERO	2178.72	D360075	JANNA K BRADLEY	2502.09
D360076	MARY C CERDA	1972.41	D360077	BRANDI M HART	429.65
D360078	LIANE Y KWAN	3207.66	D360079	JANY H LEE	3543.02
D360080	ZENIA M LOPEZ	1532.14	D360081	SHERRILL A MEAD	2227.56
D360082	STEPHANIE E RICHARDS	1851.14	D360083	CAITLYN M STEPHENSON	1792.87
D360084	LAURA J STOVER	5338.69	D360085	ANNA L GOLD	1707.67
D360086	KATRENA J SCHULZE	493.03	D360087	MATTHEW T SWANSON	1710.04
D360088	ANTHONY VALENZUELA	1413.63	D360089	CANDY G WILDER	1840.33
D360090	STEVEN F ANDREWS	2256.97	D360091	TERENCE S CHANG	2320.06
D360092	VERNA L ESPINOZA	1864.80	D360093	CESAR GALLO	2552.46
D360094	ERNIE E HINGCO	1664.77	D360095	GEOFFREY A KLOESS	3383.92
D360096	RACHOT MORAGRAAN	3477.68	D360097	NOEL J PROFFITT	3128.34
D360098	ANAND V RAO	4039.28	D360099	JOSEPH M SCHWARTZ	2756.12
D360100	ROD T VICTORIA	2046.44	D360101	TERREL KEITH WINSTON	3444.99
D360102	POLICE ASSN	16003.28	W2662	GREAT WEST LIFE 457 #340	108734.52
W2663	GREAT WEST LIFE OBRA#340	1862.21	W2664	INTERNAL REVENUE SERVICE	304165.68
W2665	EMPLOYMENT DEVELOPMENT D	90237.29			

\*\*\*\* PAGE TOTAL = 689139.81

TOTAL CHECK PAYMENTS	28	42,361.81
TOTAL DIRECT DEPOSITS	609	1,404,697.99
TOTAL WIRE PAYMENTS	4	504,999.70
	...	.....
GRAND TOTAL PAYMENTS	641	1,952,059.50

Checks #183867 thru #183894, and Direct Deposits #D359494 thru #D360102, and wire #W2662 thru #W2665 presented in the Payroll Register submitted to the Garden Grove City Council 28 JAN 2020, have been audited for accuracy and funds are available for payment thereof.

  
 PATRICIA SONG - FINANCE DIRECTOR

**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To:	Scott C. Stiles	From:	Patricia Song
Dept.:	City Manager	Dept.:	Finance
Subject:	Adoption of a Resolution establishing a Fireworks Stand Permit application fee. (Action Item)		
		Date:	1/28/2020

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**OBJECTIVE**

For the City Council to adopt the attached Resolution establishing the City of Garden Grove Fireworks Stand Permit Fee.

**BACKGROUND**

On November 26, 2019, the City Council of the City of Garden Grove adopted Ordinance No. 2911 amending regulations pertaining to the permitting and operation of fireworks and temporary fireworks stand permits. Pursuant to these regulations, any qualified organization wishing to operate a temporary fireworks stand within the city is required to submit an application for a permit for review by the Finance Director or his/her designee, along with of a permit fee in an amount established by City Council resolution. The purpose of the permit fee is to recover the City's costs associated with the review, processing, and evaluation of applications for a temporary fireworks stand permit.

**DISCUSSION**

The Finance Department analyzed the administrative process and calculated the total cost for processing a fireworks stand permit to be \$1,420.00. The comprehensive process involves multiple steps, from meeting and corresponding with the requester, reviewing the application, validating the organization's eligibility, and processing the business license, to coordinating safety meetings and a logistics meeting with other parties such as the Orange County Fire Authority. The administrative process is designed to ensure the City performs its due diligence to provide all necessary safety measures, and ultimately issues a permit to qualified applicants. Prior to Ordinance No. 2911, the fireworks stand permit fee was set at \$500 by the City's municipal code. To reduce the financial impact on the vendors, and achieve partial cost recovery, staff recommends setting the fireworks stand permit fee at \$1,000, subject to future changes as determined necessary by the City Council.

The proposed fee is well within the fee range established by the adjacent cities, such as Westminster (\$1,145, plus a \$200 refundable clean-up deposit), Buena Park (\$1,000, plus a \$200 refundable clean-up deposit), and Villa Park (\$1,700). The importance of the City's Firework Stand Permit application administrative process entails ensuring the City is not issuing a permit to an organization that does not fall into the requirements of the Garden Grove Municipal Code Section 5.28.020, among others. Thorough checks and research is necessary to confirm the applicants have provided the required documentation, and have completed the application according to the City's code. The extensive administrative process ensures the City is allowing only valid, non-profit organizations, whose charitable activity primarily benefits the Garden Grove community, to operate a fireworks stand in our City.

#### FINANCIAL IMPACT

In 2019, the City issued 37 fireworks stand permits. It is estimated that the cost of issuing 37 permits in 2020 will be approximately \$52,540.00. With the proposed fee of \$1,000.00, \$37,000.00 will be recovered, achieving 70 percent cost recovery.

#### RECOMMENDATION

It is recommended that the City Council:

- Conduct a public hearing to receive testimony; and
- Adopt the attached Resolution establishing the City of Garden Grove Fireworks Stand Permit Fee.

#### ATTACHMENTS:

Description	Upload Date	Type	File Name
CC Resolution	1/24/2020	Resolution	1-28-20_CC-Fireworks_Permit_Application_Fee_Resolution_(1).pdf

GARDEN GROVE CITY COUNCIL

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDEN GROVE  
ESTABLISHING A TEMPORARY FIREWORKS STAND PERMIT APPLICATION FEE

WHEREAS, on November 26, 2019, the City Council of the City of Garden Grove adopted Ordinance No. 2911 amending regulations pertaining to the permitting and operation of fireworks and temporary fireworks stand permits;

WHEREAS, pursuant to these regulations, any qualified organization wishing to operate a temporary fireworks stand within the city is required to submit an application for a permit for review by the Finance Director or his/her designee, along the permit fee in an amount established by City Council resolution;

WHEREAS, the purpose of the permit fee is to recover the City's costs associated with the processing, review, and evaluation of applications for a temporary fireworks stand permit;

WHEREAS, City staff has conducted an evaluation to determine the estimated costs of processing, review, and evaluation of temporary fireworks stand applications and estimates the reasonable costs to be no less than \$1,420.00 per application; and

WHEREAS, City Council conducted a noticed public hearing regarding the Temporary Fireworks Stand Permit application fee prior to adoption of this Resolution.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Garden Grove does hereby resolves, determines, and finds as follows:

SECTION 1. A fee of \$1,000.00 shall be charged per temporary fireworks stand permit application submitted pursuant to Garden Grove Municipal Code Sections 5.28.030 and 5.28.040.

SECTION 2. Be it further resolved that in order to provide the public an easy-to-understand schedule of fees, the City Clerk is directed to compile and make available upon request an updated schedule of fees and charges for City services that combines: (1) the list of previously-established service fees and charges that are not addressed by this Resolution, with (2) the fee and charge hereto this Resolution. The combined list is for public information purposes, and clerical or other errors or omissions in the preparation of the list shall not have the effect of increasing, decreasing, invalidating, or waiving adopted fees or charges.

SECTION 3. This Resolution shall take effect immediately upon its adoption.

**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To:	Scott C. Stiles	From:	Lisa L. Kim
Dept.:	City Manager	Dept.:	Community and Economic Development
Subject:	Adoption of a Resolution adopting a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for an Industrial Warehouse Improvement Project at 12821 Knott Street, which includes the vacated southerly portion of Brady Way that fronts the westerly property line; and the introduction and first reading of an Ordinance		
		Date:	1/28/2020

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**OBJECTIVE**

To transmit a recommendation from the Planning Commission to the City Council to approve the land use actions necessary to effectuate approval of an industrial warehouse improvement project to construct the 45,335 square foot one-story addition of industrial space to the existing 119,836 square foot industrial building, along with associated site improvements, on a 7.97-acre lot located at 12821 Knott Street, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site. Specifically, the City Council is requested to take the following actions: (i) to adopt a Resolution adopting a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the project; and (ii) to introduce and conduct the first reading of an Ordinance approving Planned Unit Development No. PUD-104-70 (REV. 2019) to amend the City's official Zoning Map to change the zoning of the project site to PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, and to extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning.

**BACKGROUND**

The subject site is an existing 6.97-acre Industrial Planned Unit Development (PUD)

located on the northwest corner of Knott Street and Acacia Avenue. Currently, the site is improved with an existing industrial building that is approximately 119,836 square feet in area and is currently vacant. The building was previously occupied by Next Level Sports Complex, which operated an indoor sports facility. The indoor sports facility closed its operation in 2018.

Since the closure of the prior indoor sports facility, the subject property was sold to, and acquired by, the applicant/property owner, Rexford Industrial. The applicant proposes to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building.

Shortly after acquiring the subject property, Rexford Industrial contacted the City to inquire about acquiring the Brady Way cul-de-sac, which due to the dead end at the 22 Freeway, was not utilized except for access to the subject property and vandals that used it for illegal dumping and other illegal activities. Acquisition of the cul-de-sac would facilitate expansion of the industrial building and installation of a fence to keep vandals out of the property. City staff and adjacent property owners supported vacation of the cul-de-sac for disposition to Rexford. On August 15, 2019, the City of Garden Grove approved a General Plan Consistency Determination for Street Vacation No. SV-001-2019, determining that the contemplated vacation of the southern portion of Brady Way, south of Stanford Avenue, and disposition of the vacated street is consistent with the General Plan. Subsequently, on September 24, 2019, the City of Garden Grove approved Street Vacation No. SV-001-2019 ordering vacation and abandonment of the southern portion of Brady Way, south of Stanford Avenue, and reserving thereon a public service easement for existing public utility facilities. The intent of the street vacation was to expand the usable area of the site to facilitate the expansion of the existing industrial building, to accommodate new landscaping, on-site vehicular maneuvering, and parking. The City Council approved a purchase and sale agreement for the disposition of the vacated portion of Brady Way to Rexford Industrial at its November 26, 2019, meeting.

The applicant, Rexford Industrial, has requested the City take various land use actions necessary for it to facilitate an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space, along with associated site improvements. On December 5, 2019, the Planning Commission held a public hearing to consider Planned Unit Development No. PUD-104-70 (REV. 2019) and Site Plan No. SP-079-2019 for approval of an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space, along with associated site improvements. One (1) speaker from the public came forward to speak in favor of the project, but also noted potential concerns with noise. By a vote of 7-0, the Planning Commission adopted Resolutions (5973-19 and 5974-19) to approve SP-079-2019, and to recommend that the City Council adopt a Mitigated Negative Declaration and a Mitigation Monitoring and Reporting Program for the project, and to approve PUD-104-70 (REV. 2019). The approval of SP-079-2019, along with the related Conditions of Approval, are contingent upon City Council's adoption of the Mitigated Negative Declaration and a Mitigation Monitoring and Reporting Program for the Project and approval of Planned Unit Development

No. PUD-104-70 (REV. 2019) to amend the City's official Zoning Map to change the zoning of the project site to PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, and to extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning.

## DISCUSSION

### Project Summary

The project site ("site") also includes that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject property. Including the now vacated portion of Brady Way increases the overall site/developable area to 347,385 square feet (7.97 acres).

The site will maintain and utilize two (2) existing driveway approaches off of Knott Street. All regular vehicular access for ingress and egress to and from the site will occur only from these two (2) driveway approaches off of Knott Street. There will be no regular vehicular access from Brady Way. The northwest corner of the site (the terminus of the Brady Way public street) will include an emergency only vehicular access gate, which will remain closed/locked. Said vehicular access gate will be fitted with a Knox box only for emergency (i.e., Orange County Fire Authority) access.

The site is currently improved with an existing 99,836 square foot one-story industrial warehouse building, which includes an attached 20,000 square foot two-story office building. The Project proposes a 45,335 square foot one-story industrial warehouse building addition attached to the north side of the existing industrial warehouse building. The new gross floor area of the building will be 165,171 square feet. The new building addition will maintain setbacks of 54'-10" to the northerly property line, between 125'-0" to 150'-0" to the residential property lines to the west (the west side of the vacated Brady Way street), and at least 66'-9" to the easterly property line, facing Knott Street.

To accommodate the new building addition, the site plan layout has been modified to provide adequate vehicular access (for standard motor vehicles and larger truck/commercial vehicles) with new drive aisles, parking spaces, ADA (Americans with Disabilities Act) compliant parking and handicap loading areas, electric vehicle charging parking stations/stalls, and new landscape installations.

The southern end of the now vacated Brady Way street included a cul-de-sac area with existing under-ground and above-ground utilities and associated access easements. The Project will not be impacted by the existing utilities, and will maintain all existing access easements. The southern portion of Brady Way, which is now vacated, is not needed for public access or use. The existing cul-de-sac area has historically been commonplace for criminal and other nefarious activities, as well as dumping. Through the vacation of the public street (Brady Way), and incorporation of this cul-de-sac area into the project site, the applicant anticipates that these prior issues will no longer occur. This "cul-de-sac" area will now be within



the confines of the project site, with adequate parking lot lighting and on-site monitoring.

Based on Municipal Code parking requirements for industrial uses, the site is required to maintain a minimum of 166 parking spaces. The site will maintain a total of 168 parking spaces on-site, which is a surplus of two (2) parking spaces. Therefore, the Project complies with parking requirements of the Municipal Code.

As part of the Transportation Section of the Initial Study report prepared for the Mitigated Negative Declaration for the Project, the traffic impact analysis, which was conducted and prepared by a licensed traffic engineering firm, evaluated trip generation, and potential impacts to nearby key intersections in the surrounding roadway system. Based on the results of the traffic impact analysis, the proposed warehouse improvement project would not significantly impact any of the key intersections analyzed in the surrounding roadway system. The analysis methodology is based on the City of Garden Grove's traffic study criteria. Intersection operating conditions are defined in terms of "Level of Service" (LOS), a grading scale used to represent the quality of traffic flow at an intersection. Level of Service ranges from LOS "A," representing free-flow conditions, to LOS "F," which indicates failing or severely congested traffic flow. The City of Garden Grove recognizes LOS "D" as the minimum satisfactory Level of Service during peak hour conditions. All nearby study intersections will continue to operate at acceptable levels of service (i.e., within the range of acceptable thresholds of LOS A through LOS D) during AM and PM peak hours, while the intersection of Knott Street and Garden Grove Boulevard will continue to operate at a deficient level of service (LOS F) during AM peak hours. A traffic study would typically be required by the City if the trip generation for a project was projected to increase by more than 50 trips during peak times. The trip generation rates in the report were based on the nationally referenced rates from the Institute of Transportation Engineers' (ITE) Trip Generation (10th Edition) – commonly referred to as the "ITE Manual". The analyses of the report found that the projected trip generation would be 36 trips during the AM peak hour and 42 trips during the PM peak hour. It should be noted that the site, prior to the Next Level Sports Complex indoor sports facility, had previously operated as an industrial warehouse, which is like-kind to the proposed operation/use as an industrial warehouse. The traffic impact analysis determined that the project's off-site traffic impact would not be considered significant at any of the study intersections. Therefore, no off-site intersection mitigation measures were deemed necessary for the development of the proposed Project. The City's Traffic Engineering Division reviewed the Initial Study's traffic impact analysis and concurred with the report's findings.

#### Planned Unit Development No. PUD-010-2019:

The existing Planned Unit Development (PUD) currently encompasses the subject property, 12821 Knott Street (APN: 215-014-01). Approval of a revision to the existing PUD (PUD-104-70) is necessary to change the zoning of the project site to PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning, and to extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, to facilitate the

expansion of the existing 119,836 square foot industrial building. If PUD-104-70 (REV. 2019) is approved, the site, along with the vacated portion of Brady Way, would have a zoning designation of Industrial Planned Unit Development zoning, PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning. Also necessary is the approval of a Site Plan to allow the construction of the proposed 45,335 square foot industrial building addition to the existing 119,836 square foot industrial building, along with associated site improvements.

Planned Unit Development No. PUD-104-70 (REV. 2019) would permit the development of the property, thereby facilitating the expansion of the existing industrial building, in accordance with the proposed Site Plan (SP-079-2019) for the Project.

#### Environmental Review:

In conjunction with the proposed Project, the City (through an environmental consultant) has prepared an Initial Study report and Mitigated Negative Declaration ("IS/MND") in accordance with the California Environmental Quality Act ("CEQA") analyzing the potential environmental impacts of the proposed industrial warehouse improvement project. In accordance with CEQA Guidelines, the City made the IS/MND available for public review and comment prior to the meeting. The IS/MND concludes that the proposed Project will have no, or a less than significant, impact on all relevant environmental factors, provided specified mitigation measures are incorporated, as per the Mitigation Monitoring and Reporting Program ("MMRP"). The mitigation measures are included within the MMRP. The applicant will be required to coordinate with an environmental consultant to implement the mitigation measures in the MMRP, as identified in the Mitigated Negative Declaration, and shall provide updates about the implementation process to the Community and Economic Development Department until completion of the project. The Planning Commission has adopted a Resolution recommending that the Garden Grove City Council adopt a Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program for the Project.

#### FINANCIAL IMPACT

None.

#### RECOMMENDATION

It is recommended that the City Council:

- Conduct a Public Hearing;
- Adopt a Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program for the Project;
- Introduce and conduct the first reading of an Ordinance approving Planned Unit Development No. PUD-104-70 (REV. 2019) to amend the City's official Zoning Map to change the zoning of the project site to PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, and to extend and cover the

now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning.

By: Chris Chung, Urban Planner

**ATTACHMENTS:**

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>	<b>File Name</b>
Planning Commission Staff Report dated December 5, 2019	12/17/2019	Backup Material	Planning_Commission_Staff_Report_dated_December_5__2019.DOCX
Planning Commission Resolution No. 5973-19	12/17/2019	Backup Material	Planning_Commission_Resolution_No._5973-19.DOC
Planning Commission Resolution No. 5974-19	12/17/2019	Backup Material	Planning_Commission_Resolution_No._5974-19.DOC
Exhibit "A" Conditions of Approval for Site Plan No. SP 079 2019	12/17/2019	Backup Material	Exhibit_"A"_Conditions_of_Approval_for_Site_Plan_No._SP-079-2019.DOC
Planning Commission Minute Excerpt of December 5, 2019	12/17/2019	Backup Material	Planning_Commission_Minute_Excerpt_of_December_5__2019.docx
Draft City Council Resolution for the adoption of a Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program for the Project	12/17/2019	Resolution	Draft_City_Council_Resolution_MND_and_MMRP.doc
CC Ordinance	1/24/2020	Ordinance	1-28-20_CC_Draft_City_Council_Ordinance_PUD-104-70_(REV._2019).doc
Exhibit for Amendment to City of Garden Grove Zoning Map Initial	12/17/2019	Exhibit	Exhibit_for_Amendment_to_City_of_Garden_Grove_Zoning_Map.pdf

Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program	12/17/2019	Backup Material	ISMND_and_MMRP.pdf
Initial Study/Mitigated Negative Declaration Appendices	12/17/2019	Backup Material	ISMND_and_MMRP_Appendices.pdf
12821 Knott St (Rexford Industrial) - Architectural Plans	12/17/2019	Backup Material	12821_Knott_St_(Rexford_Industrial)_-_Architectural_Plans.pdf
12821 Knott St (Rexford Industrial) - Landscape Plans	12/17/2019	Backup Material	12821_Knott_St_(Rexford_Industrial)_-_Landscape_Plans.pdf
12821 Knott St (Rexford Industrial) - Lighting Plan	12/17/2019	Backup Material	12821_Knott_St_(Rexford_Industrial)_-_Lighting_Plan.pdf

# COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT PLANNING STAFF REPORT

<b>AGENDA ITEM NO.:</b> <b>D.2.</b>	<b>SITE LOCATION:</b> Northwest corner of Knott Street and Acacia Avenue, at 12821 Knott Street, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site
<b>HEARING DATE:</b> December 5, 2019	<b>GENERAL PLAN:</b> Industrial/Commercial Mixed Use
<b>CASE NOS.:</b> Planned Unit Development No. PUD-104-70 (REV. 2019) & Site Plan No. SP-079-2019	<b>EXISTING ZONE:</b> PUD-104-70 <b>PROPOSED ZONE:</b> PUD-104-70 (REV. 2019)
<b>APPLICANT:</b> Rexford Industrial Realty, L.P.	<b>APN:</b> 215-014-01
<b>PROPERTY OWNER:</b> Same as Applicant	<b>CEQA DETERMINATION:</b> Mitigated Negative Declaration

## **REQUEST:**

A request to amend Planned Unit Development No. PUD-104-70 to facilitate an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space. Also, a request for Site Plan approval to construct the 45,335 square foot one-story addition of industrial space to the existing 119,836 square foot industrial building, along with associated site improvements.

## **BACKGROUND:**

The subject site is an existing 6.97-acre Industrial Planned Unit Development (PUD) located on the northwest corner of Knott Street and Acacia Avenue. The site has a General Plan Land Use Designation of Industrial/Commercial Mixed Use and is zoned PUD-104-70 (Planned Unit Development). Currently, the site is improved with an existing industrial building that is approximately 119,836 square feet in area and is currently vacant. The building was previously occupied by Next Level Sports Complex, which operated an indoor sports facility. The indoor sports facility closed its operation in 2018.

The subject site abuts: a Planned Unit Development (PUD), in operation as a wedding chapel facility, to the north; a professional office PUD and the Garden Grove (22) Freeway on-ramp to the south; R-1 (Single-Family Residential) zoned properties

developed with single-family residences, to the west; and M-P (Industrial Park) zoned properties developed with industrial buildings, across Knott Street, to the east.

In 1970, the City of Garden Grove approved Planned Unit Development No. PUD-104-70 to allow the construction of professional office, general commercial, and industrial uses on the subject property, including the abutting property to the north, 12777 Knott Street (Assessor's Parcel No. 215-014-02). The approved project included two (2) phases: Phase I, which included the industrial building on the subject site, 12821 Knott Street; and Phase II, which included the commercial and office buildings. Only the industrial building (Phase I) of the approved PUD was constructed. In 1996, the City of Garden Grove approved Planned Unit Development No. PUD-105-96, to allow a banquet/reception hall with ancillary chapel use, on the property to the north, 12777 Knott Street (originally approved as Phase II of PUD-104-70).

On December 13, 2011, the City of Garden Grove approved Amendment No. A-164-11 to allow "indoor sports facility" as a permitted use in the PUD-104-70 zone, subject to Conditional Use Permit approval. The City also concurrently approved Conditional Use Permit No. CUP-340-11 to allow the operation of a new indoor sports facility, Next Level Sports Complex.

Within the parking lot, near the southeast corner of the site, is an existing fifty-foot (50') tall pole sign originally utilized by the previous on-site electronics retail business, Radioshack. On September 19, 2013, the City of Garden Grove Planning Commission voted 6-0 to adopt, without prejudice, Resolution of Denial No. 5710-13 to deny Amendment No. A-171-13, which was a request to amend the Planned Unit Development No. PUD-104-70 zone to allow the applicant to retrofit the existing, legal fifty-foot (50') tall pole sign (double-sided with an existing sign area of 190 square feet), with a new electronic billboard sign (double-sided with a total proposed sign area of 582 square feet), which was proposed to function as a billboard, displaying both on-premise and off-premise advertising. The primary concerns expressed by the Planning Commission at the time of consideration were related to the large size of the proposed electronic billboard sign as well as the use of it as a billboard in order to display on-premise *and* off-premise advertisements. The Garden Grove Municipal Code generally prohibits the establishment of new billboards in the City (i.e., those used for off-premise advertisements).

On May 27, 2014, the City of Garden Grove approved PUD-104-70 (REV. 2014), and adopted Ordinance No. 2839, which approved an amendment to the PUD-104-70 zone to allow a 59'-0" tall freeway-oriented electronic reader board sign, subject to Conditional Use Permit approval. In conjunction with the approval of PUD-104-70 (REV. 2014), the City also approved Conditional Use Permit No. CUP-379-14, which allowed the applicant to retrofit the existing, legal fifty-foot (50') tall pole sign, with a new freeway-oriented sign with an electronic reader board that would display on-premise advertisements. Pursuant to Municipal Code Section 9.32.160, Expiration of Granted Land Use Actions, it states, "Unless a time extension is granted in accordance with Section 9.24.030, any discretionary action becomes null and void if

not exercised within the time specified in the approval of the discretionary action or, if no date is specified, within *one* year from the date of approval of such discretionary action. Following the approval of CUP-379-14, the applicant had one (1) year to exercise said approval before the land use entitlement would expire. Due to financial reasons, the applicant was not able to move forward on the sign project and the approval of CUP-379-14 expired.

On July 19, 2018, the City of Garden Grove approved Conditional Use Permit No. CUP-129-2018, reinstating the approval of CUP-379-14, to demolish an existing fifty-foot (50'-0") tall pole sign, and to construct a new fifty-nine foot (59'-0") tall, V-shaped, freeway-oriented electronic reader board sign (for on-premise advertisements), adjacent to and facing the Garden Grove Freeway (SR-22), for an existing indoor sports facility, Next Level Sports Complex, located at 12821 Knott Street. The approval of CUP-129-2018 stipulated that the approval authorized the erection, maintenance, and operation of a freeway-oriented electronic reader board sign associated with a permitted Indoor Sports Facility in accordance with Planned Unit Development No. PUD-104-70 (REV. 2014), the plans and elevations presented to the Planning Commission, and the associated Conditions of Approval. Conditional Use Permit No. CUP-129-2018 was never exercised thereby expiring and the indoor sports facility use had ceased in 2018.

Since the closure of the prior indoor sports facility, the subject property was sold to, and acquired by, the applicant/property owner, Rexford Industrial. The applicant proposes to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building.

Shortly after acquiring the subject property, Rexford Industrial contacted the City to inquire about acquiring the Brady Way cul-de-sac, which due to the dead end at the 22 Freeway, was not utilized except for access to the subject property and vandals that used it for illegal dumping and other illegal activities. Acquisition of the cul-de-sac would facilitate expansion of the industrial building and installation of a fence to keep vandals out of the property. City staff and adjacent property owners supported vacation of the cul-de-sac for disposition to Rexford. On August 15, 2019, the City of Garden Grove approved a General Plan Consistency Determination for Street Vacation No. SV-001-2019, determining that the contemplated vacation of the southern portion of Brady Way, south of Stanford Avenue, and disposition of the vacated street is consistent with the General Plan. Subsequently, on September 24, 2019, the City of Garden Grove approved Street Vacation No. SV-001-2019 ordering vacation and abandonment of the southern portion of Brady Way, south of Stanford Avenue, and reserving thereon a public service easement for existing public utility facilities. The intent of the street vacation was to expand the usable area of the site to facilitate the expansion of the existing industrial building, to accommodate new landscaping, on-site vehicular maneuvering, and parking. The City Council approved a purchase and sale agreement for the disposition of the vacated portion of Brady Way to Rexford Industrial at its November 26, 2019 meeting.

**DISCUSSION:**

PLANNED UNIT DEVELOPMENT NO. PUD-104-70 (REV. 2019):

A Planned Unit Development (PUD) is a precise plan, adopted by City Council ordinance that provides the means for the regulation of buildings, structures and uses of land in order to facilitate the implementation of the General Plan. The Planned Unit Development (PUD) zoning designation establishes development standards and uses specific to a particular project provided that the quality of the project achieved through the PUD zoning is greater than could be achieved with traditional zoning. The specific development standards applicable to a Planned Unit Development are those set forth in the ordinance approving the PUD. Where a Planned Unit Development is silent regarding operating conditions, maintenance or other standards regulating a particular use, the Land Use Code standards applicable to the base zone (in this case, M-P, Industrial Park) apply.

The existing Planned Unit Development (PUD) currently encompasses the subject property, 12821 Knott Street (APN: 215-014-01). Approval of a revision to the existing PUD (PUD-104-70) is necessary to extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, to facilitate the expansion of the existing 119,836 square foot industrial building. If PUD-104-70 (REV. 2019) is approved, the site, along with the vacated portion of Brady Way, would have a zoning designation of Industrial Planned Unit Development zoning, PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning. Also necessary is the approval of a Site Plan to allow the construction of the proposed 45,335 square foot industrial building addition to the existing 119,836 square foot industrial building, along with associated site improvements. The Site Plan approval by the Planning Commission would be contingent upon the City Council's approval of the proposed revision to the Planned Unit Development along with the adoption of a Mitigated Negative Declaration and associated Mitigation Monitoring and Reporting Program ("MMRP").

Planned Unit Development No. PUD-104-70 (REV. 2019) would permit the development of the property, thereby facilitating the expansion of the existing industrial building, in accordance with the proposed Site Plan (SP-079-2019) for the Project.

**SITE PLAN:**

Site Design and Circulation

The subject property (12821 Knott Street, APN: 215-014-01) is 303,629 square feet (6.97 acres) in area. The project site ("site") also includes that southerly portion of Brady Way, which fronts along the westerly property line of the subject property. Including the now vacated portion of Brady Way increases the overall site/developable area to 347,385 square feet (7.97 acres).



The site will maintain and utilize two (2) existing driveway approaches off of Knott Street – 45-foot and 30-foot wide approaches. All regular vehicular access for ingress and egress to and from the site will occur only from these two (2) driveway approaches off of Knott Street. There will be no regular vehicular access from Brady Way. The northwest corner of the site (the terminus of the Brady Way public street) will include an emergency only vehicular access gate, which will remain closed/locked. Said vehicular access gate will be fitted with a Knox box only for emergency (i.e., Orange County Fire Authority) access.

The site is currently improved with an existing 99,836 square foot one-story industrial warehouse building, which includes an attached 20,000 square foot two-story office building. The Project proposes a 45,335 square foot one-story industrial warehouse building addition attached to the north side of the existing industrial warehouse building. The new gross floor area of the building will be 165,171 square feet. The new building addition will maintain setbacks of 54'-10" to the northerly property line, between 125'-0" to 150'-0" to the residential property lines to the west (the west side of the vacated Brady Way street), and at least 66'-9" to the easterly property line, facing Knott Street.

To accommodate the new building addition, the site plan layout has been modified to provide adequate vehicular access (for standard motor vehicles and larger truck/commercial vehicles) with new drive aisles, parking spaces, ADA (Americans with Disabilities Act) compliant parking and handicap loading areas, electric vehicle charging parking stations/stalls, and new landscape installations. The building is located in the center of the site, with parking spaces and drive aisles around the perimeter.

The southern end of the now vacated Brady Way street included a cul-de-sac area with existing under-ground and above-ground utilities and associated access easements. The Project will not be impacted by the existing utilities, and will maintain all existing access easements. The southern portion of Brady Way, which is now vacated, is not needed for public access or use. The existing cul-de-sac area has historically been commonplace for criminal and other nefarious activities, as well as dumping. Through the vacation of the public street (Brady Way), and incorporation of this cul-de-sac area into the project site, the applicant anticipates that these prior issues will no longer occur. This "cul-de-sac" area will now be within the confines of the project site, with adequate parking lot lighting and on-site monitoring.

Floor area ratio ("FAR") means the ratio between the area of gross building floor space and the area of the building site it occupies. The maximum allowable FAR (Floor Area Ratio) for the site is 0.50 (50% maximum). The total site area (including the vacated portion of Brady Way) is 347,385 square feet (7.97 acres). Based on the site area, the maximum FAR is 173,692.50 square feet. The proposed total building area of 165,171 square feet is compliant with and does not exceed the maximum allowable FAR.

### Parking and Traffic

Based on Municipal Code parking requirements for industrial uses (at a parking ratio of one (1) parking space per 1,000 square feet of gross floor area), the site shall maintain a minimum of 166 parking spaces. The existing parking lot/site plan layout has been modified to accommodate the new building addition. The site will maintain a total of 168 parking spaces on-site, which is a surplus of two (2) parking spaces. Therefore, the Project complies with parking requirements of the Municipal Code.

As part of the Transportation Section of the Initial Study report prepared for the Mitigated Negative Declaration for the Project, the traffic impact analysis, which was conducted and prepared by a licensed traffic engineering firm, evaluated trip generation, and potential impacts to nearby key intersections in the surrounding roadway system. Based on the results of the traffic impact analysis, the proposed warehouse improvement project would not significantly impact any of the key intersections analyzed in the surrounding roadway system. The analysis methodology is based on the City of Garden Grove's traffic study criteria. Intersection operating conditions are defined in terms of "Level of Service" (LOS), a grading scale used to represent the quality of traffic flow at an intersection. Level of Service ranges from LOS "A," representing free-flow conditions, to LOS "F," which indicates failing or severely congested traffic flow. The City of Garden Grove recognizes LOS "D" as the minimum satisfactory Level of Service during peak hour conditions. All nearby study intersections will continue to operate at acceptable levels of service (i.e., within the range of acceptable thresholds of LOS A through LOS D) during AM and PM peak hours, while the intersection of Knott Street and Garden Grove Boulevard will continue to operate at a deficient level of service (LOS F) during AM peak hours. A traffic study would typically be required by the City if the trip generation for a project was projected to increase by more than 50 trips during peak times. The trip generation rates in the report were based on the nationally referenced rates from the Institute of Transportation Engineers' (ITE) *Trip Generation* (10<sup>th</sup> Edition) – commonly referred to as the "ITE Manual". The analyses of the report found that the projected trip generation would be 36 trips during the AM peak hour and 42 trips during the PM peak hour. It should be noted that the site, prior to the Next Level Sports Complex indoor sports facility, had previously operated as an industrial warehouse, which is like-kind to the proposed operation/use as an industrial warehouse. The traffic impact analysis determined that the project's off-site traffic impact would not be considered significant at any of the study intersections. Therefore, no off-site intersection mitigation measures were deemed necessary for the development of the proposed Project. The City's Traffic Engineering Division reviewed the Initial Study's traffic impact analysis and concurred with the report's findings.

### Landscaping

The Project will include installation of new landscaping throughout the site, including all parking areas, as well as new landscaping along the westerly perimeter of the site, abutting the single-family developed properties to the west. A minimum of five

percent (5%) of the total site is required to be landscaped. The Project will include 32,008 square feet of new landscaping, which is 9.2% of the site. Therefore, the Project is in compliance with the landscape requirements of the Planned Unit Development.

The Project will include landscape and irrigation plans, which comply with the landscaping requirements of Title 9 of the Municipal Code, including the City's Landscape Water Efficiency Guidelines. Additionally, a sufficient landscape buffer will be provided within the 10'-0" wide landscape planter area along the westerly perimeter of the site facing the existing single-family developed properties to the west. The Planning Division will review the type and location of all proposed plant materials, including irrigation methods, to ensure compliance with state and local water efficient requirements.

#### Building Architecture

The existing building façade will be renovated and the building, including the new addition portion, will be architecturally modern, contemporary, and aesthetically pleasing. The building elevations will consist of varying finishes and colors and materials including spandrel glass, metal panels and siding, and smooth concrete walls.

#### Neighborhood Meeting:

On May 8, 2019, the applicant voluntarily held a neighborhood meeting at the industrial building on the subject site. The neighborhood meeting was held by the applicant to present the Project details, to garner feedback from the community attendees, and to answer any questions about the proposed Project. Nine (9) persons from the public were in attendance for the meeting. Questions and concerns raised by the attendees included, but were not limited to, the following topics: truck deliveries during night time hours; Brady Way utilizations for truck access; noise impacts from truck traffic; and where landscaping would be installed. In response to the various inquiries, the applicant stated, in part: that there will be no truck deliveries during night time hours; that all vehicular traffic will be off of Knott Street only; that no truck traffic will occur on Brady Way; that the vehicular access gate at the northwest corner off of Brady Way will be closed and locked and only for emergency access; that new landscape buffering will be installed within the 10'-0" wide planter area along the westerly perimeter of the site adjacent to the single-family developed properties to provide adequate sound and light buffering; that a wall between the subject site and the single-family home will be maintained at a height of six (6) feet; that any issues with loitering (i.e., by homeless) or dumping on-site will be handled expeditiously by Rexford Industrial.

#### California Environmental Quality Act (CEQA):

In conjunction with the proposed Project, the City (through an environmental consultant) has prepared an Initial Study report and Mitigated Negative Declaration

("IS/MND") in accordance with the California Environmental Quality Act ("CEQA") analyzing the potential environmental impacts of the proposed industrial warehouse improvement project. In accordance with CEQA Guidelines, the City made the IS/MND available for public review and comment prior to the meeting. The IS/MND concludes that the proposed Project will have no, or a less than significant, impact on all relevant environmental factors, provided specified mitigation measures are incorporated, as per the Mitigation Monitoring and Reporting Program ("MMRP"). The mitigation measures are included within the MMRP. The applicant will be required to coordinate with an environmental consultant to implement the mitigation measures in the MMRP, as identified in the Mitigated Negative Declaration, and shall provide updates about the implementation process to the Community and Economic Development Department until completion of the project.

**RECOMMENDATION:**

Staff recommends that the Planning Commission hold a public hearing and take the following actions:

1. Adopt the attached Resolution No. 5973-19 recommending that the Garden Grove City Council adopt a Mitigated Negative Declaration and the associated Mitigation Monitoring and Reporting Program, and approve Planned Unit Development No. PUD-104-70 (REV. 2019); and
2. Adopt the attached Resolution No. 5974-19 approving Site Plan No. SP-079-2019, subject to the recommended Conditions of Approval, and contingent upon Garden Grove City Council adoption of a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the Project, and adoption and effectiveness of an Ordinance approving Planned Unit Development No. PUD-104-70 (REV. 2019).

Lee Marino  
Planning Services Manager

By: Chris Chung  
Urban Planner

Attachment: Draft Initial Study/Mitigated Negative Declaration and  
Mitigation Monitoring and Reporting Program

## RESOLUTION NO. 5973-19

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE RECOMMENDING THAT THE CITY COUNCIL: (I) ADOPT A MITIGATED NEGATIVE DECLARATION AND AN ASSOCIATED MITIGATION MONITORING AND REPORTING PROGRAM FOR THE INDUSTRIAL WAREHOUSE IMPROVEMENT PROJECT; AND (II) APPROVE PLANNED UNIT DEVELOPMENT NO. PUD-104-70 (REV. 2019) FOR A PROPERTY LOCATED AT THE NORTHWEST CORNER OF KNOTT STREET AND ACACIA AVENUE, AT 12821 KNOTT STREET, ASSESSOR'S PARCEL NO. 215-014-01, INCLUDING THAT VACATED SOUTHERLY PORTION OF BRADY WAY, WHICH FRONTS ALONG THE WESTERLY PROPERTY LINE OF THE SUBJECT SITE.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on December 5, 2019, does hereby recommend that the City Council adopt a Mitigated Negative Declaration and associated Mitigation Monitoring and Reporting Program for the Industrial Warehouse Improvement Project and adopt an ordinance approving Planned Unit Development No. PUD-104-70 (REV. 2019), for land located on the northwest corner of Knott Street and Acacia Avenue, at 12821 Knott Street, Assessor's Parcel No. 215-014-01, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site.

BE IT FURTHER RESOLVED, FOUND, AND DETERMINED AS FOLLOWS:

1. The Planning Commission has considered the proposed Mitigated Negative Declaration together with comments received during the public review process.
2. The Planning Commission finds that the Mitigated Negative Declaration reflects the City's independent judgment and analysis.
3. The Planning Commission finds on the basis of the whole record before it, including the initial study and comments received, that there is no substantial evidence that the project, with the proposed mitigation measures, will have a significant effect on the environment.
4. The Planning Commission recommends that the City Council adopt the Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program.
5. The record of proceedings, on which the Planning Commission's decision is based, is located at the City of Garden Grove, 11222 Acacia Parkway, Garden Grove, California. The custodian of record of proceedings is the Director of Community and Economic Development.

BE IT FURTHER RESOLVED in the matter of Planned Unit Development No. PUD-104-70 (REV. 2019), the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Rexford Industrial Realty, L.P.
2. The applicant requests (a) that the City Council amend Planned Unit Development No. PUD-104-70 for a 6.97-acre lot, located at the northwest corner of Knott Street and Acacia Avenue, at 12821 Knott Street, Assessor's Parcel No. 215-014-01, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site, and is currently zoned PUD-104-70 to facilitate an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space; and (b) Planning Commission approval of Site Plan No. SP-079-2019 to construct the 45,335 square foot one-story addition of industrial space to the existing 119,836 square foot industrial building, along with associated site improvements (collectively, the "Project").
3. Pursuant to the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et. seq., and the CEQA guidelines, 14 California Code of Regulations Sec. 15000 et. seq., an initial study was prepared and it has been determined that the proposed Project qualifies for a Mitigated Negative Declaration because the proposed Project with implementation of the proposed mitigation measures cannot, or will not, have a significant effect on the environment. A Mitigation Monitoring and Reporting Program has been prepared and is attached to the Mitigated Negative Declaration listing the mitigation measures to be monitored during project implementation. The Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were prepared and circulated in accordance with CEQA and CEQA's implementing guidelines.
4. The property has a General Plan Land Use designation of Industrial/Commercial Mixed Use and is currently zoned PUD-104-70 (Planned Unit Development). The subject 6.97-acre lot is currently improved with an existing industrial building that is approximately 119,836 square feet in area and is currently vacant.
5. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
6. Report submitted by City staff was reviewed.
7. Pursuant to a legal notice, a public hearing was held on December 5, 2019, and all interested persons were given an opportunity to be heard.

8. The Planning Commission gave due and careful consideration to the matter during its meeting of December 5, 2019, and considered all oral and written testimony presented regarding the project, the initial study, and the Mitigated Negative Declaration.
9. Concurrently with its adoption of this Resolution (5973-19), the Planning Commission adopted Resolution No. 5974-19 approving Site Plan No. SP-079-2019, for land located on the northwest corner of Knott Street and Acacia Avenue, at 12821 Knott Street, Assessor's Parcel No. 215-014-01, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site, subject to (i) the Conditions of Approval attached hereto as "Exhibit A"; (ii) Garden Grove City Council adoption of a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the Project, and adoption and effectiveness of an Ordinance approving Planned Unit Development No. PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning. The facts and findings set forth in Resolution No. 5974-19 are hereby incorporated into this Resolution by reference.

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Sections 9.12.030.020 and 9.32.030, are as follows:

FACTS:

The subject site is an existing 6.97-acre Industrial Planned Unit Development (PUD) located on the northwest corner of Knott Street and Acacia Avenue. The site has a General Plan Land Use Designation of Industrial/Commercial Mixed Use and is zoned PUD-104-70 (Planned Unit Development). Currently, the site is improved with an existing industrial building that is approximately 119,836 square feet in area and is currently vacant. The building was previously occupied by Next Level Sports Complex, which operated an indoor sports facility. The indoor sports facility closed its operation in 2018.

The subject site abuts: a Planned Unit Development (PUD), in operation as a wedding chapel facility, to the north; a professional office PUD and the Garden Grove (22) Freeway on-ramp to the south; R-1 (Single-Family Residential) zoned properties developed with single-family residences, to the west; and M-P (Industrial Park) zoned properties developed with industrial buildings, across Knott Street, to the east.

In 1970, the City of Garden Grove approved Planned Unit Development No. PUD-104-70 to allow the construction of professional office, general commercial, and industrial uses on the subject property, including the abutting property to the north, 12777 Knott Street (Assessor's Parcel No. 215-014-02). The approved project included two (2) phases: Phase I, which included the industrial

building on the subject site, 12821 Knott Street; and Phase II, which included the commercial and office buildings. Only the industrial building (Phase I) of the approved PUD was constructed. In 1996, the City of Garden Grove approved Planned Unit Development No. PUD-105-96, to allow a banquet/reception hall with ancillary chapel use, on the property to the north, 12777 Knott Street (originally approved as Phase II of PUD-104-70).

On December 13, 2011, the City of Garden Grove approved Amendment No. A-164-11 to allow "indoor sports facility" as a permitted use in the PUD-104-70 zone, subject to Conditional Use Permit approval. The City also concurrently approved Conditional Use Permit No. CUP-340-11 to allow the operation of a new indoor sports facility, Next Level Sports Complex.

Within the parking lot, near the southeast corner of the site, is an existing fifty-foot (50') tall pole sign originally utilized by the previous on-site electronics retail business, Radioshack. On September 19, 2013, the City of Garden Grove Planning Commission voted 6-0 to adopt, without prejudice, Resolution of Denial No. 5710-13 to deny Amendment No. A-171-13, which was a request to amend the Planned Unit Development No. PUD-104-70 zone to allow the applicant to retrofit the existing, legal fifty-foot (50') tall pole sign (double-sided with an existing sign area of 190 square feet), with a new electronic billboard sign (double-sided with a total proposed sign area of 582 square feet), which was proposed to function as a billboard, displaying both on-premise and off-premise advertising. The primary concerns expressed by the Planning Commission at the time of consideration were related to the large size of the proposed electronic billboard sign as well as the use of it as a billboard in order to display on-premise *and* off-premise advertisements. The Garden Grove Municipal Code generally prohibits the establishment of new billboards in the City (i.e., those used for off-premise advertisements).

On May 27, 2014, the City of Garden Grove approved PUD-104-70 (REV. 2014), and adopted Ordinance No. 2839, which approved an amendment to the PUD-104-70 zone to allow a 59'-0" tall freeway-oriented electronic reader board sign, subject to Conditional Use Permit approval. In conjunction with the approval of PUD-104-70 (REV. 2014), the City also approved Conditional Use Permit No. CUP-379-14, which allowed the applicant to retrofit the existing, legal fifty-foot (50') tall pole sign, with a new freeway-oriented sign with an electronic reader board that would display on-premise advertisements. Pursuant to Municipal Code Section 9.32.160, Expiration of Granted Land Use Actions, it states, "Unless a time extension is granted in accordance with Section 9.24.030, any discretionary action becomes null and void if not exercised within the time specified in the approval of the discretionary action or, if no date is specified, within *one* year from the date of approval of such discretionary action. Following the approval of CUP-379-14, the applicant had one (1) year to exercise said approval before the land use entitlement would expire. Due to financial reasons, the applicant was not able to move forward on the sign project and the approval of CUP-379-14 expired.



On July 19, 2018, the City of Garden Grove approved Conditional Use Permit No. CUP-129-2018, reinstating the approval of CUP-379-14, to demolish an existing fifty-foot (50'-0") tall pole sign, and to construct a new fifty-nine foot (59'-0") tall, V-shaped, freeway-oriented electronic reader board sign (for on-premise advertisements), adjacent to and facing the Garden Grove Freeway (SR-22), for an existing indoor sports facility, Next Level Sports Complex, located at 12821 Knott Street. The approval of CUP-129-2018 stipulated that the approval authorized the erection, maintenance, and operation of a freeway-oriented electronic reader board sign associated with a permitted Indoor Sports Facility in accordance with Planned Unit Development No. PUD-104-70 (REV. 2014), the plans and elevations presented to the Planning Commission, and the associated Conditions of Approval. Conditional Use Permit No. CUP-129-2018 was never exercised thereby expiring and the indoor sports facility use had ceased in 2018.

Since the closure of the prior indoor sports facility, the subject property was sold to, and acquired by, the applicant/property owner, Rexford Industrial. The applicant proposes to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building.

Shortly after acquiring the subject property, Rexford Industrial contacted the City to inquire about acquiring the Brady Way cul-de-sac, which due to the dead end at the 22 Freeway, was not utilized except for access to the subject property and vandals that used it for illegal dumping and other illegal activities. Acquisition of the cul-de-sac would facilitate expansion of the industrial building and installation of a fence to keep vandals out of the property. City staff and adjacent property owners supported vacation of the cul-de-sac for disposition to Rexford. On August 15, 2019, the City of Garden Grove approved a General Plan Consistency Determination for Street Vacation No. SV-001-2019, determining that the contemplated vacation of the southern portion of Brady Way, south of Stanford Avenue, and disposition of the vacated street is consistent with the General Plan. Subsequently, on September 24, 2019, the City of Garden Grove approved Street Vacation No. SV-001-2019 ordering vacation and abandonment of the southern portion of Brady Way, south of Stanford Avenue, and reserving thereon a public service easement for existing public utility facilities. The intent of the street vacation was to expand the usable area of the site to facilitate the expansion of the existing industrial building, to accommodate new landscaping, on-site vehicular maneuvering, and parking. The City Council approved a purchase and sale agreement for the disposition of the vacated portion of Brady Way to Rexford Industrial at its November 26, 2019 meeting.

The existing Planned Unit Development (PUD) currently encompasses the subject property, 12821 Knott Street (APN: 215-014-01). Approval of a revision to the existing PUD (PUD-104-70) is necessary to extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the

westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, to facilitate the expansion of the existing 119,836 square foot industrial building. If PUD-104-70 (REV. 2019) is approved, the site, along with the vacated portion of Brady Way, would have a zoning designation of Industrial Planned Unit Development zoning, PUD-104-70 (REV. 2014), with M-P (Industrial Park) base zoning. Also necessary is the approval of a Site Plan to allow the construction of the proposed 45,335 square foot industrial building addition to the existing 119,836 square foot industrial building, along with associated site improvements. The Site Plan approval by the Planning Commission would be contingent upon the City Council's approval of the proposed revision to the Planned Unit Development along with the adoption of a Mitigated Negative Declaration and associated Mitigation Monitoring and Reporting Program ("MMRP").

The site is currently improved with an existing 99,836 square foot one-story industrial warehouse building, which includes an attached 20,000 square foot two-story office building. The Project proposes a 45,335 square foot one-story industrial warehouse building addition attached to the north side of the existing industrial warehouse building. The new gross floor area of the building will be 165,171 square feet. The total site area (including the vacated portion of Brady Way) is 347,385 square feet (7.97 acres). Based on the site area, the maximum allowable FAR is 173,692.50 square feet. The proposed total building area of 165,171 square feet is compliant with and does not exceed the maximum allowable FAR. The site will maintain a total of 168 parking spaces on-site, which is a surplus of two (2) parking spaces. The Project will include 32,008 square feet of new landscaping, which is 9.2% of the site.

The application to amend Planned Unit Development No. PUD-104-70 is being processed in conjunction with Site Plan No. SP-079-2019. If approved by the City Council, Planned Unit Development No. PUD-104-70 (REV. 2019) would permit the development of the property, thereby facilitating the expansion of the existing industrial building, in accordance with the proposed Site Plan (SP-079-2019) for the Project.

#### FINDINGS AND REASONS:

##### Planned Unit Development:

1. The location of the buildings, architectural design, and proposed use are compatible with the character of existing development in the vicinity, and the project will be well-integrated into its setting.

The subject 6.97-acre lot is located in an area that is adjacent to a Planned Unit Development (PUD), in operation as a wedding chapel facility, to the north; a professional office PUD and the Garden Grove (22) Freeway on-ramp to the south; R-1 (Single-Family Residential) zoned properties developed with single-family residences, to the west; and M-P (Industrial Park) zoned

properties developed with industrial buildings, across Knott Street, to the east. Planned Unit Development No. PUD-104-70 (REV. 2019) would permit the development of the property, thereby facilitating the expansion of the existing industrial building, in accordance with the proposed Site Plan (SP-079-2019) for the Project. The existing Industrial Planned Unit Development will maintain and improve its compatibility with existing developments in the vicinity by wholly improving the site by proposing to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building. A sufficient landscape buffer will be provided within the 10'-0" wide landscape planter area along the westerly perimeter of the site facing the existing single-family developed properties to the west, to ensure adequate buffering of any potential noise and light/glare impacts. The new building addition will maintain setbacks of 54'-10" to the northerly property line, between 125'-0" to 150'-0" to the residential property lines to the west (the west side of the vacated Brady Way street), and at least 66'-9" to the easterly property line, facing Knott Street. The proposed industrial warehouse improvement project will provide adequate parking, vehicular and pedestrian circulation for access to and from the site, and new landscaping.

2. The plan will produce a stable and desirable environment and will not cause undue traffic congestion on surrounding streets.

The Project proposes to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building. To accommodate the new building addition, the site plan layout has been modified to provide adequate vehicular access (for standard motor vehicles and larger truck/commercial vehicles) with new drive aisles, parking spaces, ADA (Americans with Disabilities Act) compliant parking and handicap loading areas, electric vehicle charging parking stations/stalls, and new landscape installations. The building is located in the center of the site, with parking spaces and drive aisles around the perimeter. The existing building façade will be renovated and the building, including the new addition portion, will be architecturally modern, contemporary, and aesthetically pleasing. The building elevations will consist of varying finishes and colors and materials including spandrel glass, metal panels and siding, and smooth concrete walls.

Based on Municipal Code parking requirements for industrial uses (at a parking ratio of one (1) parking space per 1,000 square feet of gross floor area), the site shall maintain a minimum of 166 parking spaces. The existing parking lot/site plan layout has been modified to accommodate the new building addition. The site will maintain a total of 168 parking spaces on-site,

which is a surplus of two (2) parking spaces. Therefore, the Project complies with parking requirements of the Municipal Code.

As part of the Transportation Section of the Initial Study report prepared for the Mitigated Negative Declaration for the Project, the traffic impact analysis, which was conducted and prepared by a licensed traffic engineering firm, evaluated trip generation, and potential impacts to nearby key intersections in the surrounding roadway system. Based on the results of the traffic impact analysis, the proposed warehouse improvement project would not significantly impact any of the key intersections analyzed in the surrounding roadway system. The analysis methodology is based on the City of Garden Grove's traffic study criteria. Intersection operating conditions are defined in terms of "Level of Service" (LOS), a grading scale used to represent the quality of traffic flow at an intersection. Level of Service ranges from LOS "A," representing free-flow conditions, to LOS "F," which indicates failing or severely congested traffic flow. The City of Garden Grove recognizes LOS "D" as the minimum satisfactory Level of Service during peak hour conditions. All nearby study intersections will continue to operate at acceptable levels of service (i.e., within the range of acceptable thresholds of LOS A through LOS D) during AM and PM peak hours, while the intersection of Knott Street and Garden Grove Boulevard will continue to operate at a deficient level of service (LOS F) during AM peak hours. A traffic study would typically be required by the City if the trip generation for a project was projected to increase by more than 50 trips during peak times. The trip generation rates in the report were based on the nationally referenced rates from the Institute of Transportation Engineers' (ITE) *Trip Generation* (10<sup>th</sup> Edition) – commonly referred to as the "ITE Manual". The analyses of the report found that the projected trip generation would be 36 trips during the AM peak hour and 42 trips during the PM peak hour. It should be noted that the site, prior to the Next Level Sports Complex indoor sports facility, had previously operated as an industrial warehouse, which is like-kind to the proposed operation/use as an industrial warehouse. The traffic impact analysis determined that the project's off-site traffic impact would not be considered significant at any of the study intersections. Therefore, no off-site intersection mitigation measures were deemed necessary for the development of the proposed Project. The City's Traffic Engineering Division reviewed the Initial Study's traffic impact analysis and concurred with the report's findings.

The Engineering Division has reviewed the plan and all appropriate conditions of approval and mitigation measures have been incorporated to minimize any adverse impacts on surrounding streets. Therefore, the design of the project complies with the spirit and intent of the Garden Grove Municipal Code for industrial uses and will provide for a stable and desirable environment.

3. Provision is made for both public and private open spaces.

The PUD was established in 1970 with specific development standards, as well as performance standards, landscaping, parking, and signage requirements. No changes to the landscaping requirements will be affected by this amendment. Therefore, the proposed amendment to the PUD will not impact any open space provisions.

4. Provision is made for the protection and maintenance of private areas reserved for common use.

The PUD was established in 1970 with specific development standards, as well as performance standards, landscaping, parking, and signage requirements. The PUD did not include development standards for private areas reserved for common use. Therefore, the proposed amendment to the PUD will not impact any provisions for the protection and maintenance of private areas reserved for common use.

5. The quality of the project achieved through the proposed Planned Unit Development zoning is greater than could be achieved under the current zoning.

The development will continue to maintain the PUD zoning designation and will keep the development standards as approved when the PUD was established in 1970, including all subsequently approved amendments. The future use of the industrial warehouse building will be within the allowable/permitted uses of the PUD-104-70 zone. The quality of the project achieved through the Planned Unit Development zoning is greater than could be achieved under M-P zoning, which, for example, restricts building height to 35 feet (Project proposes 37 feet). Planned Unit Development No. PUD-104-70 (REV. 2019) would permit the development of the property, thereby facilitating the expansion of the existing industrial building, in accordance with the proposed Site Plan (SP-079-2019) for the Project. The Project will renovate, revitalize, and improve the existing underutilized site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building.

6. The PUD is internally consistent with the goals, objectives, and elements of the General Plan.

The General Plan Land Use Designation of the subject site is Industrial/Commercial Mixed Use, which is intended for a mix of industrial and commercial uses. Goals, policies, and implementation programs of the General Plan strive, in part, to:

Policy LU-2.1: to protect residential areas from the effects of potentially incompatible uses. Where new commercial or industrial development is allowed adjacent to residentially zoned districts, maintain standards for circulation, noise, setbacks, buffer areas, landscaping and architecture, which ensure compatibility between the uses. The PUD was established in 1970 with specific development standards, as well as performance standards, landscaping, parking, and signage requirements. The Project incorporates landscaping buffering of ten feet (10'-0") to the residences west of the site and provides between 150'-0" to 200'-0" setback to the existing building and between 125'-0" to 150'-0" to the proposed new building addition.

Policy LU-2.3: to prohibit uses that lead to deterioration of residential neighborhoods, or adversely impact the safety or the residential character of a residential neighborhood. The development will continue to maintain the PUD zoning designation and will keep the development standards as approved when the PUD was established in 1970, including all subsequently approved amendments. The future use of the industrial warehouse building will be within the allowable/permitted uses of the PUD-104-70 zone.

Policy LU-2.4: to assure that the type and intensity of land use shall be consistent with that of the immediate neighborhood. The development will continue to maintain the PUD zoning designation and will keep the development standards as approved when the PUD was established in 1970, including all subsequently approved amendments. The future use of the industrial warehouse building will be within the allowable/permitted uses of the PUD-104-70 zone.

Policy LU-4.5: to require that commercial and industrial developments adjoining residential uses be adequately screened and buffered from residential areas. The PUD was established in 1970 with specific development standards, as well as performance standards, landscaping, parking, and signage requirements. The Project incorporates landscaping buffering of 10' to the residences west of the site and provides between 150'-0" to 200'-0" of setback to the existing building and between 125'-0" to 150'-0" to the proposed new building addition.

LU-IMP-7B: to require improved maintenance and rehabilitation of industrial buildings and sites, as necessary. Conditions of Approval for the Project will, in part, ensure the property owner/operator keep a well maintained site. Conditions include, but are not limited to, requirements that address loitering, trash pick-up, lighting, and landscape maintenance.

The proposed Project will be consistent with the spirit and intent of the General Plan.

7. The PUD will promote the public interest, health, and welfare.

The proposed amendment to the PUD will promote the public interest, health, safety, and welfare. The PUD was designed with adequate vehicular circulation and access to accommodate the use of the existing industrial buildings, the existing offices, and the proposed industrial warehouse building addition. In addition, all requests for future uses will be reviewed to ensure that each request complies with all appropriate regulations of the PUD, such as parking, and the then applicable California Building Standards Code and California Green Building Standards Code requirements.

8. The subject parcel is physically suitable for the requested PUD designation, compatible with surrounding land uses, and consistent with the General Plan.

The PUD was established in 1970 with specific development standards, as well as performance standards, landscaping, parking, and signage requirements. There will be no change to the PUD designation or any of its requirements. The Project proposes to facilitate the expansion of the existing industrial warehouse building, while also incorporating that vacated southern portion of Brady Way, which fronts along the westerly property line of the subject site, into the overall PUD.

#### INCORPORATION OF FACTS AND FINDINGS SET FORTH IN THE STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

1. The Planned Unit Development possesses characteristics that would indicate justification of the request in accordance with Municipal Code Section 9.08.030.020 (Planned Unit Development).
2. The implementation provisions for Planned Unit Development No. PUD-104-70 (REV. 2014) are found under Planning Commission Resolution No. 5974-19 for Site Plan No. SP-079-2019.

Adopted this 5th day of December 2019

ATTEST:

/s/ JEREMY LEHMAN  
CHAIR

/s/ JUDITH MOORE  
RECORDING SECRETARY

STATE OF CALIFORNIA     )  
COUNTY OF ORANGE     ) SS:  
CITY OF GARDEN GROVE )

I, JUDITH MOORE, Secretary of the City of Garden Grove Planning Commission, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Garden Grove, California, at a meeting held on December 5, 2019, by the following vote:

AYES: COMMISSIONERS: (7) LE, LEHMAN, LINDSAY, NGUYEN, PEREZ,  
RAMIREZ, SOEFFNER  
NOES: COMMISSIONERS: (0) NONE

/s/ JUDITH MOORE  
RECORDING SECRETARY

PLEASE NOTE: Any request for court review of this decision must be filed within 90 days of the date this decision was final (See Code of Civil Procedure Section 1094.6).

A decision becomes final if it is not timely appealed to the City Council. Appeal deadline is January 2, 2020.



## RESOLUTION NO. 5974-19

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GARDEN GROVE APPROVING SITE PLAN NO. SP-079-2019, FOR A PROPERTY LOCATED AT THE NORTHWEST CORNER OF KNOTT STREET AND ACACIA AVENUE, AT 12821 KNOTT STREET, ASSESSOR'S PARCEL NO. 215-014-01, INCLUDING THAT VACATED SOUTHERLY PORTION OF BRADY WAY, WHICH FRONTS ALONG THE WESTERLY PROPERTY LINE OF THE SUBJECT SITE.

BE IT RESOLVED that the Planning Commission of the City of Garden Grove, in regular session assembled on December 5, 2019, does hereby approve Site Plan No. SP-079-2019, for land located on the northwest corner of Knott Street and Acacia Avenue, at 12821 Knott Street, Assessor's Parcel No. 215-014-01, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site, subject to (i) the Conditions of Approval attached hereto as "Exhibit A"; (ii) Garden Grove City Council adoption of a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the Project, and adoption and effectiveness of an Ordinance approving Planned Unit Development No. PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning.

BE IT FURTHER RESOLVED in the matter of Site Plan No. SP-079-2019, the Planning Commission of the City of Garden Grove does hereby report as follows:

1. The subject case was initiated by Rexford Industrial Realty, L.P.
2. The applicant requests (a) that the City Council amend Planned Unit Development No. PUD-104-70 for a 6.97-acre lot, located at the northwest corner of Knott Street and Acacia Avenue, at 12821 Knott Street, Assessor's Parcel No. 215-014-01, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site, and currently zoned PUD-104-70 to facilitate an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space; and (b) Planning Commission approval of Site Plan No. SP-079-2019 to construct the 45,335 square foot one-story addition of industrial space to the existing 119,836 square foot industrial building, along with associated site improvements (collectively, the "Project").
3. Pursuant to the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et. seq., and the CEQA guidelines, 14 California Code of Regulations Sec. 15000 et. seq., an initial study was prepared and it has been determined that the proposed Project qualifies for a Mitigated Negative Declaration because the proposed Project with implementation of the proposed mitigation measures cannot, or will not, have a significant effect on the environment. A Mitigation Monitoring and Reporting Program has been prepared and is attached to the Mitigated Negative Declaration listing the mitigation measures to be monitored during project implementation. The Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were

prepared and circulated in accordance with CEQA and CEQA's implementing guidelines.

4. Concurrently with its adoption of this Resolution (5974-19), the Planning Commission adopted Resolution No. 5973-19 recommending that the City Council: (i) adopt the Mitigated Negative Declaration and the associated Mitigation Monitoring and Reporting Program for the industrial warehouse improvement Project; and (ii) approve Planned Unit Development No. PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning. The facts and findings set forth in Resolution No. 5973-19 are hereby incorporated into this Resolution by reference.
5. The property has a General Plan Land Use designation of Industrial/Commercial Mixed Use and is currently zoned PUD-104-70 (Planned Unit Development). The subject 6.97-acre lot is currently improved with an existing industrial building that is approximately 119,836 square feet in area and is currently vacant.
6. Existing land use, zoning, and General Plan designation of property in the vicinity of the subject property have been reviewed.
7. Report submitted by City staff was reviewed.
8. Pursuant to a legal notice, a public hearing was held on December 5, 2019, and all interested persons were given an opportunity to be heard.
9. The Planning Commission gave due and careful consideration to the matter during its meeting of December 5, 2019, and considered all oral and written testimony presented regarding the project, the initial study, and the Mitigated Negative Declaration.

BE IT FURTHER RESOLVED, FOUND AND DETERMINED that the facts and reasons supporting the conclusion of the Planning Commission, as required under Municipal Code Sections 9.32.030 and 9.40.060, are as follows:

FACTS:

The subject site is an existing 6.97-acre Industrial Planned Unit Development (PUD) located on the northwest corner of Knott Street and Acacia Avenue. The site has a General Plan Land Use Designation of Industrial/Commercial Mixed Use and is zoned PUD-104-70 (Planned Unit Development). Currently, the site is improved with an existing industrial building that is approximately 119,836 square feet in area and is currently vacant. The building was previously occupied by Next Level Sports Complex, which operated an indoor sports facility. The indoor sports facility closed its operation in 2018.

The subject site abuts: a Planned Unit Development (PUD), in operation as a wedding chapel facility, to the north; a professional office PUD and the Garden Grove (22) Freeway on-ramp to the south; R-1 (Single-Family Residential) zoned properties developed with single-family residences, to the west; and M-P (Industrial Park) zoned properties developed with industrial buildings, across Knott Street, to the east.

In 1970, the City of Garden Grove approved Planned Unit Development No. PUD-104-70 to allow the construction of professional office, general commercial, and industrial uses on the subject property, including the abutting property to the north, 12777 Knott Street (Assessor's Parcel No. 215-014-02). The approved project included two (2) phases: Phase I, which included the industrial building on the subject site, 12821 Knott Street; and Phase II, which included the commercial and office buildings. Only the industrial building (Phase I) of the approved PUD was constructed. In 1996, the City of Garden Grove approved Planned Unit Development No. PUD-105-96, to allow a banquet/reception hall with ancillary chapel use, on the property to the north, 12777 Knott Street (originally approved as Phase II of PUD-104-70).

On December 13, 2011, the City of Garden Grove approved Amendment No. A-164-11 to allow "indoor sports facility" as a permitted use in the PUD-104-70 zone, subject to Conditional Use Permit approval. The City also concurrently approved Conditional Use Permit No. CUP-340-11 to allow the operation of a new indoor sports facility, Next Level Sports Complex.

Within the parking lot, near the southeast corner of the site, is an existing fifty-foot (50') tall pole sign originally utilized by the previous on-site electronics retail business, Radioshack. On September 19, 2013, the City of Garden Grove Planning Commission voted 6-0 to adopt, without prejudice, Resolution of Denial No. 5710-13 to deny Amendment No. A-171-13, which was a request to amend the Planned Unit Development No. PUD-104-70 zone to allow the applicant to retrofit the existing, legal fifty-foot (50') tall pole sign (double-sided with an existing sign area of 190 square feet), with a new electronic billboard sign (double-sided with a total proposed sign area of 582 square feet), which was proposed to function as a billboard, displaying both on-premise and off-premise advertising. The primary concerns expressed by the Planning Commission at the time of consideration were related to the large size of the proposed electronic billboard sign as well as the use of it as a billboard in order to display on-premise *and* off-premise advertisements. The Garden Grove Municipal Code generally prohibits the establishment of new billboards in the City (i.e., those used for off-premise advertisements).

On May 27, 2014, the City of Garden Grove approved PUD-104-70 (REV. 2014), and adopted Ordinance No. 2839, which approved an amendment to the PUD-104-70 zone to allow a 59'-0" tall freeway-oriented electronic reader board sign, subject to Conditional Use Permit approval. In conjunction with the approval of PUD-104-70 (REV. 2014), the City also approved Conditional Use Permit

No. CUP-379-14, which allowed the applicant to retrofit the existing, legal fifty-foot (50') tall pole sign, with a new freeway-oriented sign with an electronic reader board that would display on-premise advertisements. Pursuant to Municipal Code Section 9.32.160, Expiration of Granted Land Use Actions, it states, "Unless a time extension is granted in accordance with Section 9.24.030, any discretionary action becomes null and void if not exercised within the time specified in the approval of the discretionary action or, if no date is specified, within *one* year from the date of approval of such discretionary action. Following the approval of CUP-379-14, the applicant had one (1) year to exercise said approval before the land use entitlement would expire. Due to financial reasons, the applicant was not able to move forward on the sign project and the approval of CUP-379-14 expired.

On July 19, 2018, the City of Garden Grove approved Conditional Use Permit No. CUP-129-2018, reinstating the approval of CUP-379-14, to demolish an existing fifty-foot (50'-0") tall pole sign, and to construct a new fifty-nine foot (59'-0") tall, V-shaped, freeway-oriented electronic reader board sign (for on-premise advertisements), adjacent to and facing the Garden Grove Freeway (SR-22), for an existing indoor sports facility, Next Level Sports Complex, located at 12821 Knott Street. The approval of CUP-129-2018 stipulated that the approval authorized the erection, maintenance, and operation of a freeway-oriented electronic reader board sign associated with a permitted Indoor Sports Facility in accordance with Planned Unit Development No. PUD-104-70 (REV. 2014), the plans and elevations presented to the Planning Commission, and the associated Conditions of Approval. Conditional Use Permit No. CUP-129-2018 was never exercised thereby expiring and the indoor sports facility use had ceased in 2018.

Since the closure of the prior indoor sports facility, the subject property was sold to, and acquired by, the applicant/property owner, Rexford Industrial. The applicant proposes to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building.

Shortly after acquiring the subject property, Rexford Industrial contacted the City to inquire about acquiring the Brady Way cul-de-sac, which due to the dead end at the 22 Freeway, was not utilized except for access to the subject property and vandals that used it for illegal dumping and other illegal activities. Acquisition of the cul-de-sac would facilitate expansion of the industrial building and installation of a fence to keep vandals out of the property. City staff and adjacent property owners supported vacation of the cul-de-sac for disposition to Rexford. On August 15, 2019, the City of Garden Grove approved a General Plan Consistency Determination for Street Vacation No. SV-001-2019, determining that the contemplated vacation of the southern portion of Brady Way, south of Stanford Avenue, and disposition of the vacated street is consistent with the General Plan. Subsequently, on September 24, 2019, the City of Garden Grove approved Street Vacation No. SV-001-2019 ordering vacation and abandonment of the southern portion of

Brady Way, south of Stanford Avenue, and reserving thereon a public service easement for existing public utility facilities. The intent of the street vacation was to expand the usable area of the site to facilitate the expansion of the existing industrial building, to accommodate new landscaping, on-site vehicular maneuvering, and parking. The City Council approved a purchase and sale agreement for the disposition of the vacated portion of Brady Way to Rexford Industrial at its November 26, 2019 meeting.

The existing Planned Unit Development (PUD) currently encompasses the subject property, 12821 Knott Street (APN: 215-014-01). Approval of a revision to the existing PUD (PUD-104-70) is necessary to extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, to facilitate the expansion of the existing 119,836 square foot industrial building. If PUD-104-70 (REV. 2019) is approved, the site, along with the vacated portion of Brady Way, would have a zoning designation of Industrial Planned Unit Development zoning, PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning. Also necessary is the approval of a Site Plan to allow the construction of the proposed 45,335 square foot industrial building addition to the existing 119,836 square foot industrial building, along with associated site improvements. The Site Plan approval by the Planning Commission would be contingent upon the City Council's approval of the proposed revision to the Planned Unit Development along with the adoption of a Mitigated Negative Declaration and associated Mitigation Monitoring and Reporting Program ("MMRP").

The site is currently improved with an existing 99,836 square foot one-story industrial warehouse building, which includes an attached 20,000 square foot two-story office building. The Project proposes a 45,335 square foot one-story industrial warehouse building addition attached to the north side of the existing industrial warehouse building. The new gross floor area of the building will be 165,171 square feet. The total site area (including the vacated portion of Brady Way) is 347,385 square feet (7.97 acres). Based on the site area, the maximum FAR is 173,692.50 square feet. The proposed total building area of 165,171 square feet is compliant with and does not exceed the maximum FAR. The site will maintain a total of 168 parking spaces on-site, which is a surplus of two (2) parking spaces. The Project will include 32,008 square feet of new landscaping, which is 9.2% of the site.

The application to amend Planned Unit Development No. PUD-104-70 is being processed in conjunction with Site Plan No. SP-079-2019. If approved by the City Council, Planned Unit Development No. PUD-104-70 (REV. 2019) would permit the development of the property, thereby facilitating the expansion of the existing industrial building, in accordance with the proposed Site Plan (SP-079-2019) for the Project.

FINDINGS AND REASONS:Site Plan:

1. The Site Plan complies with the spirit and intent of the provisions, conditions and requirements of Title 9 and is consistent with the General Plan.

The General Plan Land Use Designation of the subject site is Industrial/Commercial Mixed Use, which is intended for a mix of industrial and commercial uses. Goals, policies, and implementation programs of the General Plan strive, in part, to:

Policy LU-2.1: to protect residential areas from the effects of potentially incompatible uses. Where new commercial or industrial development is allowed adjacent to residentially zoned districts, maintain standards for circulation, noise, setbacks, buffer areas, landscaping and architecture, which ensure compatibility between the uses. The PUD was established in 1970 with specific development standards, as well as performance standards, landscaping, parking, and signage requirements. The Project incorporates landscaping buffering of 10' to the residences west of the site and provides between 150'-0" to 200'-0" of setback to the existing building and between 125'-0" to 150'-0" to the proposed new building addition.

Policy LU-2.3: to prohibit uses that lead to deterioration of residential neighborhoods, or adversely impact the safety or the residential character of a residential neighborhood. The development will continue to maintain the PUD zoning designation and will keep the development standards as approved when the PUD was established in 1970, including all subsequently approved amendments. The future use of the industrial warehouse building will be within the allowable/permitted uses of the PUD-104-70 zone.

Policy LU-2.4: to assure that the type and intensity of land use shall be consistent with that of the immediate neighborhood. The development will continue to maintain the PUD zoning designation and will keep the development standards as approved when the PUD was established in 1970, including all subsequently approved amendments. The future use of the industrial warehouse building will be within the allowable/permitted uses of the PUD-104-70 zone.

Policy LU-4.5: to require that commercial and industrial developments adjoining residential uses be adequately screened and buffered from residential areas. The PUD was established in 1970 with specific development standards, as well as performance standards, landscaping, parking, and signage requirements. The Project incorporates landscaping buffering of 10' to the residences west of the site and provides between 150'-0" to 200'-0" of

setback to the existing building and between 125'-0" to 150'-0" to the proposed new building addition.

LU-IMP-7B: to require improved maintenance and rehabilitation of industrial buildings and sites, as necessary. Conditions of Approval for the Project will, in part, ensure the property owner/operator keep a well maintained site. Conditions include, but are not limited to, requirements that address loitering, trash pick-up, lighting, and landscape maintenance.

The proposed Project will be consistent with the spirit and intent of the General Plan.

2. The project will not adversely affect essential on-site facilities such as off-street parking, loading and unloading areas, traffic circulation, and points of vehicular and pedestrian access.

The Project proposes to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building. To accommodate the new building addition, the site plan layout has been modified to provide adequate vehicular access (for standard motor vehicles and larger truck/commercial vehicles) with new drive aisles, parking spaces, ADA (Americans with Disabilities Act) compliant parking and handicap loading areas, electric vehicle charging parking stations/stalls, and new landscape installations. The building is located in the center of the site, with parking spaces and drive aisles around the perimeter. The existing building façade will be renovated and the building, including the new addition portion, will be architecturally modern, contemporary, and aesthetically pleasing. The building elevations will consist of varying finishes and colors and materials including spandrel glass, metal panels and siding, and smooth concrete walls.

Based on Municipal Code parking requirements for industrial uses (at a parking ratio of one (1) parking space per 1,000 square feet of gross floor area), the site shall maintain a minimum of 166 parking spaces. The existing parking lot/site plan layout has been modified to accommodate the new building addition. The site will maintain a total of 168 parking spaces on-site, which is a surplus of two (2) parking spaces. Therefore, the Project complies with parking requirements of the Municipal Code.

As part of the Transportation Section of the Initial Study report prepared for the Mitigated Negative Declaration for the Project, the traffic impact analysis, which was conducted and prepared by a licensed traffic engineering firm, evaluated trip generation, and potential impacts to nearby key intersections in the surrounding roadway system. Based on the results of the traffic impact analysis, the proposed warehouse improvement project would not

significantly impact any of the key intersections analyzed in the surrounding roadway system. The analysis methodology is based on the City of Garden Grove's traffic study criteria. Intersection operating conditions are defined in terms of "Level of Service" (LOS), a grading scale used to represent the quality of traffic flow at an intersection. Level of Service ranges from LOS "A," representing free-flow conditions, to LOS "F," which indicates failing or severely congested traffic flow. The City of Garden Grove recognizes LOS "D" as the minimum satisfactory Level of Service during peak hour conditions. All nearby study intersections will continue to operate at acceptable levels of service (i.e., within the range of acceptable thresholds of LOS A through LOS D) during AM and PM peak hours, while the intersection of Knott Street and Garden Grove Boulevard will continue to operate at a deficient level of service (LOS F) during AM peak hours. A traffic study would typically be required by the City if the trip generation for a project was projected to increase by more than 50 trips during peak times. The trip generation rates in the report were based on the nationally referenced rates from the Institute of Transportation Engineers' (ITE) *Trip Generation* (10<sup>th</sup> Edition) – commonly referred to as the "ITE Manual". The analyses of the report found that the projected trip generation would be 36 trips during the AM peak hour and 42 trips during the PM peak hour. It should be noted that the site, prior to the Next Level Sports Complex indoor sports facility, had previously operated as an industrial warehouse, which is like-kind to the proposed operation/use as an industrial warehouse. The traffic impact analysis determined that the project's off-site traffic impact would not be considered significant at any of the study intersections. Therefore, no off-site intersection mitigation measures were deemed necessary for the development of the proposed Project. The City's Traffic Engineering Division reviewed the Initial Study's traffic impact analysis and concurred with the report's findings.

The Engineering Division has reviewed the plan and all appropriate conditions of approval and mitigation measures have been incorporated to minimize any adverse impacts on surrounding streets. Therefore, the design of the project complies with the spirit and intent of the Garden Grove Municipal Code for industrial uses and will provide for a stable and desirable environment.

3. The project will not adversely affect essential public facilities such as streets and alleys, utilities and drainage channels.

The Public Works Department has reviewed the plans and all appropriate conditions of approval have been incorporated. The proposed development will provide new landscaping and proper grading of the site to provide adequate on-site drainage. All other appropriate conditions of approval and mitigation measures have been included, which will minimize any adverse impacts to surrounding streets.



4. The project will not adversely impact the Public Works Department's ability to perform its required function.

The Public Works Department has reviewed the project, and has incorporated all the appropriate conditions of approval and mitigation measures to minimize any adverse impacts, and to ensure the project will not adversely impact the Public Works Department's ability to perform its required function(s).

5. The project is compatible with the physical, functional, and visual quality of the neighboring uses and desirable neighborhood characteristics.

The subject 6.97-acre lot is located in an area that is adjacent to a Planned Unit Development (PUD), in operation as a wedding chapel facility, to the north; a professional office PUD and the Garden Grove (22) Freeway on-ramp to the south; R-1 (Single-Family Residential) zoned properties developed with single-family residences, to the west; and M-P (Industrial Park) zoned properties developed with industrial buildings, across Knott Street, to the east. Planned Unit Development No. PUD-104-70 (REV. 2019) would permit the development of the property, thereby facilitating the expansion of the existing industrial building, in accordance with the proposed Site Plan (SP-079-2019) for the Project. The existing Industrial Planned Unit Development will maintain and improve its compatibility with existing developments in the vicinity by wholly improving the site by proposing to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building. A sufficient landscape buffer will be provided within the 10'-0" wide landscape planter area along the westerly perimeter of the site facing the existing single-family developed properties to the west, to ensure adequate buffering of any potential noise and light/glare impacts. The new building addition will maintain setbacks of 54'-10" to the northerly property line, between 125'-0" to 150'-0" to the residential property lines to the west (the west side of the vacated Brady Way street), and at least 66'-9" to the easterly property line, facing Knott Street. The proposed industrial warehouse improvement project will provide adequate parking, vehicular and pedestrian circulation for access to and from the site, and new landscaping.

6. Through the planning and design of buildings and building placement, the provision of open space landscaping and other site amenities will attain an attractive environment for the occupants of the property.

The subject 6.97-acre lot is located in an area that is adjacent to a Planned Unit Development (PUD), in operation as a wedding chapel facility, to the north; a professional office PUD and the Garden Grove (22) Freeway on-ramp

to the south; R-1 (Single-Family Residential) zoned properties developed with single-family residences, to the west; and M-P (Industrial Park) zoned properties developed with industrial buildings, across Knott Street, to the east. Planned Unit Development No. PUD-104-70 (REV. 2019) would permit the development of the property, thereby facilitating the expansion of the existing industrial building, in accordance with the proposed Site Plan (SP-079-2019) for the Project. The existing Industrial Planned Unit Development will maintain and improve its compatibility with existing developments in the vicinity by wholly improving the site by proposing to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building. A sufficient landscape buffer will be provided within the 10'-0" wide landscape planter area along the westerly perimeter of the site facing the existing single-family developed properties to the west, to ensure adequate buffering of any potential noise and light/glare impacts. The new building addition will maintain setbacks of 54'-10" to the northerly property line, between 125'-0" to 150'-0" to the residential property lines to the west (the west side of the vacated Brady Way street), and at least 66'-9" to the easterly property line, facing Knott Street. The proposed industrial warehouse improvement project will provide adequate parking, vehicular and pedestrian circulation for access to and from the site, and new landscaping.

#### INCORPORATION OF FACTS AND FINDINGS SET FORTH IN THE STAFF REPORT

In addition to the foregoing, the Planning Commission incorporates herein by this reference, the facts and findings set forth in the staff report.

BE IT FURTHER RESOLVED that the Planning Commission does conclude:

1. The Site Plan possesses characteristics that would justify the request in accordance with Municipal Code Section 9.32.030.3 (Site Plan).
2. In order to fulfill the purpose and intent of the Municipal Code and thereby promote the health, safety, and general welfare, the attached Conditions of Approval (Exhibit "A") shall apply to Site Plan No. SP-079-2019.
3. The effectiveness of approval of Site Plan No. SP-079-2019 shall be contingent upon City Council adoption a Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program for the Project and the adoption and effectiveness of an ordinance approving Planned Unit Development No. PUD-104-70 (REV. 2019).

ATTEST:

/s/ JUDITH MOORE  
RECORDING SECRETARY

AYES: COMMISSIONERS: (7) LE, LEHMAN, LINDSAY, NGUYEN, PEREZ,  
RAMIREZ, SOEFFNER

NOES: COMMISSIONERS: (0) NONE

A decision becomes final if it is not timely appealed to the City Council. Appeal deadline is January 2, 2020.

## **EXHIBIT "A"**

### **Site Plan No. SP-079-2019**

12821 Knott Street, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site  
Assessor's Parcel No. 215-014-01

### **CONDITIONS OF APPROVAL**

#### **General Conditions**

1. The applicant and each owner of the property shall execute, and the applicant shall record against the property a "Notice of Agreement with Conditions of Approval and Discretionary Permit of Approval," as prepared by the City Attorney's Office. Proof of such recordation is required within 30 days of this approval. All Conditions of Approval set forth herein shall be binding on and enforceable against each of the following, and whenever used herein, the term "applicant" shall mean and refer to each of the following: the project applicant, Rexford Industrial Realty, L.P., the developer of the project, the current owner of the Property, the future owner(s) and tenants(s) of the Property, and each of their respective successors and assigns. All Conditions of Approval are required to be adhered to for the life of the project, regardless of property ownership. Any changes of the Conditions of Approval require approval by the Planning Commission. All Conditions of Approval herein shall apply to Site Plan No. SP-079-2019.
2. Approval of Site Plan No. SP-079-2019 shall be contingent upon City Council adoption of a Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program for the Project and an ordinance approving Planned Unit Development No. PUD-104-70 (REV. 2019), and shall not be construed to mean any waiver of applicable and appropriate zoning and other regulations; and wherein not otherwise specified, all requirements of the City of Garden Grove Municipal Code shall apply.
3. Minor modifications to the Site Plan and/or these Conditions of Approval may be approved by the Community and Economic Development Director, in his or her discretion. Proposed modifications, to the project and/or these Conditions of Approval, determined by the Community and Economic Development Director not to be minor in nature shall be subject to approval of new and/or amended land use entitlements by the applicable City hearing body.
4. The approved site plan, floor plan, and use of the subject property, as represented by the Applicant, are an integral part of the decision approving this Site Plan. If major modifications are made to the approved floor plan, site plan, or other related changes that result in the intensification of the project or

create impacts that have not been previously addressed, the proper entitlements shall be obtained reflecting such changes.

5. All conditions of approval shall be implemented at the applicant's expense, except where specified in the individual condition.

**Public Works Engineering Division**

6. The applicant shall be subject to Traffic Mitigation Fees, Drainage Facilities Fees, Water Assessment Fees, and other applicable mitigation fees identified in Chapter 9.44 of the Garden Grove Municipal Code, along with all other applicable fees duly adopted by the City. The amount of said fees shall be calculated based on the City's current fee schedule at the time of permit issuance.
7. Prior to issuance of a grading permit, the applicant shall design overhead street lighting within the development in a manner meeting the approval of the City Engineer. Location of lighting poles shall be shown on the precise grading and street improvement plans.
8. A geotechnical study prepared by a registered geotechnical engineer is required. The report shall analyze the liquefaction potential of the site and make recommendations. The report shall analyze sub-surface issues related to the past uses of the site, including sub-surface tanks and basement and septic facilities. Any soil or groundwater contamination shall be remediated prior to the issuance of a building permit in a manner meeting the approval of the City Engineer in concert with the Orange County Health Department. The report shall make recommendations for pavement design of the interior streets and parking spaces. The report shall also test and analyze soil conditions for LID (Low Impact Development) principles and implementations, including potential infiltration alternatives, soil compaction, saturation, permeability and groundwater levels.
9. A separate street permit is required for work performed within the public right-of-way. The City of Garden Grove completed a street rehabilitation project on Knott Street in 2017. Knott Street is currently under a street moratorium. Any utility trench backfilling fronting the project on Knott Street is subject to 15 feet of asphalt resurfacing (up to 2-inches of asphalt grind and cap) from the center line of proposed utility (water, gas, sewer, communication cables) in both directions and may extend the full width of the street as determined by the City Engineer.
10. Grading improvement plans prepared by a registered Civil Engineer are required. The grading plan shall be based on a current survey of the site, including a boundary survey, topography on adjacent properties up to 30' outside the boundary, and designed to preclude cross lot drainage. Minimum

grades shall be 0.50% for concrete flow lines and 1.25% for asphalt. The grading plan shall also include water and sewer improvements. The grading plan shall include a coordinated utility plan. Street improvement plan shall conform to all format and design requirements of the City Standard Drawings & Specifications.

11. Grading fees shall be calculated based on the current fee schedule at the time of permit issuance.
12. The grading plan shall depict an accessibility route for the ADA pathway in conformance with the requirements of the Department of Justice standards, latest edition and section 1110A of the California Building Code.
13. All parking spaces that abut to sidewalks that are not elevated with a curb face to the stall, shall have wheel stops in order to prevent vehicle overhang into sidewalk. Minimum 6-foot width sidewalk is required for parking spaces that are utilizing elevated sidewalk curb face as a wheel stop and must maintain four feet (4'-0") minimum from the overhang of the vehicle bumper for ADA pathway.
14. In accordance with the Orange County Storm Water Program manual, the applicant and/or its contractors shall provide dumpsters on-site during construction unless an Encroachment Permit is obtained for placement in street.
15. Prior to the issuance of any grading or building permits or prior to recordation upon subdivision of land if determined applicable by the City Building Official, the applicant shall submit to the City for review and approval a Water Quality Management Plan that:
  - Addresses Site Design BMPs based upon the geotechnical report recommendations and findings such as infiltration minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas.
  - Incorporates the applicable Routine Source Control BMPs as defined in the DAMP.
  - Incorporates structural and Treatment Control BMPs as defined in the DAMP.
  - Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.

- Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.
  - Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
16. Prior to grading or building permit closeout and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
- Demonstrate that all structural best management practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
  - Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
  - Demonstrate that an adequate number of copies of the approved Project WQMP are available on site.
  - Submit for review and approval by the City an Operations and Maintenance (O&M) Plan for all structural BMPs.
17. All trash container areas shall meet the following requirements per City of Garden Grove Standard B-502 and state mandated commercial organic recycling law-AB 1826:
- Paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, screened or walled to prevent off-site transport of trash.
  - Provide solid roof or awning to prevent direct precipitation.
  - Connection of trash area drains to the municipal storm drain system is prohibited.
  - Potential conflicts with fire code and garbage hauling activities should be considered in implementing this source control.
  - See CASQA Storm Water Handbook Section 3.2.9 and BMP Fact Sheet SD-32 for additional information.
  - The trash shall be located to allow pick-up and maneuvering, including turnarounds, in the area of enclosures.

- Pursuant to state mandated commercial organic recycling law-AB 1826, the applicant is required to coordinate storage and removal of the organics waste with local recycling/trash company.
18. The applicant and its contractor shall be responsible for protecting all existing horizontal and vertical survey controls, monuments, ties (centerline and corner) and benchmarks located within the limits of the project. If any of the above require removal; relocation or resetting, the Contractor shall, prior to any construction work, and under the supervision of a California licensed Land Surveyor, establish sufficient temporary ties and benchmarks to enable the points to be reset after completion of construction. Any ties, monuments and bench marks disturbed during construction shall be reset per Orange County Surveyor Standards after construction. Applicant and his contractor shall also re-set the tie monuments where curb or curb ramps are removed and replaced or new ramps are installed. The Applicant and his contractor shall be liable for, at his expense, any resurvey required due to his negligence in protecting existing ties, monuments, benchmarks or any such horizontal and vertical controls. Temporary Benchmarks shall not be used for vertical control. Benchmarks shall be to the National Geodetic Vertical Datum (NGVD).
19. Prior to the issuance of any grading or building permits for projects that will result in soil disturbance of one acre or more of land, the applicant shall demonstrate that coverage has been obtained under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP). A copy of the current SWPPP shall be kept at the project site and be available for City review on request.
20. Any new or required block walls and/or retaining walls shall be shown on the grading plans. Cross sections shall show vertical and horizontal relations of improvements and property line. Block walls shall be designed in accordance to City standards or designed by a professional registered engineer. In addition, the following shall apply:
- The color and material of all proposed block walls, columns, and wrought iron fencing shall be approved by the Planning Services Division Prior to installation.
21. The applicant shall identify a temporary parking site(s) for construction crew prior to issuance of a grading permit. No construction parking is allowed on local streets.



22. Prior to issuance of a grading permit, the applicant submit and obtain approval of a work-site traffic control plan, satisfactory to the City Traffic Engineer.
23. Heavy construction truck traffic and hauling trips should occur outside peak travel periods. Peak travel periods are considered to be from 7 a.m. to 9 a.m. and 4 p.m. to 6 p.m.
24. Any required lane closures should occur outside of peak travel periods.
25. Construction vehicles should be parked off traveled roadways in a designated parking.
26. Prior to issuance of a grading permit, the applicant shall provide a hydrological analysis with scaled map and calculations and hydraulic calculations to size storm drains per the Orange County RDMD standards. Parkway culverts shall be designed per Orange County standard plan 1309, Type B. BMP's shall be sized per the requirements of the latest Technical Guidance Documents.
27. Prior to issuance of the building permit, the applicant shall design and construct street frontage improvements as identified below. All landscaping installed within the public rights-of-way shall be maintained by the applicant in a manner meeting the approval of the City Engineer and Planning Department.

#### Knott Street

- Modify and enlarge (45' max.) the existing northerly driveway approach on Knott Street per City of Garden Grove Standard Plan B-120 (option #2). Standard Plan B-120 calls for a minimum width of 30-feet for commercial and multi residential projects, with any deviation from the standard to be approved by the City Traffic Engineer and detailed on the plan showing all modifications.
- Any proposed new landscaping in public right of way shall be approved by Planning Division and maintained by the owner.

#### **Orange County Fire Authority**

28. All Fire related aspects of the proposed project shall comply with the applicable Orange County Fire Authority (OCFA) Fire Master Plan Guidelines.

#### **Building and Safety Division**

29. Project shall comply with the applicable 2019 CA Building Code (CBC), CA Residential Code, CA Mechanical Code (CMC), CA Plumbing Code (CPC), CA Electrical Code (CEC), CA Green Building Standards Code (CGBSC) and the 2019 CA Building Energy Efficiency Standards.

30. Soils report is required at time of building construction plan check submittal to the City.
31. Existing parking, restrooms, and path-of-travel shall comply with accessibility requirements per CBC Chapter 11B.

**Public Works Water Services Division**

32. The applicant shall work with the City to remove the sewer easement for the 8" sewer main running along the northern portion of the property such to comply with current code. Said 8" sewer line will be classified as a private sewer system and the property owner shall be responsible for its operation and maintenance. The portion of easement for the 8" sewer main running along the eastern portion of the property shall remain in place. The above modifications to the easement shall be made at the applicant's expense and shall be fully completed and approved by the City prior to issuance of permits.
33. New water service installations 2" and smaller, shall be installed by the City of Garden Grove at owner's/developer's expense. Installation shall be scheduled upon payment of applicable fees, unless otherwise noted. Fire services and larger water services 3" and larger, shall be installed by owner's/developer's contractor per City Standards.
34. Water meters shall be located within the City right-of-way or within a dedicated waterline easement. Fire services and larger water services 3" and larger, shall be installed by contractor with class A or C-34 license, per City Water Standards and inspected by approved Public Works inspection.
35. A Reduced Pressure Principle Device (RPPD) backflow prevention device shall be installed for meter protection. The landscape system shall also have RPPD device. Any carbonation dispensing equipment shall have a RPPD device. Installation shall be per City Standards and shall be tested by a certified backflow device tester immediately after installation. Cross connection inspector shall be notified for inspection after the installation is completed. Owner shall have RPPD device tested once a year thereafter by a certified backflow device tester and the test results to be submitted to Public Works, Water Services Division. Property owner must open a water account upon installation of RPPD device.
36. Fire service shall have above-ground backflow device with a double-check valve assembly per City Standard B-773. Device shall be tested immediately after installation and once a year thereafter by a certified backflow device tester and the results to be submitted to Public Works, Water Services Division. Device shall be on private property and is the responsibility of the property owner. The above-ground assembly shall be screened from public view as required by the Planning Division.

37. If existing fire service connection is in a vault, single-check valve shall be upgraded to above-ground DCDA (Double Check Detector Assembly) and vault shall be abandoned per Water Services inspector. Single-check valve and piping inside vault is to be removed.
38. Location and number of fire hydrants shall be as required by Water Services Division and the Orange County Fire Authority.
39. Food grinders (garbage disposal devices) are prohibited per Ordinance 6 of the Garden Grove Sanitary District Code of Regulations. Existing units are to be removed.
40. If required, owner shall install new sewer lateral with clean out at right-of-way line. Lateral in public right-of-way shall be 6" min. dia., extra strength VCP with wedgelock joints.
41. Contractor shall abandon any existing unused sewer lateral(s) at street right-of-way on the property owner's side. The sewer pipe shall be capped with an expansion sewer plug and encased in concrete. Only one sewer connection per lot is allowed.

#### **Planning Services Division**

42. The applicant shall submit a complete landscape plan governing the entire development. The plans shall be consistent with the plans submitted to the Planning Commission for review and approval, except as modified herein. The landscape irrigation plans shall include type, size, location and quantity of all plant material. The landscape plan shall include irrigation plans and staking and planting specifications. All landscape irrigation shall comply with the City's Landscape Ordinance and associated Water Efficiency Guidelines. The landscape plan is also subject to the following:
  - a. A complete, permanent, automatic remote control irrigation system shall be provided for all common area landscaping shown on the plan. The sprinklers shall be of low flow/precipitation sprinkler heads for water conservation.
  - b. The plan shall provide a mixture of a minimum of ten percent (10%) of the trees at 48-inch box, ten percent (10%) of the trees at 36-inch box, fifteen percent (15%) of the trees at 24-inch box, and sixty percent (60%) of the trees at 15-gallon, the remaining five percent (5%) may be of any size. These trees shall be incorporated into the landscaped frontages of all streets. Where clinging vines are considered for covering walls, Boston Ivy or other acceptable vines, shall be used.

- c. Trees planted within ten feet (10') of any public right of way shall be planted in a root barrier shield. All landscaping along street frontages adjacent to driveways shall be of the low height variety to ensure safe sight clearance. The street right-of-way plans may be modified to have the sidewalk adjacent to the curb, meeting City Standards, in order to minimize tree overhanging in the street.
  - d. The landscape treatment along the street frontages, including the area designated as public right-of-way, shall incorporate the landscape area between the sidewalk and the development wall with ground cover, shrubs and bushes, and trees that highlight the project's entrance as well as enhance the exterior appearance along Knott Street. The plant material for the entrances shall be the type to inhibit graffiti such as vines and dense growing shrubs and bushes, and shall be maintained.
  - e. All landscaping on-site shall be maintained by the property owner for the life of the project.
  - f. Final design and configuration of the landscaping and buffering along the 10'-0" wide planter area, which runs along the westerly side of the site, abutting the residentially developed properties to the west, shall be reviewed and approved by the Planning Division as part of the required landscape plans. The landscaping within this buffer area shall be dense with a variety of trees, shrubs, and other plant materials that effectively buffer any potential impacts from noise and light/glare.
43. Hours and days of construction and grading shall be as follows as set forth in the City of Garden Grove's Municipal Code Section 8.47.010 referred to as the County Noise Ordinance as adopted:
- a. Monday through Saturday - not before 7 a.m. and not after 8 p.m. (of the same day).
  - b. Sunday and Federal Holidays may work same hours, but subject to noise restrictions as stipulated in section 8.47.010 of the Municipal Code.
44. Any new or required block walls and/or retaining wall(s) shall be shown on the grading plans. Block walls shall be developed to City Standards or designed by a Registered Engineer and shall be measured from on-site finished grade. The applicant shall provide the following:
- a. Decorative masonry walls are required along the westernmost side of the site, abutting the residentially developed properties to the west, and shall be constructed to a minimum height of 6'-0", as measured from highest point of finished grade. These walls shall use decorative masonry or stucco

block with decorative caps, subject to the Community and Economic Development Department approval.

- b. The applicant shall make good faith efforts to work with the existing property owners along the project perimeter in designing and constructing the required perimeter block walls. The purposes of this requirement is to avoid having double walls and minimize any impact that it might cause to the existing landscaping on the neighbor's side as much as possible. The perimeter block wall shall be constructed and situated entirely within the subject property. In the event that the applicant cannot obtain approval from the other property owners, the applicant shall construct the new wall with a decorative cap to be placed between the new and existing walls. In the event the location of a new wall adjacent to an existing wall or fence has the potential to affect the landscape planter, then the applicant shall work with City Staff to address this situation. The Community and Economic Development Director shall be authorized to approve minor alterations the size and/or location of the landscape planter to accommodate the placement of such wall.
45. Construction activities shall adhere to SCAQMD Rule 403 (Fugitive Dust) that includes dust minimization measures, the use of electricity from power poles rather than diesel or gasoline powered generators, and the use methanol, natural gas, propane or butane vehicles instead of gasoline or diesel powered equipment, where feasible. Also, the use of solar or low-emission water heaters, and use of low-sodium parking lot lights, and to ensure compliance with Title 24.
  46. The applicant shall submit detailed plans showing the proposed location of utilities and mechanical equipment to the Community and Economic Development Department for review and approval prior to Building and Safety Division Plan Check. The project shall also be subject to the following:
    - a. All on-site and off-site utilities (off-site refers to the areas within public right-of-way to the center line of the streets adjacent to the subject property) within the perimeter of the site and to the centerline of the adjacent streets shall be installed or relocated underground.
    - b. Above-ground utility equipment (e.g., electrical, gas, telephone, cable TV) shall not be located in the street setbacks or any parking areas, and shall be screened to the satisfaction of the Community and Economic Development Department.
    - c. No roof-mounted mechanical equipment, including but not limited to dish antennas, shall be permitted unless a method of screening complementary to the architecture of the building is approved by the Community and Economic Development Department prior to the issuance of building

permits. Said screening shall block visibility of any roof-mounted mechanical equipment from view of public streets and surrounding properties.

47. All ground- or wall-mounted mechanical equipment shall be screened from view from any place on or off the site.
48. Building color and material samples shall be submitted to the Planning Division for review and approval prior to issuance of building permits.
49. All exterior finishes of the new building addition shall match the exterior finishes of the existing building, to ensure architectural compatibility.
50. The vehicular access gate at the northwest corner of the site (at the terminus of the Brady Way public street) shall remain closed/locked, shall be fitted with a Knox box, and shall be used for emergency access only (i.e., by the Orange County Fire Authority).
51. All lighting structures shall be placed so as to confine direct rays to the subject property. All exterior lights shall be reviewed and approved by the Planning Division. Lighting adjacent to residential properties shall be restricted to low decorative type wall-mounted lights, or a ground lighting system. Lighting shall be provided throughout all private drive aisles and entrances to the development per City standards for street lighting. Lighting in the common areas shall be directed, positioned, or shielded in such manner so as not to unreasonably illuminate the window area of nearby residences.
52. The applicant shall implement the Mitigation Monitoring and Reporting Program as identified in the adopted Mitigated Negative Declaration, and shall provide updates about the implementation process to the City of Garden Grove, Community Department until completion of the project.
53. The applicant shall, as a condition of Project approval, at its sole expense, defend, indemnify and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, employees and/or consultants, which action seeks to set aside, void, annul or otherwise challenge any approval by the City Council, Planning Commission, or other City decision-making body, or City staff action concerning Planned Unit Development No. PUD-104-70 (REV. 2019) and Site Plan No. SP-079-2019 (collectively, the "Project entitlements"), and/or the adopted Mitigated Negative Declaration and the associated Mitigation Monitoring and Reporting Program for the Project. The applicant shall pay the City's defense costs, including attorney fees and all other litigation related expenses, and shall reimburse the City for court costs, which the City may be required to pay as a result of such defense. The applicant shall defend the City with legal counsel mutually selected by the applicant and the office of the City

Attorney and shall further pay any adverse financial award, which may issue against the City, including but not limited to any award of attorney fees to a party challenging such project approval.

54. The Conditions of Approval set forth herein include certain development impact fees and other exactions. Pursuant to Government Code §66020(d), these Conditions of Approval constitute written notice of the amount of such fees. To the extent applicable, the applicant is hereby notified that the 90-day protest period, commencing from the effective date of approval of Site Plan No. SP-079-2019 has begun.

GARDEN GROVE PLANNING COMMISSION  
Council Chamber, Community Meeting Center  
11300 Stanford Avenue, Garden Grove, CA 92840

Meeting Minutes  
Thursday, December 5, 2019

CALL TO ORDER: 7:05 p.m.

ROLL CALL:

Chair Lehman  
Vice Chair Ramirez  
Commissioner Le  
Commissioner Lindsay  
Commissioner Nguyen  
Commissioner Perez  
Commissioner Soeffner

Absent: Perez

Commissioner Perez joined the meeting at 7:11 p.m.

PUBLIC HEARING – MITIGATED NEGATIVE DECLARATION, MITIGATION MONITORING AND REPORTING PROGRAM, PLANNED UNIT DEVELOPMENT NO. PUD-104-70 (REV. 2019), AND SITE PLAN NO. SP-079-2019 FOR PROPERTY LOCATED AT 12821 KNOTT STREET, NORTHWEST CORNER OF KNOTT STREET AND ACACIA AVENUE, INCLUDING THAT PORTION OF BRADY WAY, WHICH FRONTS ALONG THE WESTERLY PROPERTY LINE OF THE SUBJECT SITE.

Applicant: REXFORD INDUSTRIAL REALTY, LP  
Date: December 5, 2019

Request: To amend Planned Unit Development No. PUD-104-70 to facilitate an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space. Also, a request for Site Plan approval to construct a 45,335 square foot one-story addition of industrial space to the existing 119,836 square foot industrial building, along with associated site improvements. The site is in the Planned Unit Development No. PUD-104-70 zone. The Planning Commission will also consider a recommendation that the City Council adopt a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the project.

Action: Public Hearing held. Speaker(s): James Long, George Brietigam



Action: Resolution Nos. 5973-19 (PUD) and 5974-19 (SP) were approved.

Motion: Lindsay Second: Soeffner

Ayes: (7) Le, Lehman, Lindsay, Nguyen, Perez, Ramirez, Soeffner

Noes: (0) None

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GARDEN GROVE ADOPTING A MITIGATED NEGATIVE DECLARATION AND AN ASSOCIATED MITIGATION MONITORING AND REPORTING PROGRAM FOR THE INDUSTRIAL WAREHOUSE IMPROVEMENT PROJECT (PUD-104-70 (REV. 2019), SP-079-2019).

WHEREAS, Rexford Industrial Realty, L.P., the applicant, submitted a request to construct the 45,335 square foot one-story addition of industrial space to the existing 119,836 square foot industrial building, along with associated site improvements, on a 7.97-acre lot, located 12821 Knott Street, Assessor's Parcel No. 215-014-01, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site, collectively (the "Property"), which is owned by Rexford Industrial Realty, L.P.; and

WHEREAS, the applicant has requested the following approvals to facilitate the proposed development: (a) City Council adoption of Industrial Planned Unit Development No. PUD-104-70 (REV. 2019), for a 7.97-acre lot located at 12821 Knott Street (Assessor's Parcel No. 215-014-01), including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site, and currently zoned PUD-104-70, to allow and facilitate an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space; and (b) Planning Commission approval of Site Plan No. SP-079-2019 to construct the 45,335 square foot one-story addition of industrial space to the existing 119,836 square foot industrial building, along with associated site improvements (collectively, the "Project").

WHEREAS, proposed Planned Unit Development No. PUD-010-2019 would amend the City's official Zoning Map to change the zoning of the project site to PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, and to extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, incorporating the associated development standards for Planned Unit Development No. PUD-104-70 (REV. 2019) and applicable development standards of the M-P zone, set forth in the Garden Grove Municipal Code, as the applicable development standards for the Planned Unit Development; and the implementation provisions under Planning Commission Resolution No. 5974-19 for Site Plan No. SP-079-2019 and their associated Conditions of Approval, as the development plan for the Planned Unit Development; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et. seq., and the CEQA guidelines, 14 California Code of Regulations Sec. 15000 et. seq., an initial study was prepared and it has been determined that the proposed Project qualifies for a Mitigated Negative Declaration because the proposed Project with implementation of the proposed mitigation measures cannot, or will not, have a significant effect on the

environment. A Mitigation Monitoring and Reporting Program has been prepared and is attached to the Mitigated Negative Declaration listing the mitigation measures to be monitored during project implementation. The Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were prepared and circulated in accordance with CEQA and CEQA's implementing guidelines; and

WHEREAS, concurrent with its adoption of this Resolution, the Planning Commission adopted Resolution No. 5974-19 approving Site Plan No. SP-079-2019, contingent upon Garden Grove City Council adoption of a Mitigated Negative Declaration and Mitigation Monitoring Program for the Project, and adoption and effectiveness of an Ordinance approving Planned Unit Development No. PUD-104-70 (REV. 2019); and

WHEREAS, the Planning Commission, at a public hearing held on December 5, 2019, recommended that the City Council adopt a Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program for the Project. Pursuant to the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et. seq., and the CEQA guidelines, 14 California Code of Regulations Sec. 15000 et. seq., an initial study was prepared and it has been determined that the proposed Project qualifies for a Mitigated Negative Declaration because the proposed Project with implementation of the proposed mitigation measures cannot, or will not, have a significant effect on the environment. A Mitigation Monitoring and Reporting Program has been prepared and is attached to the Mitigated Negative Declaration listing the mitigation measures to be monitored during project implementation. The Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were prepared and circulated in accordance with CEQA and CEQA's implementing guidelines; and

WHEREAS, pursuant to a legal notice, a public hearing was held by the City Council on January 28, 2020, and all interested persons were given an opportunity to be heard; and

WHEREAS, the City Council gave due and careful consideration to the matter during its meeting of January 28, 2020.

NOW, THEREFORE, the City Council of the City of Garden Grove does hereby resolve as follows:

1. The City Council of the City of Garden Grove has considered the proposed Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program for the Project with any comments received during the public review process. The record of proceedings on which the City Council of the City of Garden Grove decision is based is located at the City of Garden Grove, 11222 Acacia Parkway, Garden Grove, California. The custodian of record of proceedings is the Director of Community Development. The City Council of the City of Garden Grove finds on the basis of the whole record before it, including the initial study and comments received, that all project impacts are at a level of insignificance. The City

Council further finds that the adoption of the Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program for the Project reflects the City Council's independent judgment and analysis. Therefore, the City Council of the City of Garden Grove adopts the Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program for the Project.

ORDINANCE NO.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GARDEN GROVE APPROVING PLANNED UNIT DEVELOPMENT NO. PUD-104-70 (REV. 2019), AMENDING PLANNED UNIT DEVELOPMENT NO. PUD-104-70 TO FACILITATE AN EXPANSION OF THE EXISTING INDUSTRIAL BUILDING, AND TO AMEND THE CITY'S OFFICIAL ZONING MAP TO CHANGE THE ZONING OF THE PROJECT SITE TO PUD-104-70 (REV. 2019), WITH M-P (INDUSTRIAL PARK) BASE ZONING, AND TO EXTEND AND COVER THE VACATED PORTION OF BRADY WAY, (THAT SOUTHERLY PORTION OF BRADY WAY, WHICH FRONTS ALONG THE WESTERLY PROPERTY LINE OF THE SUBJECT PROPERTY LOCATED AT 12821 KNOTT STREET), WITH PLANNED UNIT DEVELOPMENT NO. PUD-104-70 (REV. 2019) ZONING, WITH M-P (INDUSTRIAL PARK) BASE ZONING

**CITY ATTORNEY SUMMARY**

***This Ordinance approves an amendment to the City's Official Zoning Map to change the zoning of the project site to PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, and to extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning.***

THE CITY COUNCIL OF THE CITY OF GARDEN GROVE FINDS AND DETERMINES AS FOLLOWS:

WHEREAS, Rexford Industrial Realty, L.P., the applicant, submitted a request to construct the 45,335 square foot one-story addition of industrial space to the existing 119,836 square foot industrial building, along with associated site improvements, on a 7.97-acre lot, located 12821 Knott Street, Assessor's Parcel No. 215-014-01, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site, collectively (the "Property"), which is owned by Rexford Industrial Realty, L.P.; and

WHEREAS, the applicant has requested the following approvals to facilitate the proposed development: (a) City Council adoption of Industrial Planned Unit Development No. PUD-104-70 (REV. 2019), for a 7.97-acre lot located at 12821 Knott Street (Assessor's Parcel No. 215-014-01), including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site, and currently zoned PUD-104-70, to allow and facilitate an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space; and (b) Planning Commission approval of Site Plan No. SP-079-2019 to construct the 45,335 square foot one-story addition of industrial space to the existing 119,836 square foot industrial building, along with associated site improvements (collectively, the "Project").

WHEREAS, proposed Planned Unit Development No. PUD-010-2019 would amend the City's official Zoning Map to change the zoning of the project site to PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, and to extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, incorporating the associated development standards for Planned Unit Development No. PUD-104-70 (REV. 2019) and applicable development standards of the M-P zone, set forth in the Garden Grove Municipal Code, as the applicable development standards for the Planned Unit Development; and the implementation provisions under Planning Commission Resolution No. 5974-19 for Site Plan No. SP-079-2019 and their associated Conditions of Approval, as the development plan for the Planned Unit Development; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et. seq., and the CEQA guidelines, 14 California Code of Regulations Sec. 15000 et. seq., an initial study was prepared and it has been determined that the proposed Project qualifies for a Mitigated Negative Declaration because the proposed Project with implementation of the proposed mitigation measures cannot, or will not, have a significant effect on the environment. A Mitigation Monitoring and Reporting Program has been prepared and is attached to the Mitigated Negative Declaration listing the mitigation measures to be monitored during project implementation. The Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were prepared and circulated in accordance with CEQA and CEQA's implementing guidelines; and

WHEREAS, concurrent with its adoption of this Resolution, the Planning Commission adopted Resolution No. 5974-19 approving Site Plan No. SP-079-2019, contingent upon Garden Grove City Council adoption of a Mitigated Negative Declaration and Mitigation Monitoring Program for the Project, and adoption and effectiveness of an Ordinance approving Planned Unit Development No. PUD-104-70 (REV. 2019); and

WHEREAS, the Planning Commission, at a public hearing held on December 5, 2019, recommended that the City Council adopt a Mitigated Negative Declaration and an associated Mitigation Monitoring and Reporting Program for the Project. Pursuant to the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et. seq., and the CEQA guidelines, 14 California Code of Regulations Sec. 15000 et. seq., an initial study was prepared and it has been determined that the proposed Project qualifies for a Mitigated Negative Declaration because the proposed Project with implementation of the proposed mitigation measures cannot, or will not, have a significant effect on the environment. A Mitigation Monitoring and Reporting Program has been prepared and is attached to the Mitigated Negative Declaration listing the mitigation measures to be monitored during project implementation. The Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were prepared and circulated in accordance with CEQA and CEQA's implementing guidelines; and

WHEREAS, pursuant to a legal notice, a public hearing was held by the City Council on January 28, 2020, and all interested persons were given an opportunity to be heard; and

WHEREAS, the City Council gave due and careful consideration to the matter during its meeting of January 28, 2020.

WHEREAS, the City Council of the City of Garden Grove hereby makes the following findings regarding Planned Unit Development No. PUD-104-70 (REV. 2019):

A. The location of the building, including the proposed building addition, architectural design, and proposed use are compatible with the character of existing adjacent industrial, residential, commercial, and office and development in the vicinity, and the Project will be well-integrated into its setting. The Project is designed to be an attractive, modern industrial warehouse building that is within the allowable use of the Industrial Planned Unit Development zone. The proposed revision to the Industrial Planned Unit Development will facilitate an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space. The existing building façade will be renovated and the building, including the new addition portion, will be architecturally modern, contemporary, and aesthetically pleasing. The building elevations will consist of varying finishes and colors and materials including spandrel glass, metal panels and siding, and smooth concrete walls. The Project will include installation of new landscaping throughout the site, including all parking areas, as well as new landscaping along the westerly perimeter of the site, abutting the single-family developed properties to the west. The proposed project will renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building.

B. The plan will produce a stable and desirable environment and will not cause undue traffic congestion on surrounding streets. The design of the Project complies with the spirit and intent of the Garden Grove Municipal Code for industrial development. The City's Public Works Department, Engineering and Traffic Engineering Divisions, have reviewed the Project, and all appropriate conditions of approval have been incorporated to minimize any adverse impacts on surrounding streets. Additionally, as part of the Transportation Section of the Initial Study report prepared for the Mitigated Negative Declaration for the Project, the traffic impact analysis, which was conducted and prepared by a licensed traffic engineering firm, evaluated trip generation, and potential impacts to nearby key intersections in the surrounding roadway system. Based on the results of the traffic impact analysis, the proposed warehouse improvement project would not significantly impact any of the key intersections analyzed in the surrounding roadway system. The analysis methodology is based on the City of Garden Grove's traffic study criteria. Intersection operating conditions are defined in terms of "Level of Service" (LOS), a grading scale used to represent the quality of traffic flow

at an intersection. Level of Service ranges from LOS "A," representing free-flow conditions, to LOS "F," which indicates failing or severely congested traffic flow. The City of Garden Grove recognizes LOS "D" as the minimum satisfactory Level of Service during peak hour conditions. All nearby study intersections will continue to operate at acceptable levels of service (i.e., within the range of acceptable thresholds of LOS A through LOS D) during AM and PM peak hours, while the intersection of Knott Street and Garden Grove Boulevard will continue to operate at a deficient level of service (LOS F) during AM peak hours. A traffic study would typically be required by the City if the trip generation for a project was projected to increase by more than 50 trips during peak times. The trip generation rates in the report were based on the nationally referenced rates from the Institute of Transportation Engineers' (ITE) *Trip Generation* (10<sup>th</sup> Edition) – commonly referred to as the "ITE Manual". The analyses of the report found that the projected trip generation would be 36 trips during the AM peak hour and 42 trips during the PM peak hour. It should be noted that the site, prior to the Next Level Sports Complex indoor sports facility, had previously operated as an industrial warehouse, which is like-kind to the proposed operation/use as an industrial warehouse. The traffic impact analysis determined that the project's off-site traffic impact would not be considered significant at any of the study intersections. Therefore, no off-site intersection mitigation measures were deemed necessary for the development of the proposed Project. The City's Traffic Engineering Division reviewed the Initial Study's traffic impact analysis and concurred with the report's findings.

C. Provision is made for both public (communal – active and passive recreation spaces) and private open spaces. The subject 6.97-acre lot is located in an area that is adjacent to a Planned Unit Development (PUD), in operation as a wedding chapel facility, to the north; a professional office PUD and the Garden Grove (22) Freeway on-ramp to the south; R-1 (Single-Family Residential) zoned properties developed with single-family residences, to the west; and M-P (Industrial Park) zoned properties developed with industrial buildings, across Knott Street, to the east. Planned Unit Development No. PUD-104-70 (REV. 2019) would permit the development of the property, thereby facilitating the expansion of the existing industrial building, in accordance with the proposed Site Plan (SP-079-2019) for the Project. The existing Industrial Planned Unit Development will maintain and improve its compatibility with existing developments in the vicinity by wholly improving the site by proposing to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building. A sufficient landscape buffer will be provided within the 10'-0" wide landscape planter area along the westerly perimeter of the site facing the existing single-family developed properties to the west, to ensure adequate buffering of any potential noise and light/glare impacts. The new building addition will maintain setbacks of 54'-10" to the northerly property line, between 125'-0" to 150'-0" to the residential property lines to the west (the west side of the vacated Brady Way street), and at least 66'-9" to the easterly property line, facing Knott Street. The proposed industrial warehouse improvement project will provide adequate parking, vehicular and pedestrian circulation for access to and from the site, and new landscaping.



D. Provision is made for the protection and maintenance of areas reserved for common use. The subject 6.97-acre lot is located in an area that is adjacent to a Planned Unit Development (PUD), in operation as a wedding chapel facility, to the north; a professional office PUD and the Garden Grove (22) Freeway on-ramp to the south; R-1 (Single-Family Residential) zoned properties developed with single-family residences, to the west; and M-P (Industrial Park) zoned properties developed with industrial buildings, across Knott Street, to the east. Planned Unit Development No. PUD-104-70 (REV. 2019) would permit the development of the property, thereby facilitating the expansion of the existing industrial building, in accordance with the proposed Site Plan (SP-079-2019) for the Project. The existing Industrial Planned Unit Development will maintain and improve its compatibility with existing developments in the vicinity by wholly improving the site by proposing to renovate, revitalize, and improve the existing site with parking lot improvements, landscape installations and rehabilitation, interior and exterior façade improvements, along with the proposed industrial building addition at the north end of the existing building. A sufficient landscape buffer will be provided within the 10'-0" wide landscape planter area along the westerly perimeter of the site facing the existing single-family developed properties to the west, to ensure adequate buffering of any potential noise and light/glare impacts. The new building addition will maintain setbacks of 54'-10" to the northerly property line, between 125'-0" to 150'-0" to the residential property lines to the west (the west side of the vacated Brady Way street), and at least 66'-9" to the easterly property line, facing Knott Street. The proposed industrial warehouse improvement project will provide adequate parking, vehicular and pedestrian circulation for access to and from the site, and new landscaping. Through the conditions of approval for the Project, all necessary agreements for the protection and maintenance of private areas reserved for common use will be in place prior to the start of construction and will be required to be adhered to for the life of the Project.

E. The quality of the Project achieved through the original Planned Unit Development (PUD-104-70) zoning was greater than could be achieved under the zoning requirements at the time of approval. The Project was designed to create a industrial development with a mix of commercial and office uses. The Project proposes an expansion to the existing industrial building, along with various site improvements, which include new and rehabilitated landscape installations, interior and exterior façade improvements to the building, and parking lot improvements. The Project meets City Code standards for parking, vehicle (including emergency) access and circulation, and landscaping. Through the residential Planned Unit Development, and the flexibility in site design it accommodates, the proposed Project provides a greater quality development by utilizing certain modifications to traditional strict zoning standards, which include, but are not limited to: reduced landscape area requirements for the total site; allowances for additional commercial and office type uses as part of the industrial Planned Unit Development; reduced parking requirements for specific uses; and increased sign area allowances. The PUD zoning allows the Project to utilize these existing established standards to have an overall quality that is greater than the current zoning as it allows a better utilized site.

F. Proposed Planned Unit Development No. PUD-010-2019 is consistent with the General Plan. As part of the Project, the City's official Zoning Map would be amended to change the zoning of the project site to PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, and to extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning. The zoning of the site is consistent with the General Plan Land Use designation of Industrial/Commercial Mixed Use. The Medium Density Residential (MDR) Land Use Designation is intended to provide for a mix of industrial and commercial uses.

G. Proposed adoption of Planned Unit Development No. PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning, will promote the public interest, health, safety and welfare. In conjunction with the proposed adoption of Planned Unit Development No. PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning, the proposed industrial warehouse improvement project will ensure that the future use and development of the property will be consistent with the use and development permitted on nearby properties within the City of Garden Grove.

H. The subject parcel, including that vacated southerly portion of Brady Way, which fronts along the westerly property line of the subject site, covered by the proposed amendment to the Zoning Map are physically suitable for Planned Unit Development No. PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning. The adoption of Planned Unit Development No. PUD-104-70 (REV. 2019), with M-P (Industrial Park) base zoning, for the Property would facilitate an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space, along with associated site improvements. The site is a large contiguous site with access to all necessary public infrastructure to adequately serve the development. The subject site, and proposed development, is large enough to accommodate the required parking on-site. The General Plan Land Use designation for the subject property is Industrial/Commercial Mixed Use, which is intended to provide for a mix of industrial and commercial uses.

I. The parcels covered by the proposed amendment to the Zoning Map are compatible with surrounding land uses, and the proposed zoning of the site to Industrial Planned Unit Development zoning (PUD-104-70 (REV. 2019)), with M-P (Industrial Park) base zoning, will ensure a degree of compatibility with the surrounding properties and uses. Surrounding properties contain single-family residential housing, multi-family residential housing, commercial, office, and industrial uses. Adoption of Industrial Planned Unit Development zoning (PUD-104-70 (REV. 2019)), with M-P (Industrial Park) base zoning, for the Property would facilitate an expansion of the existing 119,836 square foot industrial building with the construction of a 45,335 square foot one-story addition of industrial space, along with associated site improvements. A Planned Unit Development (PUD) is a precise plan, adopted by ordinance that provides the means for the regulation of buildings, structures and uses of land in order to facilitate the implementation of the

General Plan. Pursuant to Garden Grove Municipal Code Section 9.16.030, the regulations of the planned unit development are intended to provide for a diversity of uses, relationships, and open spaces in an innovative land plan and design, while ensuring compliance with, and meeting the intent of, the provisions of the Municipal Code. The proposed zoning of the site is consistent with the General Plan Land Use designation of Industrial/Commercial Mixed Use.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GARDEN GROVE DOES ORDAIN AS FOLLOWS:

Section 1. The above recitals are true and correct.

Section 2. The facts and reasons stated in Planning Commission Resolution No. 5973-19 recommending approval of Planned Unit Development No. PUD-104-70 (REV. 2019), a copy of which is on file in the Office of the City Clerk, are hereby incorporated herein by reference with the same force and effect as if set forth in full.

Section 3. Planned Unit Development No. PUD-104-70 (REV. 2019) is hereby approved.

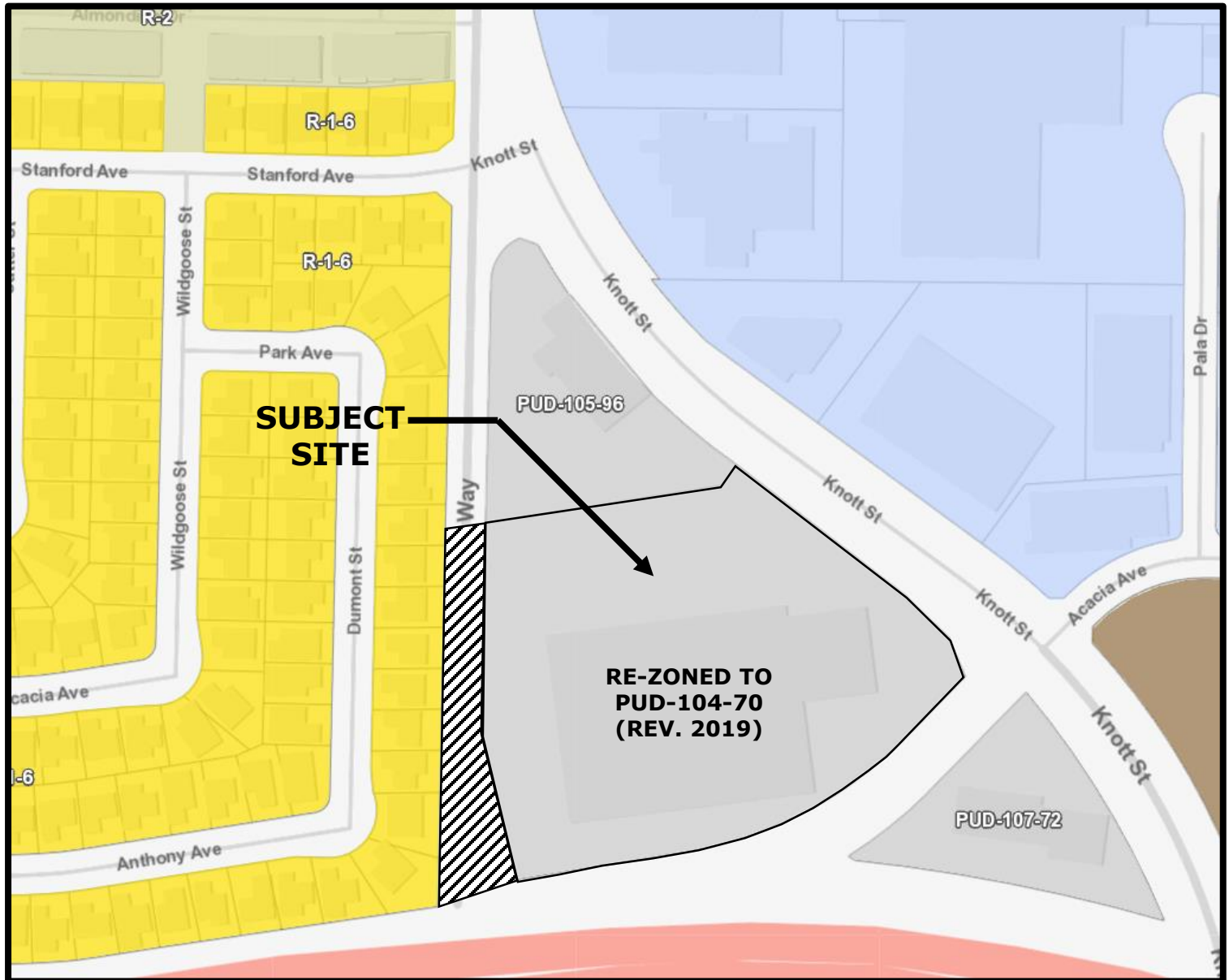
Section 4. Approval of Planned Unit Development No. PUD-104-70 (REV. 2019) will change the zoning of the project site to PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, and will extend and cover the now vacated portion of Brady Way (that southerly portion of Brady Way, which fronts along the westerly property line of the property) with PUD-104-70 (REV. 2019) zoning, with M-P (Industrial Park) base zoning, as shown on the attached map. Zoning Map parts G-12 and H-12 are amended accordingly.

Section 5. Severability. If any section, subsection, subdivision, sentence, clause, phrase, word, or portion of this Ordinance is, for any reason, held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council hereby declares that it would have adopted this Ordinance and each section, subsection, subdivision, sentence, clause, phrase, word, or portion thereof, irrespective of the fact that any one or more sections, subsections, subdivisions, sentences, clauses, phrases, words, or portions thereof be declared invalid or unconstitutional.


Section 6. The Mayor shall sign and the City Clerk shall certify to the passage and adoption of this Ordinance and shall cause the same, or the summary thereof, to be published and posted pursuant to the provisions of law and this Ordinance shall take effect on the later of (i) the date that is thirty (30) days after adoption, or (ii) the date Planned Unit Development No. PUD-104-70 (REV. 2019) becomes effective.



# PLANNED UNIT DEVELOPMENT NO. PUD-104-70 (REV. 2019)



## LEGEND

 COVER THAT SOUTHERN PORTION OF BRADY WAY, WHICH FRONTS ALONG THE WESTERLY PROPERTY LINE OF THE SUBJECT SITE, WITH PUD-104-70 (REV. 2019) ZONING, WITH M-P (INDUSTRIAL PARK) BASE ZONING.

## NOTES

SUBJECT SITE ADDRESS: 12821 KNOTT STREET  
(APN: 215-014-01)

**CITY OF GARDEN GROVE**  
**COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT**  
**PLANNING DIVISION**  
**GIS SYSTEM**  
**JANUARY 2020**

# **INITIAL STUDY & MITIGATED NEGATIVE DECLARATION**

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## **WAREHOUSE IMPROVEMENT PROJECT 12821 KNOTT STREET GARDEN GROVE, CALIFORNIA**



**LEAD AGENCY:**

**CITY OF GARDEN GROVE  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING SERVICES DIVISION  
11222 ACACIA PARKWAY  
GARDEN GROVE, CALIFORNIA 92840**

**REPORT PREPARED BY:**

**BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING  
2211 HACIENDA BOULEVARD, SUITE 107  
HACIENDA HEIGHTS, CA 91745**

**NOVEMBER 5, 2019**

GGRO 016

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## MITIGATED NEGATIVE DECLARATION

**Title of Project:** Warehouse Improvement Project, 12821 Knott Street, Garden Grove.

**Brief Description of Project:** The proposed project involves the addition to an existing warehouse building in the City of Garden Grove. The project site's legal address is 12821 Knott Street. The project site is located on the west side of Knott Street and north of the Garden Grove Freeway (SR-22). The building that currently occupies the project site was constructed in 1971 and is currently vacant, though the building's previous tenant was Next Level Sports, an indoor recreational sports organization. A portion of Brady Way extends along the site's west side and this portion of the street's right-of-way will be included as a part of the proposed project since that portion of Brady Way will be vacated. Key elements of the proposed project include the following:

- According to the most recent site plan prepared for the proposed project by John Cataldo Associates, the project site (including the vacated portion of Brady Way) has a total area of 347,385 square feet (7.97 acres).<sup>1</sup> According to the ALTA Survey that was prepared for the project site (the size of the property was then later confirmed through a title search and a search through the Orange County Tax Assessor), the project site in its current state totals 303,629 square feet. The segment of Brady Way that will be vacated and incorporated into the project site encompasses 43,756 square feet. The project site is currently developed with an existing one-story warehouse building with a total floor area of 119,836 square feet. Of the existing floor area, 20,000 square feet is a two-story office. This existing building will remain.
- The proposed improvements involve the construction of a new building addition to the north side of the existing warehouse. The proposed building addition will have a total floor area 45,335 square feet, which will bring the total floor area of the main building to 165,171 square feet.
- In addition, the proposed project will have a total of 168 parking stalls, which exceeds the City's off-site parking requirement of 166 parking stalls. The proposed project will also provide 31 truck loading spaces: 27 dock high spaces and four grade level spaces.

The discretionary approvals that are being requested by the project Applicant include the vacation of a portion of Brady Way which fronts along the westerly side of the subject site, a Site Plan, a revision to Planned Unit Development No. PUD-104-70, and the adoption of the Mitigated Negative Declaration (MND) and associated Mitigation Monitoring and Reporting Program (MMRP).

**Project Location (see also attached map):** The project site is located in the west-central portion of the City of Garden Grove. The project site is located on the west side of Knott Avenue and north of the Garden Grove Freeway (SR-22). The project site's legal address is located at 12821 Knott Street.

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<sup>1</sup> John G Cataldo & Associates. *Conceptual Site Plan*. Site plan was received October 1, 2019 from Ms. Merlina Joeng.





**PROJECT LOCATION MAP**  
SOURCE: QUANTUM GIS AND GOOGLE MAPS



**Name of the Project Proponent:** The project Applicant is Mr. James Long, Senior Construction Manager, Rexford Industrial, 333 City Boulevard West, Suite 705. Orange, California 92868

**Cortese List:** The project ☐ does ☒ does not involve a site located on the Cortese list.

**Project Impacts:** The Initial Study/MND found that the environmental effects from the proposed project would be less than significant with the incorporation of mitigation measures.

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## TABLE OF CONTENTS

<b>Environmental Checklist Form.....</b>	<b>11</b>
<b>1.0 Introduction.....</b>	<b>17</b>
1.1 Purpose of the Initial Study .....	17
1.2 Initial Study's Organization.....	18
1.3 Initial Study Checklist.....	18
<b>2.0 Project Description .....</b>	<b>27</b>
2.1 Project Overview .....	27
2.2 Project Location .....	27
2.3 Environmental Setting.....	27
2.4 Project Description .....	32
2.5 Discretionary Actions.....	37
<b>3.0 Environmental Analysis .....</b>	<b>39</b>
3.1 Aesthetics.....	40
3.2 Agricultural & Forestry Resources .....	42
3.3 Air Quality .....	44
3.4 Biological Resources .....	51
3.5 Cultural Resources .....	53
3.6 Energy .....	56
3.7 Geology & Soils.....	58
3.8 Greenhouse Gas Emissions .....	63
3.9 Hazards & Hazardous Materials .....	65
3.10 Hydrology & Water Quality .....	69
3.11 Land Use & Planning .....	73
3.12 Mineral Resources.....	76
3.13 Noise .....	77
3.14 Population & Housing.....	84
3.15 Public Services.....	85
3.16 Recreation.....	86
3.17 Transportation .....	87
3.18 Tribal Cultural Resources .....	106
3.19 Utilities & Service Systems .....	107
3.20 Wildfire .....	110
3.21 Mandatory Findings of Significance .....	112
<b>4.0 Conclusions.....</b>	<b>115</b>
4.1 Findings .....	115
4.2 Mitigation Monitoring & Reporting Program .....	115
<b>5.0 References .....</b>	<b>119</b>
5.1 Preparers .....	119
5.2 References .....	119

## TABLE OF CONTENTS (CONTINUED)

6.0	Appendices (Provided under a separate cover) .....	121
-----	--	-----

### LIST OF TABLES

Table		Page
1-1	Initial Study Checklist .....	19
2-1	Project Summary Table .....	33
3-1	Estimated Daily Construction Emissions .....	46
3-2	Estimated Operational Emissions in lbs/day – Unmitigated.....	47
3-3	Local Significance Thresholds Exceedance SRA 17 for 1-Acre of Disturbance .....	48
3-4	Operational Mobile Source Emissions from Trucks .....	50
3-5	Estimated Annual Energy Consumption .....	57
3-6	Greenhouse Gas Emissions Inventory .....	64
3-7	The Project Conformity with the PUD and City's Zoning Standards .....	76
3-8	Noise Measurement Results .....	79
3-9	Common Effects of Construction Vibration .....	82
3-10	Level of Service Definitions .....	88
3-11	Level of Service Description .....	88
3-12	Existing Conditions (2019) Level of Service Summary .....	92
3-13	2021 Pre-Project Conditions Level of Service Summary .....	98
3-14	Project Trip Generation .....	99
3-15	Future 2021 Level of Service Summary with Project .....	101
3-16	Future 2021 Level of Service Summary with and without Project .....	102
3-17	Water Consumption (gals/day).....	108
3-18	Wastewater (Effluent) Generation (gals/day).....	109
3-19	Solid Waste Generation (lbs/day).....	110
4-1	Mitigation-Monitoring Program .....	117

### LIST OF EXHIBITS

Exhibit		Page
2-1	Regional Map .....	28
2-2	Citywide Map.....	29
2-3	Local Map .....	30
2-4	Aerial Photograph .....	31
2-5	Conceptual Site Plan .....	35
2-6	Building Elevations .....	36
3-1	Sensitive Receptors Map.....	49
3-2	Seismic Hazards Map.....	60
3-3	General Plan Land Use Map.....	74
3-4	Zoning Map .....	75
3-5	Typical Noise Levels from Construction Equipment .....	78
3-6	Noise Measurement Location.....	80
3-7	Vicinity Map .....	89
3-8	Aerial view of Circulation Network .....	90
3-9	Existing Lane Configuration at Key Intersections .....	93
3-10	Existing 2019 Traffic Volumes at Key Intersections .....	94
3-11	Related Project Location and Distribution of Trips .....	96

## TABLE OF CONTENTS (CONTINUED)

<b>Exhibit</b>		<b>Page</b>
3-12	Future 2021 Pre-Project Traffic Volumes .....	97
3-13	Future 2021 Post-Project Cumulative Traffic Volumes .....	100
3-14	Project Traffic at Driveways .....	104

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## ENVIRONMENTAL CHECKLIST FORM

**1. PROJECT TITLE:** Warehouse Improvement Project (12821 Knott Street).

**2. LEAD AGENCY:**

City of Garden Grove  
11222 Acacia Parkway  
P.O. Box 3070  
Garden Grove, California 92840

**3. CONTACT PERSON:**

Chris Chung, Urban Planner  
Planning Services Division  
City of Garden Grove  
(714) 741-5312

**4. PROJECT LOCATION:**

The project site is located in the west central portion of the City of Garden Grove. The project site is located on the west side of Knott Street and north of the Garden Grove Freeway (SR-22). The project site's legal address is 12821 Knott Street.

**5. PROJECT SPONSOR:**

The project Applicant is Mr. James Long, Senior Construction Manager, Rexford Industrial, 333 City Boulevard West, Suite 705. Orange, California 92868.

**6. ENVIRONMENTAL SETTING:**

The proposed project involves an addition to the existing warehouse building that occupies the project site. The project site is located along the west side of Knott Street which is a major arterial roadway. The building that currently occupies the project site was constructed in 1971 and is currently vacant, though the building's previous tenant was Next Level Sports, an indoor recreational sports organization. The Garden Grove Freeway is located along the project site's south side. A portion of Brady Way, which extends along the site's west side, will be vacated and incorporated into the project site. A single-family residential neighborhood is located adjacent to the project site on the west. The Garden Room wedding chapel and banquet facility is located adjacent to the project site on the north. Knott Avenue extends along the project site's east side. Light industrial uses and a church (Calvary Chapel) is located further east, on the east side of Knott Avenue. The Garden Grove Freeway (SR-22) is located directly to the south of the project site.

## **7. GENERAL PLAN DESIGNATION:**

The project site is designated as *IC (Industrial Commercial Mixed Use)*. No General Plan Amendment will be required.

## **8. ZONING:**

The project site is zoned *PUD-104-70 (Planned Unit Development)*. A Zone Change will be required to cover the vacated portion of Brady Way with PUD-104-70 zoning, which is to be incorporated into the overall development site.

## **9. DESCRIPTION OF PROJECT:**

The proposed project involves the addition to an existing warehouse building in the City of Garden Grove. The project site is currently developed with an existing warehouse building with a total floor area of 119,836 square feet. Of the existing floor area, 20,000 square feet is a two-story office. This existing building will remain. The proposed improvements will involve the construction of a building addition on the north side of the existing warehouse. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the main building to 165,171 square feet. In addition, the proposed project will have a total of 168 parking stalls, which exceeds the City's off-site parking requirement of 166 parking stalls. The proposed project will also provide 31 truck loading spaces (the number of dock high spaces is identified on the proposed project's building elevations). Access to the project site will be provided by two existing driveway connections located along the west side of Knott Street.

## **10. OTHER AGENCIES WHOSE APPROVAL (AND PERMITS) ARE REQUIRED:**

The proposed project would require various ministerial approvals such as building permits, grading permits, occupancy permits, and a permit to connect to the City's water and sewer lines. The proposed project would also be required to submit a Notice of Intent to comply with the General Construction Activity NPDES Permit to the State Water Resources Control Board.

## **ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**

The environmental factors checked below could be potentially affected by the proposed project, involving at least one impact that is a "Potentially Significant Impact" or "Potentially Significant Unless Mitigated," as indicated by the checklist provided herein in Section 1.3 of the attached Initial Study.



CITY OF GARDEN GROVE • MITIGATED NEGATIVE DECLARATION & INITIAL STUDY  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

<input checked="" type="checkbox"/>	Aesthetics	<input checked="" type="checkbox"/>	Greenhouse Gas Emissions	<input type="checkbox"/>	Public Services
<input type="checkbox"/>	Agriculture & Forestry Resources	<input type="checkbox"/>	Hazards & Hazardous Materials	<input type="checkbox"/>	Recreation
<input checked="" type="checkbox"/>	Air Quality	<input type="checkbox"/>	Hydrology & Water Quality	<input checked="" type="checkbox"/>	Transportation
<input type="checkbox"/>	Biological Resources	<input type="checkbox"/>	Land Use & Planning	<input type="checkbox"/>	Tribal Cultural Resources
<input checked="" type="checkbox"/>	Cultural Resources	<input type="checkbox"/>	Mineral Resources	<input type="checkbox"/>	Utilities & Service Systems
<input type="checkbox"/>	Energy	<input checked="" type="checkbox"/>	Noise	<input type="checkbox"/>	Wildfire
<input type="checkbox"/>	Geology & Soils	<input type="checkbox"/>	Population & Housing	<input type="checkbox"/>	Mandatory Findings of Significance

**DETERMINATION**

<input type="checkbox"/>	I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the proposed project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/>	I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
<input type="checkbox"/>	I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Printed Name \_\_\_\_\_

For: City of Garden Grove

## EVALUATION OF ENVIRONMENTAL IMPACTS:

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency has cited in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the proposed project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the proposed project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take into account the whole of the action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
4. Negative Declaration: “Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less than Significant Impact.” The lead agency must describe the mitigation measures and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analysis,” as described in (5) below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration [Section 15063(c)(3)(D)]. In this case, a brief discussion should identify the following:
  - a) *Earlier Analysis Used.* Identify and state where they are available for review.
  - b) *Impacts Adequately Addressed.* Identify which effects from the above checklist were within the scope of, and adequately analyzed in, an earlier document pursuant to applicable legal standards, and state whether such efforts were addressed by mitigation measures based on the earlier analysis.
  - c) *Mitigation Measures.* For effects that are “Less than Significant with Mitigation Measures Incorporated,” describe the mitigating measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the proposed project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g. general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.

7. Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
8. This is only a suggested form and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a proposed project's environmental effects in whichever format is elected.
9. The explanation of each issue should identify:
  - a) The significance criteria or threshold, if any, used to evaluate each question; and,
  - b) The mitigation measure identified, if any, to reduce the impact to less than significant.

The potential impacts are summarized in Table 1-1 (Initial Study Checklist) and Section 3 of the attached Initial Study.



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## SECTION 1 INTRODUCTION

### 1.1 PURPOSE OF THE INITIAL STUDY

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The proposed project is a request by the Applicant for an addition to an existing warehouse building in the City of Garden Grove. The project site's legal address is located at 12821 Knott Street. The project site is currently developed with an existing warehouse building with a total floor area of 119,836 square feet. Of the existing floor area, 20,000 square feet is used as a two-story office. This existing building will remain. The proposed improvements will involve the construction of a building addition on the north side of the existing warehouse. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the main building to 165,171 square feet. In addition, the proposed project will have a total of 168 parking stalls, which exceeds the City's off-site parking requirement of 166 parking stalls. Of the total amount of parking stalls that will be provided, six stalls will be compliant with the Americans with Disabilities Act (ADA). The proposed project will also provide 31 truck loading spaces. A portion of Brady Way, which extends along the site's west side, will be vacated and incorporated into the project site. The proposed project is described further herein in Section 2.

The proposed use is considered to be a "project" under the California Environmental Quality Act (CEQA) because it has the potential, directly or indirectly, to result in a physical change in the environment.<sup>2</sup> The City of Garden Grove is the designated *Lead Agency* for the proposed project and the City will be responsible for the proposed project's environmental review. Section 21067 of CEQA defines a Lead Agency as the public agency that has the principal responsibility for carrying out or approving a project that may have a significant effect on the environment.<sup>3</sup> The project Applicant is Mr. James Long, Senior Construction Manager, Rexford Industrial, 333 City Boulevard West, Suite 705, Orange, California 92868.

As part of the proposed project's environmental review, the City of Garden Grove authorized the preparation of this Initial Study.<sup>4</sup> The primary purpose of CEQA is to ensure that decision-makers and the public understand the environmental impacts of a specific action or project. The purpose of this Initial Study is to ascertain whether the proposed project will have the potential for significant adverse impacts on the environment. Pursuant to the CEQA Guidelines, additional purposes of this Initial Study include the following:

- To provide the City of Garden Grove with information to use as the basis for deciding whether to prepare an environmental impact report (EIR), mitigated negative declaration, or negative declaration for a project;
- To facilitate the project's environmental assessment early in the design and development of the proposed project;
- To eliminate unnecessary EIRs; and,

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<sup>2</sup> California, State of. *Title 14. California Code of Regulations. Chapter 3. Guidelines for the Implementation of the California Environmental Quality Act (CEQA Guidelines)*. § 15060 (b).

<sup>3</sup> California, State of. *California Public Resources Code. Division 13, Chapter 2.5. Definitions*. § 21067.

<sup>4</sup> Ibid. (CEQA Guidelines) § 15050.

- To determine the nature and extent of any impacts associated with the proposed project.

Although this Initial Study was prepared with consultant support, the analysis, conclusions, and findings made as part of its preparation fully represent the independent judgment and position of the City of Garden Grove, in its capacity as the Lead Agency. The City also determined, as part of this Initial Study's preparation, that a Mitigated Negative Declaration is the appropriate environmental document for the proposed project's environmental review pursuant to CEQA.

This Initial Study and the *Notice of Intent to Adopt a Mitigated Negative Declaration* will be forwarded to responsible agencies, trustee agencies, and the public for review and comment. A 20-day public review period will be provided to allow these agencies and other interested parties to comment on the proposed project and the findings of this Initial Study.<sup>5</sup>

## **1.2 INITIAL STUDY'S ORGANIZATION**

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The following annotated outline summarizes the contents of this Initial Study:

- *Section 1 Introduction*, provides the procedural context surrounding this Initial Study's preparation and insight into its composition. This section also includes a checklist that summarizes the findings of this Initial Study.
- *Section 2 Project Description*, provides an overview of the existing environment as it relates to the project site and describes the proposed project's physical and operational characteristics.
- *Section 3 Environmental Analysis*, includes an analysis of potential impacts associated with the proposed project's construction and the subsequent occupancy.
- *Section 4 Findings*, indicates the conclusions of the environmental analysis and the Mandatory Findings of Significance. In addition, this section included the Mitigation Monitoring and Reporting Program (MMRP).
- *Section 5 References*, identifies the sources used in the preparation of this Initial Study.

## **1.3 INITIAL STUDY CHECKLIST**

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The environmental analysis provided in Section 3 of this Initial Study indicates that the proposed project will not result in any unmitigable, significant impacts on the environment. For this reason, the City of Garden Grove determined that a Mitigated Negative Declaration is the appropriate CEQA document for the proposed project. The findings of this Initial Study are summarized in Table 1-1 provided on the following pages.

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<sup>5</sup> California, State of. *California Public Resources Code. Division 13, Chapter 2.5. Definitions. Chapter 2.6, Section 21091(b).* 2000.

**Table 1-1**  
**Initial Study Checklist**

Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less than Significant Impact	No Impact
<b>SECTION 3.1 AESTHETICS</b> Except as provided in Public Resources Code Section 21099, would the project:				
<b>3.1.A.</b> Have a substantial adverse effect on a scenic vista?				<b>X</b>
<b>3.1.B.</b> Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway?				<b>X</b>
<b>3.1.C.</b> In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publically accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?			<b>X</b>	
<b>3.1.D.</b> Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?			<b>X</b>	
<b>SECTION 3.2 AGRICULTURE AND FORESTRY RESOURCES</b> Would the project:				
<b>3.2.A.</b> Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				<b>X</b>
<b>3.2.B.</b> Conflict with existing zoning for agricultural use, or a Williamson Act Contract?				<b>X</b>
<b>3.2.C.</b> Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined in Public Resources Code §4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?				<b>X</b>
<b>3.2.D.</b> Result in the loss of forest land or conversion of forest land to a non-forest use?				<b>X</b>
<b>3.2.E.</b> Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?				<b>X</b>
<b>SECTION 3.3 AIR QUALITY</b> Would the project:				
<b>3.3.A.</b> Conflict with or obstruct implementation of the applicable air quality plan?			<b>X</b>	

**Table 1-1**  
**Initial Study Checklist**

Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less than Significant Impact	No Impact
<b>3.3.B.</b> Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?			<b>X</b>	
<b>3.3.C.</b> Expose sensitive receptors to substantial pollutant concentrations?			<b>X</b>	
<b>3.3.D.</b> Result in other emissions (such as those leading to odors adversely affecting a substantial number of people			<b>X</b>	
<b>SECTION 3.4 BIOLOGICAL RESOURCES</b> Would the project:				
<b>3.4.A.</b> Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?				<b>X</b>
<b>3.4.B.</b> Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?				<b>X</b>
<b>3.4.C.</b> Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				<b>X</b>
<b>3.4.D.</b> Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?				<b>X</b>
<b>3.4.E.</b> Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?			<b>X</b>	
<b>3.4.F.</b> Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?				<b>X</b>
<b>SECTION 3.5 CULTURAL RESOURCES</b> Would the project:				
<b>3.5.A.</b> Cause a substantial adverse change in the significance of a historical resource pursuant to §15064.5?				<b>X</b>
<b>3.5.B.</b> Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?		<b>X</b>		



**Table 1-1**  
**Initial Study Checklist**

Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less than Significant Impact	No Impact
<b>3.5.C.</b> Disturb any human remains, including those interred outside of dedicated cemeteries?			<b>X</b>	
<b>SECTION 3.6 ENERGY</b> Would the project:				
<b>3.6.A.</b> Result in a potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?			<b>X</b>	
<b>3.6.B.</b> Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?			<b>X</b>	
<b>SECTION 3.7 GEOLOGY AND SOILS</b> Would the project:				
<b>3.7.A.</b> Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving: Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. Strong seismic ground-shaking? Seismic-related ground failure, including liquefaction? Landslides?			<b>X</b>	
<b>3.7.B.</b> Result in substantial soil erosion or the loss of topsoil?			<b>X</b>	
<b>3.7.C</b> Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?			<b>X</b>	
<b>3.7.D.</b> Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?			<b>X</b>	
<b>3.7.E.</b> Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?				<b>X</b>
<b>3.7.F.</b> Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?			<b>X</b>	
<b>SECTION 3.8 GREENHOUSE GAS EMISSIONS</b> Would the project:				
<b>3.8.A.</b> Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?			<b>X</b>	
<b>3.8.B.</b> Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing emissions of greenhouse gases?			<b>X</b>	

**Table 1-1**  
**Initial Study Checklist**

Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less than Significant Impact	No Impact
<b>SECTION 3.9 HAZARDS AND HAZARDOUS MATERIALS</b> <i>Would the project:</i>				
<b>3.9.A.</b> Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?			<b>X</b>	
<b>3.9.B.</b> Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?			<b>X</b>	
<b>3.9.C.</b> Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?			<b>X</b>	
<b>3.9.D.</b> Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				<b>X</b>
<b>3.9.E.</b> For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?				<b>X</b>
<b>3.9.F.</b> Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				<b>X</b>
<b>3.9.G.</b> Expose people or structures, either directly or indirectly, to a significant risk of loss, injury, or death involving wild land fire?				<b>X</b>
<b>SECTION 3.10 HYDROLOGY AND WATER QUALITY</b> <i>Would the project:</i>				
<b>3.10.A.</b> Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?			<b>X</b>	
<b>3.10.B.</b> Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?			<b>X</b>	

**Table 1-1**  
**Initial Study Checklist**

Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less than Significant Impact	No Impact
<b>3.10.C.</b> Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner, which would: result in substantial erosion or siltation on- or off-site; substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site; create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or, impede or redirect flood flows?			<b>X</b>	
<b>3.10.D.</b> In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?			<b>X</b>	
<b>3.10.E.</b> Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?				<b>X</b>
<b>SECTION 3.11 LAND USE AND PLANNING</b> Would the project:				
<b>3.11.A.</b> Physically divide an established community?				<b>X</b>
<b>3.11.B.</b> Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?			<b>X</b>	
<b>SECTION 3.12 MINERAL RESOURCES</b> Would the project:				
<b>3.12.A.</b> Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the State?				<b>X</b>
<b>3.12.B.</b> Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan?				<b>X</b>
<b>SECTION 3.13 NOISE</b> Would the project:				
<b>3.13.A.</b> Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?		<b>X</b>		
<b>3.13.B.</b> Generation of excessive ground-borne vibration or ground-borne noise levels ?			<b>X</b>	
<b>3.13.C.</b> For a project located within the vicinity of a private airstrip or- an airport land use plan, or where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				<b>X</b>

**Table 1-1**  
**Initial Study Checklist**

Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less than Significant Impact	No Impact
<b>SECTION 3.14 POPULATION AND HOUSING</b> <i>Would the project:</i>				
<b>3.14.A.</b> <i>Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?</i>			<b>X</b>	
<b>3.14.B.</b> <i>Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?</i>				<b>X</b>
<b>SECTION 3.15 PUBLIC SERVICES.</b> <i>Would the project:</i>				
<b>3.15.A.</b> <i>Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for: Fire protection services; Police protection; Schools; Parks; other Governmental facilities?</i>			<b>X</b>	
<b>SECTION 3.16 RECREATION.</b> <i>Would the project:</i>				
<b>3.16.A.</b> <i>Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?</i>				<b>X</b>
<b>3.16.B.</b> <i>Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?</i>				<b>X</b>
<b>SECTION 3.17 TRANSPORTATION</b> <i>Would the project:</i>				
<b>3.17.A.</b> <i>Conflict with a program plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?</i>			<b>X</b>	
<b>3.17.B.</b> <i>Conflict or be inconsistent with CEQA Guidelines §15064.3 subdivision (b)?</i>			<b>X</b>	
<b>3.17.C.</b> <i>Substantially increases hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?</i>			<b>X</b>	
<b>3.17.D.</b> <i>Result in inadequate emergency access?</i>				<b>X</b>

**Table 1-1**  
**Initial Study Checklist**

Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less than Significant Impact	No Impact
<b>SECTION 3.18 TRIBAL CULTURAL RESOURCES.</b> <i>Would the project:</i>				
<b>3.18.A.</b> <i>Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is: Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or a resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resource Code Section 5024.1 In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American Tribe 5020.1(k)?</i>			<b>X</b>	
<b>SECTION 3.19 UTILITIES AND SERVICE SYSTEMS</b> <i>Would the project:</i>				
<b>3.19.A.</b> <i>Require or result in the relocation or construction of new or expanded water, or wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities or relocation of which could cause significant environmental impacts?</i>			<b>X</b>	
<b>3.19.B.</b> <i>Have sufficient water supplies available to serve the project and the reasonably foreseeable future development during normal, dry, and multiple dry years?</i>			<b>X</b>	
<b>3.19.C.</b> <i>Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has inadequate capacity to serve the project's projected demand in addition to the provider's existing commitments</i>			<b>X</b>	
<b>3.19.D.</b> <i>Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?</i>			<b>X</b>	
<b>3.19.E.</b> <i>Comply with Federal, State, and local management and reduction statutes and regulations related to solid waste?</i>				<b>X</b>
<b>SECTION 3.20 WILDFIRE</b> <i>If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:</i>				
<b>3.20.A.</b> <i>Substantially impair an adopted emergency response plan or emergency evacuation plan?</i>				<b>X</b>

**Table 1-1  
Initial Study Checklist**

Description of Issue	Potentially Significant Impact	Less than Significant Impact with Mitigation	Less than Significant Impact	No Impact
<b>3.20.B.</b> Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?			<b>X</b>	
<b>3.20.C.</b> Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines, or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?			<b>X</b>	
<b>3.20.D.</b> Expose people or structures to significant risks, including down slope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?				<b>X</b>
<b>SECTION 3.21 MANDATORY FINDINGS OF SIGNIFICANCE</b>				
<b>3.21.A.</b> Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?			<b>X</b>	
<b>3.21.B.</b> Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?			<b>X</b>	
<b>3.21.C.</b> Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?		<b>X</b>		



## SECTION 2 PROJECT DESCRIPTION

### 2.1 PROJECT OVERVIEW

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The proposed project is a request by the Applicant for an addition to an existing warehouse building in the City of Garden Grove. The project site's legal address is 12821 Knott Street. The project site is currently developed with an existing warehouse building that has a total floor area of 119,836 square feet. Of the existing floor area, 20,000 square feet is used as a two-story office. This existing building will remain. The proposed improvements will involve the construction of a building addition on the north side of the existing warehouse. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the main building to 165,171 square feet. In addition, the proposed project will have a total of 168 parking stalls, which exceeds the City's off-site parking requirement of 166 parking stalls. The proposed project will also provide 31 truck loading spaces.<sup>6</sup> A portion of Brady Way, which extends along the site's west side, will be vacated and incorporated into the project site. The proposed project is described in greater detail herein in Section 2.4.

### 2.2 PROJECT LOCATION

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The project site is located within the corporate boundaries of the City of Garden Grove. The City is located in the western portion of Orange County. Surrounding cities include Stanton on the west; Anaheim on the north; Orange and Santa Ana on the east; and Westminster and Santa Ana on the south.<sup>7</sup> Regional access to the City is provided by the Garden Grove Freeway (State Route [SR] 22) that extends through the City in an east-west orientation. The location of Garden Grove in a regional context is shown in Exhibit 2-1. A citywide map is provided in Exhibit 2-2. The project site is located in the west-central portion of the City. The project site is located on the west side of Knott Street and north of the Garden Grove Freeway (SR-22). A portion of Brady Way, which extends along the site's west side, will be vacated and incorporated into the project site. The project site's legal address is 12821 Knott Street. Regional access to the project site is provided by SR-22, located to the south of the project site.<sup>8</sup> A local map is provided in Exhibit 2-3.

### 2.3 ENVIRONMENTAL SETTING

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The proposed project involves an addition to the existing warehouse building that occupies the project site. The project site is located along the west side of Knott Street which is a major arterial roadway. The Garden Grove Freeway is located along the project site's south side. A portion of Brady Way, which extends along the site's west side, will be vacated and incorporated into the project site. A single-family residential neighborhood is located adjacent to the project site to the west of Brady Way. The Garden Room wedding chapel and banquet facility is located adjacent to the project site on the north. Knott Avenue extends along the project site's east side. Light industrial uses and a church (Calvary Chapel) is located further east, on the east side of Knott Avenue. An aerial photograph is provided in Exhibit 2-4.

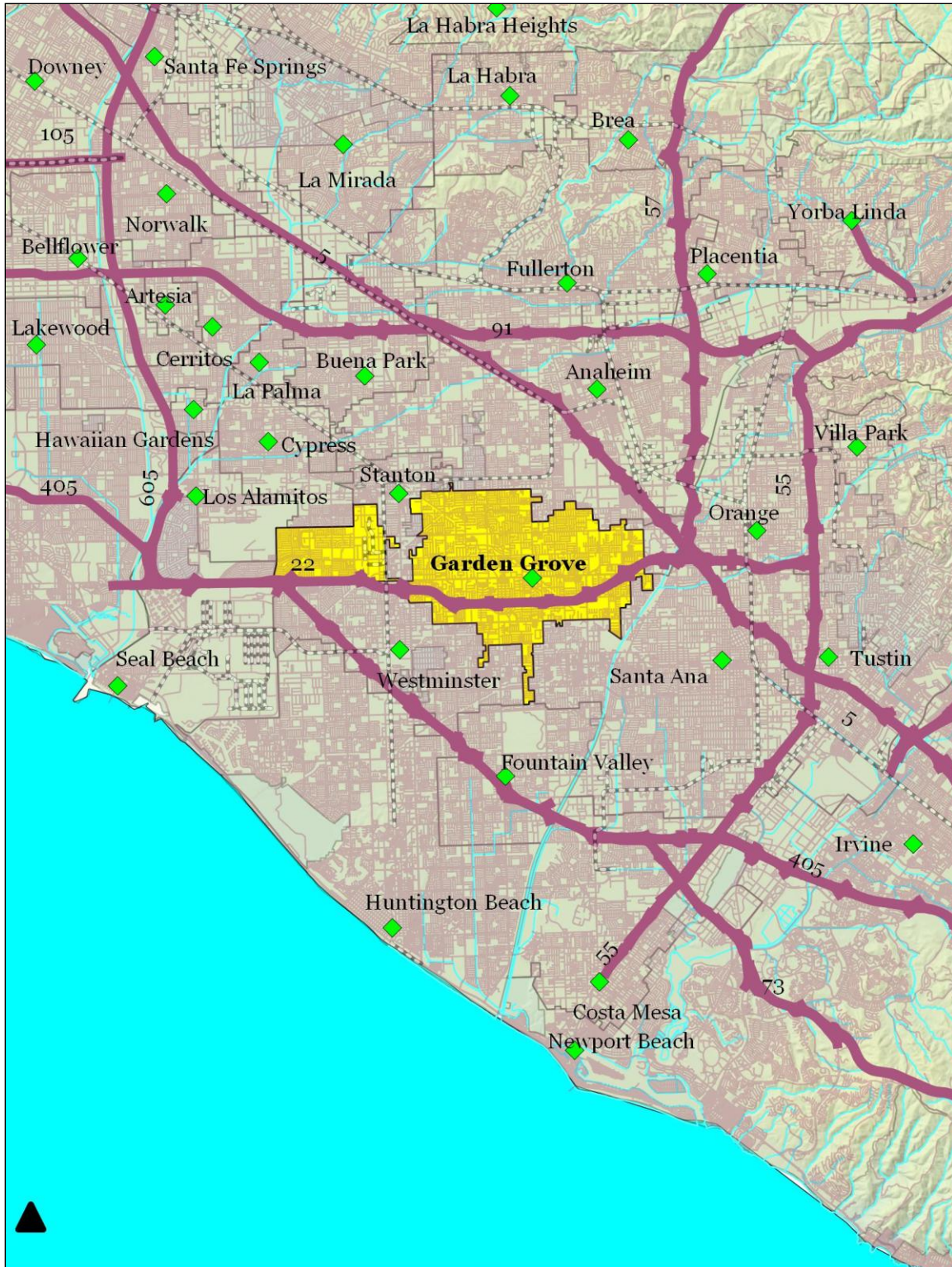
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<sup>6</sup> Cataldo and Associates. *Conceptual Site Plan*. Plan dated November 2018.

<sup>7</sup> Quantum GIS. Shapefile provided by the United States Bureau of the Census.

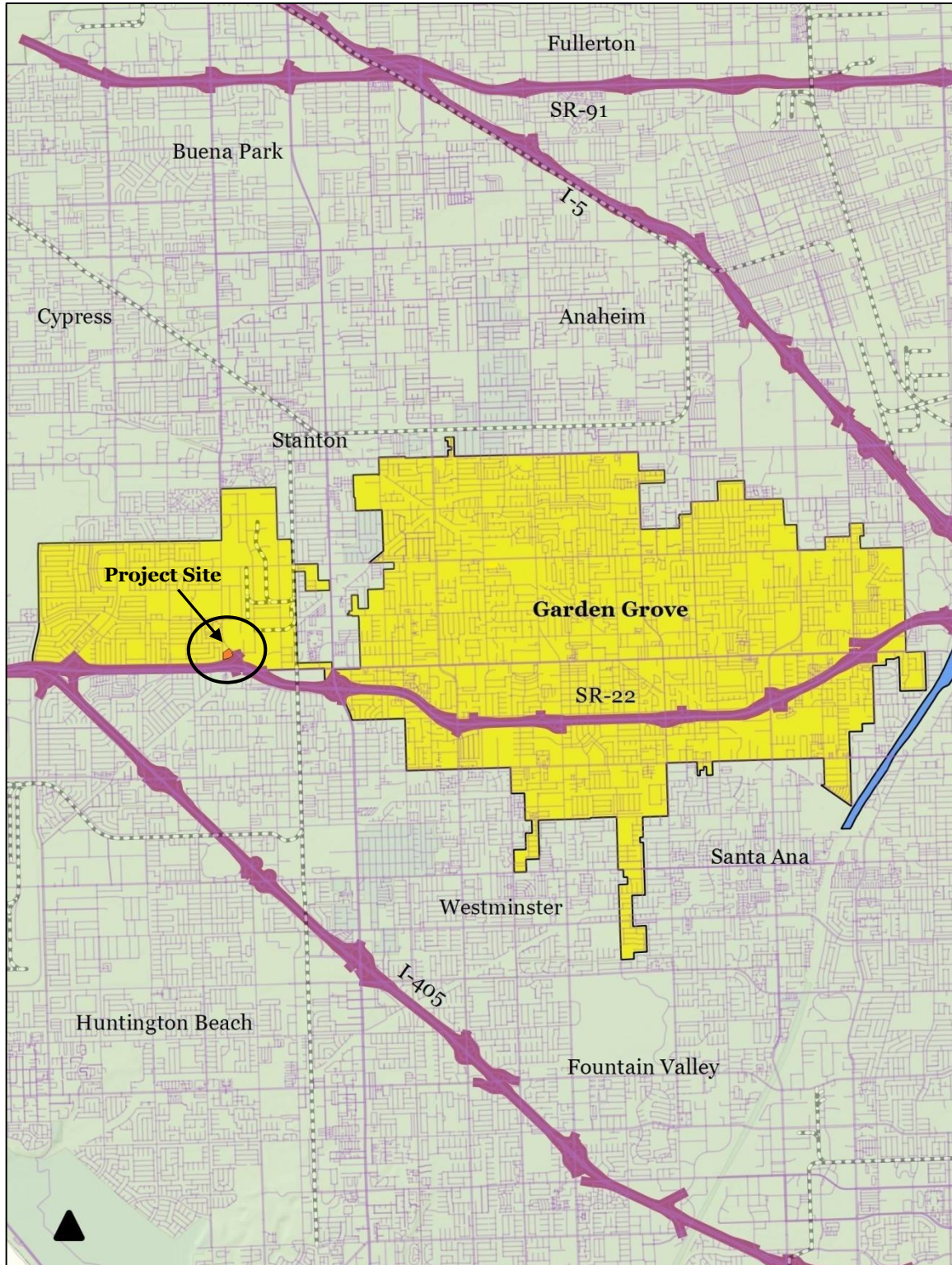
<sup>8</sup> Google Earth. Website accessed July 17, 2019.





**EXHIBIT 2-1**  
**REGIONAL MAP**  
SOURCE: QUANTUM GIS





**EXHIBIT 2-2**  
**CITYWIDE MAP**  
SOURCE: QUANTUM GIS





**EXHIBIT 2-3**  
**LOCAL MAP**  
SOURCE: QUANTUM GIS





**EXHIBIT 2-4**  
**AERIAL PHOTOGRAPH**  
SOURCE: GOOGLE EARTH

## 2.4 PROJECT DESCRIPTION

### 2.4.1 PHYSICAL CHARACTERISTICS

The proposed project is a request by the Applicant for an addition to an existing warehouse building in the City of Garden Grove. This existing building will remain. The proposed improvements will involve the construction of a building addition on the north side of the existing warehouse. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the main building to 165,171 square feet.

- *Site Plan.* According to the most recent site plan prepared for the proposed project by John Cataldo & Associates, the project site (including the vacated portion of Brady Way) has a total area of 347,385 square feet (7.97 acres).<sup>9</sup> According to the ALTA Survey that was prepared for the project site (the size of the property was then later confirmed through a title search and a search through the Orange County Tax Assessor), the project site in its current state totals 303,629 square feet. The segment of Brady Way that will be vacated and incorporated into the project site encompasses 43,756 square feet. The existing warehouse and office building consists of 119,836 square feet and is located in the south-central portion of the project site. The warehouse addition, consisting of 45,335 square feet, will be connected to the northern elevation to the existing warehouse building. The existing and proposed structural improvements are surrounded by an internal drive aisle and marked parking spaces. The truck receiving and maneuvering areas are located in the western portion of the site. The lot coverage of the site will be 44.45 percent. The maximum floor area ratio (FAR) is 0.50.
- *Existing Building.* The project site is currently developed with an existing warehouse building with a total floor area of 119,836 square feet including an existing 20,000 square foot, two story office mezzanine. The warehouse building is located in the south central portion of the project site. The office building is attached to the east-facing elevation of the warehouse building and is oriented towards Knott Street. The existing warehouse building includes a total of 20 truck loading docks along the west-facing elevations and one grade level door.
- *Proposed Building Improvements.* The proposed improvements involve the construction of a new building addition that will connect to the north-facing elevation of the existing warehouse building. The new addition will have a total footprint of 45,335 square feet. A total of seven (7) dock high doors and three (3) at-grade doors will be provided along the west facing elevation of the warehouse addition.
- *Site Access and Parking.* In addition, the proposed project will have a total of 168 parking stalls, which exceeds the City's off-site parking requirement of 166 parking stalls. Of this total, 143 spaces will be standard stalls, 25 spaces will be compact stalls, and eight will be compliant with the American's with Disabilities Act (ADA). The proposed project will also provide 16 electric vehicle (EV) charging stations. In addition, the proposed project will also provide 31 truck

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<sup>9</sup> John G Cataldo & Associates. *Conceptual Site Plan*. Site plan was received October 1, 2019 from Ms. Merlina Joeng.

loading spaces: 27 dock high loading spaces and four grade level loading spaces. The primary employee parking and visitor parking area is located in the eastern portion of the site near the office. Other parking will be provided along the site's perimeter. Access to the project site will be provided by two driveways located along the west side of Knott Street. The northernmost driveway will have a width of 45 feet while the southernmost driveway will have a width of 30 feet. A portion of Brady Way, which extends along the site's west side, will be vacated and incorporated into the project site.

- *Landscaping.* Approximately 23,398 square feet of landscaping will be provided within the site's perimeter, along the Knott Street frontage, within the parking area, and along the west side buffer area in that portion of the site that was previously occupied by Brady Way. The species that will be planted include Crape Myrtles, Mexican Fan Palms, Creeping Figs, among others.

The proposed project is summarized in Table 2-1 below. The proposed site plan is provided in Exhibit 2-5 and the building elevations are provided in Exhibit 2-6.

**Table 2-1**  
**Proposed Project Summary Table**

Project Element	Description
Site Area	347,385 sq. ft. (7.97 acres)
Lot Coverage	44%
Floor Area Ratio	0.50
Total Existing Building Area (in sq. ft.)	119,836 sq. ft.
Existing Warehouse Area (in sq. ft.)	99,836 sq. ft.
Existing Office Area (in sq. ft.)	20,000 sq. ft.
Proposed Building Addition Area	45,335 sq. ft.
Total Future Building Area (Existing + Proposed)	165,171 sq. ft.
Total Parking	168 spaces
Standard Spaces	143 spaces
Compact Spaces	25 spaces
Truck Loading Spaces	31 spaces
Landscaping	23,398 sq. ft.

**Source:** Cataldo and Associates. *Conceptual Site Plan*. Plan dated November 2018.

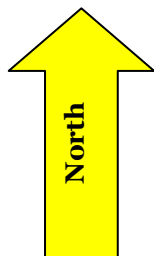
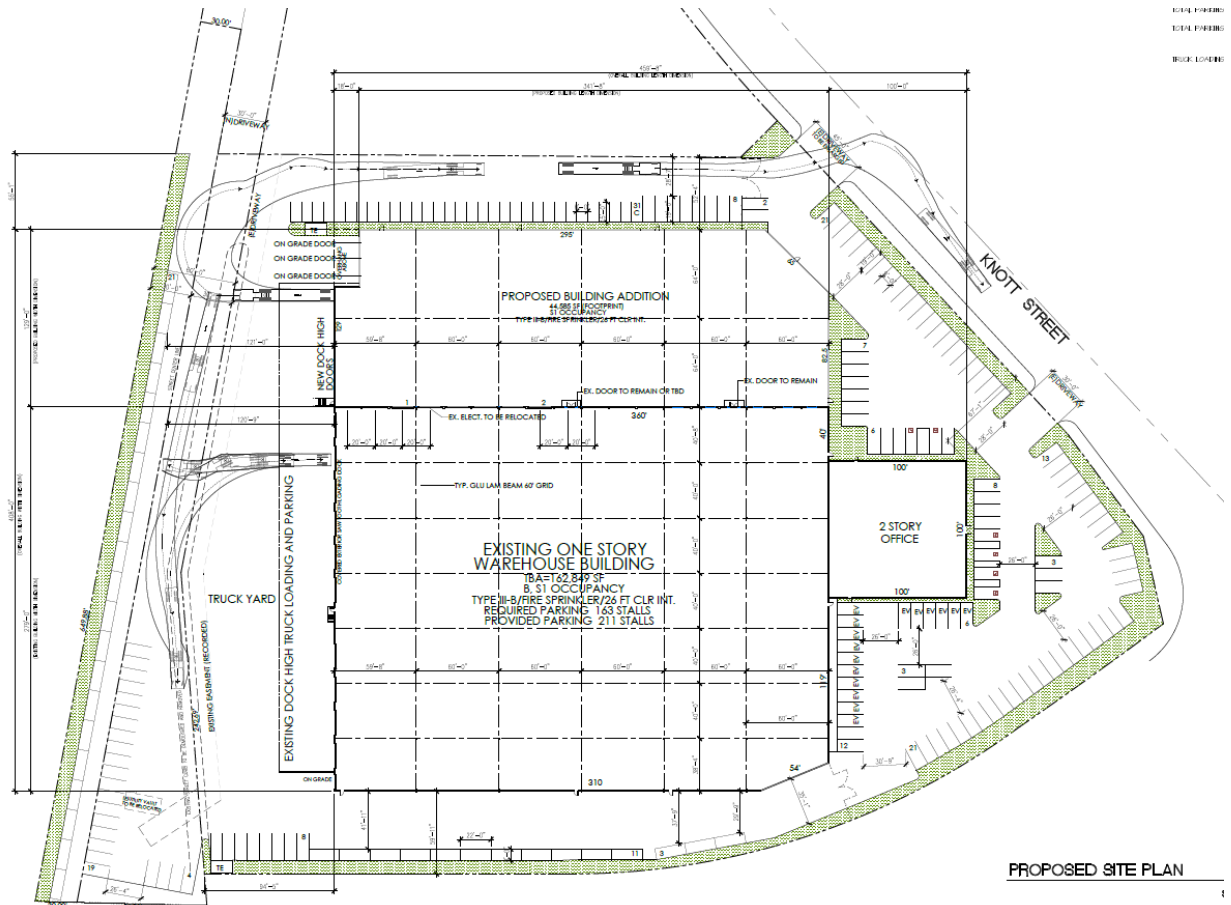
## 2.4.2 OPERATIONAL CHARACTERISTICS

The tenant has not yet been identified. The primary hours of operation will most likely be typical workday hours (e.g. Monday through Friday). However, the City's Zoning Ordinance does not dictate the hours of operation for industrial uses. Should the future tenant be involved in the use, handling, storage, or disposal of hazardous materials, the project Applicant will be required to apply for a Conditional Use Permit (CUP). The proposed project is estimated to result in the generation of up to 164 new jobs based on a ratio of one new job per 1,000 square feet of floor area.

### **2.4.3 CONSTRUCTION CHARACTERISTICS**

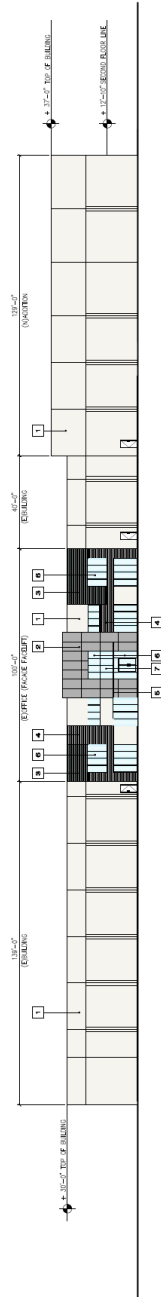
The construction of the phase for the proposed project would take approximately 11 months to complete. The key construction phases are outlined below:

- *Site Preparation.* The project site will be readied for the construction of the proposed project. This phase will take approximately one month to complete and will involve the removal of the pavement. The project site will be graded and trenched during this phase. This phase will take one month to complete.
- *Construction.* The proposed addition building addition will be constructed during this phase. This phase will take approximately six months to complete.
- *Paving.* This phase will involve the paving of the site. This phase will take approximately one month to complete.
- *Landscaping and Finishing.* This phase will involve the planting of landscaping and the completion of the on-site improvements. This phase will take approximately two months to complete.



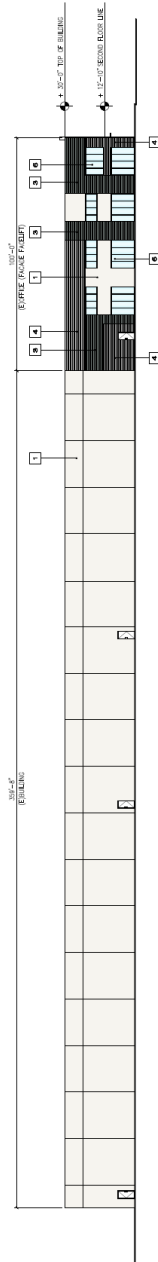
## EXHIBIT 2-5 CONCEPTUAL SITE PLAN

SOURCE: JOHN CATALDO



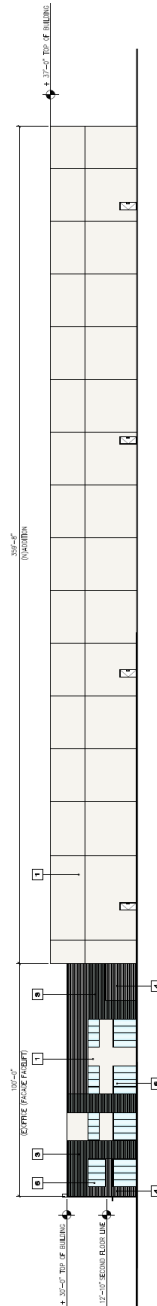
PROPOSED EAST ELEVATION

SCALE: 1" = 20'-0"



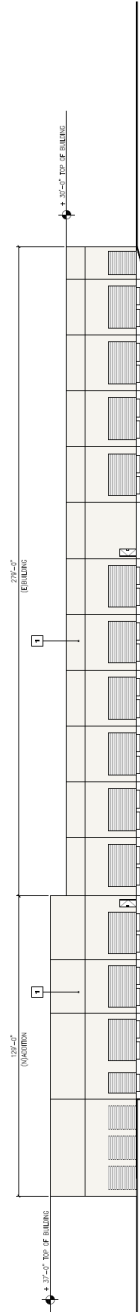
PROPOSED SOUTH ELEVATION

SCALE: 1" = 20'-0"



PROPOSED NORTH ELEVATION

SCALE: 1" = 20'-0"



PROPOSED WEST ELEVATION

SCALE: 1" = 20'-0"

## EXHIBIT 2-6 BUILDING ELEVATIONS

SOURCE: JOHN CATALDO



## 2.5 DISCRETIONARY ACTIONS

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A Discretionary Decision (or Action) is an action taken by a government agency (for the proposed project, the government agency is the City of Garden Grove) that calls for an exercise of judgment in deciding whether to approve a project. The discretionary approvals required for the proposed project include the following:

- A *Zone Change* (ZC) for that portion of Brady Way that will be vacated;
- A *Site Plan* for the construction of the addition and associated site improvements;
- The City Council must approve the vacation of Brady Way;
- The adoption of the *Mitigated Negative Declaration* that is required pursuant to CEQA; and,
- The adoption of the *Mitigation Monitoring and Reporting Program* that is required pursuant to CEQA.



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## SECTION 3 ENVIRONMENTAL ANALYSIS

This section of the Initial Study prepared for the proposed project analyzes the potential environmental impacts that may result from the proposed project's implementation. The issue areas evaluated in this Initial Study include the following:

- Aesthetics (Section 3.1);
- Agriculture and Forestry Resources (Section 3.2);
- Air Quality (Section 3.3);
- Biological Resources (Section 3.4);
- Cultural Resources (Section 3.5);
- Energy (Section 3.6);
- Geology and Soils (Section 3.7);
- Greenhouse Gas Emissions (Section 3.8);
- Hazards and Hazardous Materials (Section 3.9);
- Hydrology and Water Quality (Section 3.10);
- Land Use and Planning (Section 3.11);
- Mineral Resources (Section 3.12);
- Noise (Section 3.13);
- Population and Housing (Section 3.14);
- Public Services (Section 3.15);
- Recreation (Section 3.16);
- Transportation (Section 3.17);
- Tribal Cultural Resources (Section 3.18);
- Utilities and Service Systems (Section 3.19);
- Wildfire (Section 3.20); and,
- Mandatory Findings of Significance (Section 3.21).

Under each issue area, a description of the thresholds of significance is provided. These thresholds will assist in making a determination as to whether there is a potential for significant impacts on the environment. The analysis considers both the short-term (construction-related) and long-term (operational) impacts associated with the proposed project's implementation, and where appropriate, the cumulative impacts. To each question, there are four possible responses:

- *No Impact.* The proposed project will not result in any adverse environmental impacts.
- *Less than Significant Impact.* The proposed project may have the potential for affecting the environment, although these impacts will be below levels or thresholds that the City of Garden Grove or other responsible agencies consider to be significant.
- *Less than Significant Impact with Mitigation.* The proposed project may have the potential to generate a significant impact on the environment. However, the level of impact may be reduced to levels that are less than significant with the implementation of the recommended mitigation measures.
- *Potentially Significant Impact.* The proposed project may result in environmental impacts that are significant. This finding will require the preparation of an environmental impact report (EIR).

### 3.1 AESTHETICS

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#### 3.1.1 ANALYSIS OF ENVIRONMENTAL IMPACTS.

- A. *Would the project, except as provided in Public Resources Code Section 21099, have a substantial adverse effect on a scenic vista? • No Impact.*

A scenic vista is the view of an area that is visually or aesthetically pleasing from a certain vantage point. It is usually viewed from some distance away. Aesthetic components of a scenic vista include: (1) scenic quality; (2) sensitivity level; and (3) view access.

The project site is currently developed with an existing warehouse building with a total floor area of 119,836 square feet. Of the existing floor area, 20,000 square feet is a two-story office. This existing building will remain. The proposed improvements will involve the construction of a building addition on the north side of the existing warehouse. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the main building to 165,171 square feet.

Views of the San Gabriel Mountains and Santa Ana Mountains are already obstructed by the existing development located in the area. Therefore, no scenic vistas will be impacted with the implementation of the proposed project. A field survey conducted around the project site indicated that there are no scenic vistas located in the vicinity of the project site. In addition, there are no public parks in the area of the project site that would serve as scenic vistas. As a result, no impacts will result.

- B. *Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? • No Impact.*

According to the California Department of Transportation (Caltrans), Knott Street is not a designated scenic highway.<sup>10</sup> In addition, the vegetation present on-site consists of unmaintained ruderal species and the project site does not contain any scenic rock outcroppings.<sup>11</sup> Lastly, the project site is occupied by an existing warehouse, though the warehouse is currently unoccupied and devoid of tenants. In addition, this building is not listed in the State or National registrar (refer to Section 3.5). The proposed improvements will also include repainting of the existing building's wall surfaces, repaving of the surface asphalt and concrete areas, and the installation of new landscaping. In addition, the existing Brady Way right-of-way, which is poorly maintained, will be incorporated into the project site. These improvements to the existing site along with the new building addition will result in an improvement to the site's existing appearance. As a result, no impacts would occur.

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<sup>10</sup> California Department of Transportation. *Official Designated Scenic Highways*. [www.dot.ca.gov](http://www.dot.ca.gov)

<sup>11</sup> Blodgett Baylosis Environmental Planning. *Site survey*. Survey was conducted on July 18, 2019.

- C. *Would the project's location, in a non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publically accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?*
- *Less than Significant Impact.*

As indicated previously, the project site is currently occupied by an existing vacant building. The site is located within an urbanized area. The proposed project involves an addition to the existing warehouse building that occupies the project site. The project site is located along the west side of Knott Street which is a major arterial roadway. The Garden Grove Freeway is located along the project site's south side. A portion of Brady Way, which extends along the site's west side, will be vacated and incorporated into the project site. A single-family residential neighborhood is located adjacent to the project site to the west of Brady Way. The Garden Room wedding chapel and banquet facility is located adjacent to the project site on the north. Knott Avenue extends along the project site's east side. Light industrial uses and a church (Calvary Chapel) are located further east, on the east side of Knott Avenue.

The project site is zoned *PUD I (Planned Unit Development – Industrial 104-70)*. A Zone Change will be required for the vacated portion of Brady Way. With implementation of this zone change, the proposed project's use will be consistent with the applicable General Plan and Zoning designations. Since the proposed project's implementation will result in an improvement of the site's appearance, the potential impacts are considered to be less than significant.

- D. *Would the project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?* • *Less than Significant Impact.*

Exterior lighting can be a nuisance to adjacent land uses that are sensitive to this lighting. This nuisance lighting is referred to as *light trespass* which is typically defined as the presence of unwanted light on properties located adjacent to the source of lighting. The nearest light sensitive receptors to the project site are the single family homes located along the west side of the west of Brady Way. The project architect prepared a lighting and photometric study indicating the location and extent of new lighting. This study is presented in Appendix A. The plans indicate that ten exterior light poles would be installed in the exterior parking and circulation areas and 20 wall packs would be mounted on the exterior building walls. Of this new lighting, five light poles would be located within the west yard area between the warehouse building and the west property line that separates the project site from the homes located to the west.

The proposed project will be required to comply with the City's lighting requirements. The City of Garden Grove Zoning Ordinance (Section 9.16.040.200.B.4.c) states the following:

*"Lighting in the parking area shall be directed, positioned, or shielded in such a manner so as not to unreasonably illuminate the window area of nearby residences."*

The developer may utilize a number of design measures to accomplish this, including the use of light shielding, directing light downward, and employing lower intensity lighting. Conformance with the standard conditions required under the City's Zoning requirements will reduce the potential light and glare impacts to levels that are less than significant. The proposed project's lighting will not affect nearby sensitive receptors because all parking lot and exterior building lighting will be shielded and aimed downward toward the ground surface pursuant to Section 9.16.040.200.B.4.c of the Garden Grove Municipal Code. The photometric study supports this conclusion by indicating that the light intensity along the west boundary will be 0.0 lumens, which corresponds to the City's Code requirements. It is also important to note that new landscaping will be installed along the entire west property line which will further reduce potential light trespass. As a result, the impacts will be less than significant.

Glare is related to light trespass and is defined as visual discomfort resulting from high contrast in brightness levels. Glare-related impacts can adversely affect day or nighttime views. As with lighting trespass, glare is of most concern if it would adversely affect sensitive land use or driver's vision. The exterior façade would consist of non-reflective materials, such as concrete. As a result, no daytime glare-related impacts are anticipated and the proposed project's potential impacts would be less than significant.

### **3.1.2 MITIGATION MEASURES**

The preceding analysis concluded that the proposed project would not require any mitigation related to aesthetic impacts or light and glare impacts.

## **3.2 AGRICULTURE & FORESTRY RESOURCES**

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### **3.2.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

*A. Would the project convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? • No Impact.*

The proposed project involves an addition to the existing warehouse building that occupies the project site. The project site is located along the west side of Knott Street, which is a major arterial roadway. The Garden Grove Freeway is located along the project site's south side. A single-family residential neighborhood is located adjacent to the project site to the west of Brady Way. The Garden Room wedding chapel and banquet facility is located adjacent to the project site on the north. Knott Avenue extends along the project site's east side. Light industrial uses and a church (Calvary Chapel) are located further east, on the east side of Knott Avenue.

According to the California Department of Conservation, the project site does not contain any soils that are considered to be soils that are Prime Farmland, Unique Farmland, or Farmland of Statewide

Importance.<sup>12</sup> Since the implementation of the proposed project will not involve the conversion of soils designed as prime farmland soils, unique farmland soils, or farmland soils of statewide importance, to urban uses, no impacts will occur.

*B. Would the project conflict with existing zoning for agricultural use, or a Williamson Act Contract? • No Impact.*

The project site is currently zoned PUD-104-70 (Planned Unit Development). The proposed project will require the approval of a Zone Change for the portion of Brady Way that will be vacated. The required zone change will not result in a loss of agricultural land since that portion is currently used as a paved street. Furthermore, the zoning of this site is PUD-104-70. The permitted uses are primarily based on those allowed in the M-P (Industrial Park) zone. Agricultural growing and produce stands are not a listed permitted use. In addition, the project site is not subject to a Williamson Act Contract.<sup>13</sup> Therefore, no impacts will occur since the proposed development will not be erected on a site that is subject to a Williamson Act Contract.

*C. Would the project conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined in Public Resources Code §4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?*  
• No Impact.

The project site is located in the midst of an urbanized area and no forest lands are located within the site or within the City. The project site is designated as IC (*Industrial Commercial Mixed Use*). The project site is zoned PUD-104-70 (*Planned Unit Development*). A Zone Change will be required for the vacated portion of Brady Way. Therefore, no impacts on forest land or timber resources will result from the proposed project's implementation.

*D. Would the project result in the loss of forest land or conversion of forest land to a non-forest use?*  
• No Impact.

No forest lands are located within the vicinity of the project site. As a result, no loss or conversion of forest lands will result from the proposed project's implementation.

*E. Would the project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? • No Impact.*

The proposed project would not involve the disruption or damage to the existing environment resulting from a loss of farmland to non-agricultural use or conversion of forest land to non-forest. The project site is not located in close proximity to forest land or farmland areas. As a result, no impacts will result from the implementation of the proposed project.

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<sup>12</sup> California Department of Conservation, Division of Land Resource Protection, Farmland Mapping, and Monitoring Program. *Los Angeles County Important Farmland*. <ftp://ftp.consrv.ca.gov/pub/dlrp/FMMP/pdf/2016/los16.pdf>

<sup>13</sup> California Department of Conservation. *State of California Williamson Act Contract Land*. [ftp://ftp.consrv.ca.gov/pub/dlrp/WA/2012%20Statewide%20Map/WA\\_2012\\_8x11.pdf](ftp://ftp.consrv.ca.gov/pub/dlrp/WA/2012%20Statewide%20Map/WA_2012_8x11.pdf)

### 3.2.2 MITIGATION MEASURES

The analysis of agricultural and forestry resources indicated that no impacts on these resources would occur as part of the proposed project's implementation. As a result, no mitigation is required.

## 3.3 AIR QUALITY

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### 3.3.1 ANALYSIS OF ENVIRONMENTAL IMPACTS

A. *Would the project conflict with or obstruct implementation of the applicable air quality plan?* •  
*Less than Significant Impact.*

The proposed project involves the addition to an existing warehouse building in the City of Garden Grove. The project site is currently occupied by an existing warehouse building with a total floor area of 119,836 square feet, including a 20,000 square foot two-story office. This existing building will remain. The proposed improvements will involve the construction of a building addition on the north side of the existing warehouse building. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the entire building (existing and future) to 165,171 square feet.

The South Coast Air Quality Management District (SCAQMD) has established quantitative thresholds for short-term (construction) emissions and long-term (operational) emissions for the following criteria pollutants:

- *Ozone ( $O_3$ )* is a nearly colorless gas that irritates the lungs, damages materials, and vegetation. Ozone is formed by photochemical reaction (when nitrogen dioxide is broken down by sunlight).
- *Carbon monoxide ( $CO$ )* is a colorless, odorless toxic gas that interferes with the transfer of oxygen to the brain and is produced by the incomplete combustion of carbon-containing fuels emitted as vehicle exhaust.
- *Nitrogen dioxide ( $NO_2$ )* is a yellowish-brown gas, which at high levels can cause breathing difficulties.  $NO_2$  is formed when nitric oxide (a pollutant from burning processes) combines with oxygen.
- *Sulfur dioxide ( $SO_2$ )* is a colorless, pungent gas formed primarily by the combustion of sulfur-containing fossil fuels. Health effects include acute respiratory symptoms and difficulty in breathing for children.
- *$PM_{10}$  and  $PM_{2.5}$*  refers to particulate matter less than ten microns and two and one-half microns in diameter, respectively. Particulates of this size cause a greater health risk than larger-sized particles since fine particles can more easily cause irritation.



Projects in the South Coast Air Basin (SCAB) generating construction-related emissions that exceed any of the following emissions thresholds are considered to be significant under CEQA:

- 75 pounds per day of reactive organic compounds;
- 100 pounds per day of nitrogen dioxide;
- 550 pounds per day of carbon monoxide;
- 150 pounds per day of PM<sub>10</sub>;
- 55 pounds per day of PM<sub>2.5</sub>; or,
- 150 pounds per day of sulfur oxides.

A project would have a significant effect on air quality if any of the following operational emissions thresholds for criteria pollutants are exceeded:

- 55 pounds per day of reactive organic compounds;
- 55 pounds per day of nitrogen dioxide;
- 550 pounds per day of carbon monoxide;
- 150 pounds per day of PM<sub>10</sub>;
- 55 pounds per day of PM<sub>2.5</sub>; or,
- 150 pounds per day of sulfur oxides.

Measures to improve regional air quality are outlined in the SCAQMD's Air Quality Management Plan (AQMP).<sup>14</sup> The most recent AQMP was adopted in 2017 and was jointly prepared with the California Air Resources Board (CARB) and the Southern California Association of Governments (SCAG).<sup>15</sup> The AQMP will help the SCAQMD maintain focus on the air quality impacts of major projects associated with goods movement, land use, energy efficiency, and other key areas of growth. Key elements of the 2016 AQMP include enhancements to existing programs to meet the 24-hour PM<sub>2.5</sub> Federal health standard and a proposed plan of action to reduce ground-level ozone. The primary criteria pollutants that remain non-attainment in the local area include PM<sub>2.5</sub> and ozone.

Specific criteria for determining a project's conformity with the AQMP is defined in Section 12.3 of the SCAQMD's CEQA Air Quality Handbook. The Air Quality Handbook refers to the following criteria as a means to determine a project's conformity with the AQMP: *Consistency Criteria 1* refers to a proposed project's potential for resulting in an increase in the frequency or severity of an existing air quality violation or its potential for contributing to the continuation of an existing air quality violation and *Consistency Criteria 2* refers to a proposed project's potential for exceeding the assumptions included in the AQMP or other regional growth projections relevant to the AQMP's implementation.<sup>16</sup>

In terms of *Criteria 1*, the proposed project's long-term (operational) airborne emissions will be below levels that the SCAQMD considers to be a significant impact (refer to the analysis included in the next section where the long-term stationary and mobile emissions for the proposed project are summarized in Table 3-2). Projects that are consistent with the projections of employment and population forecasts

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<sup>14</sup> South Coast Air Quality Management District, *Final 2016 Air Quality Plan*. Adopted March 2017.

<sup>15</sup> Ibid.

<sup>16</sup> South Coast Air Quality Management District. *CEQA Air Quality Handbook*. April 1993.

identified in the Regional Transportation Plan/Sustainable Communities Strategy (RTP/SCS) prepared by SCAG are considered consistent with the AQMP growth projections, since the RTP/SCS forms the basis of the land use and transportation control portions of the AQMP. According to the Growth Forecast Appendix prepared by SCAG for the 2016-2040 RTP/SCS, the City of Garden Grove is projected to add a total of 6,800 new jobs through the year 2040.<sup>17</sup> The proposed project is estimated to result in the generation of up to 164 new jobs based on a ratio of one new job per 1,000 square feet of floor area. The projected number of new jobs is well within SCAG's employment projections for the City of Garden Grove. Therefore, the proposed project will also conform to Consistency Criteria 2 since it will not significantly affect any regional population, housing, and employment projections prepared for the City of Garden Grove. Since the proposed project will not be in violation of either *Consistency Criteria*, the proposed project's potential impacts are considered to be less than significant.

*B. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard? • Less than Significant Impact.*

The analysis of daily construction emissions (refer to Table 3-1) has been prepared utilizing the California Emissions Estimator Model (CalEEMod V.2016.3.2) developed for the SCAQMD. The proposed project's construction period is expected to take approximately 11 months (refer to Section 2.3.2) and would include site preparation, the erection of the building addition, and the finishing of the proposed project (paving, painting, and the planting of landscaping).

**Table 3-1**  
**Estimated Daily Construction Emissions**

Construction Phase	ROG	NO <sub>2</sub>	CO	SO <sub>2</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
Site Preparation (on-site)	1.75	21.53	11.91	0.02	1.08	0.80
Site Preparation (off-site)	0.03	0.02	0.28	--	0.09	0.02
<b>Total Site Preparation</b>	<b>1.78</b>	<b>21.55</b>	<b>12.19</b>	<b>0.02</b>	<b>1.17</b>	<b>0.82</b>
Grading (on-site)	2.02	22.74	10.15	0.02	7.23	4.31
Grading (off-site)	0.04	0.02	0.35	--	0.11	0.03
<b>Total Grading</b>	<b>2.06</b>	<b>22.76</b>	<b>10.50</b>	<b>0.02</b>	<b>7.34</b>	<b>4.34</b>
Building Construction (on-site)	2.28	17.43	14.89	0.02	0.94	0.90
Building Construction (off-site)	0.27	2.31	2.34	0.01	0.75	0.21
<b>Total Building Construction</b>	<b>2.55</b>	<b>19.74</b>	<b>17.23</b>	<b>0.03</b>	<b>1.69</b>	<b>1.11</b>
Paving (on-site)	1.39	11.58	11.80	0.01	0.65	0.60
Paving (off-site)	0.05	0.03	0.49	--	0.16	0.04
<b>Total Paving</b>	<b>1.44</b>	<b>11.61</b>	<b>12.29</b>	<b>0.01</b>	<b>0.81</b>	<b>0.64</b>
Architectural Coatings (on-site)	9.94	1.68	1.83	--	0.11	0.11
Architectural Coatings (off-site)	0.04	0.02	0.36	--	0.12	0.03
<b>Total Architectural Coatings</b>	<b>9.98</b>	<b>1.70</b>	<b>2.19</b>	<b>--</b>	<b>0.23</b>	<b>0.14</b>
<b>Maximum Daily Emissions</b>	<b>9.98</b>	<b>22.77</b>	<b>17.24</b>	<b>0.03</b>	<b>7.35</b>	<b>4.34</b>
<b>Daily Thresholds</b>	<b>75</b>	<b>100</b>	<b>550</b>	<b>150</b>	<b>150</b>	<b>55</b>

Source: California Air Resources Board CalEEMod [computer program].

<sup>17</sup> Southern California Association of Governments. *Regional Transportation Plan/Sustainable Communities Strategy 2016-2040. Demographics & Growth Forecast*. April 2016.

As shown in Table 3-1, daily construction emissions are not anticipated to exceed the SCAQMD significance thresholds. Therefore, the mass daily construction-related impacts associated with the proposed project would be less than significant. The proposed project's construction would be required to adhere to all SCAQMD regulations related to fugitive dust generation and other construction-related emissions. According to SCAQMD Regulation 403, all unpaved demolition and construction areas shall be regularly watered up to three times per day during excavation, grading, and construction as required (depending on temperature, soil moisture, wind, etc.). Finally, the contractors must comply with other SCAQMD regulations governing equipment idling and emissions controls. The aforementioned SCAQMD regulations are standard conditions required for every construction project undertaken in the City as well as in the cities and counties governed by the SCAQMD.

Long-term emissions refer to those air quality impacts that will occur once the proposed project has been constructed and is operational. These impacts will continue over the operational life of the proposed project. The long-term air quality impacts associated with the proposed project include mobile emissions associated with vehicular traffic and off-site stationary emissions associated with the generation of energy. The analysis of long-term operational impacts also used the CalEEMod computer model.

**Table 3-2**  
**Estimated Operational Emissions in lbs/day - Unmitigated**

<b>Emission Source</b>	<b>ROG</b>	<b>NO<sub>2</sub></b>	<b>CO</b>	<b>SO<sub>2</sub></b>	<b>PM<sub>10</sub></b>	<b>PM<sub>2.5</sub></b>
Area-wide (lbs/day)	1.03	--	0.02	--	--	--
Energy (lbs/day)	--	0.04	0.03	--	--	--
Mobile (lbs/day)	0.13	0.54	1.97	--	0.68	0.18
<b>Total (lbs/day)</b>	<b>1.17</b>	<b>0.59</b>	<b>2.03</b>	<b>--</b>	<b>0.68</b>	<b>0.19</b>
<b>Daily Thresholds</b>	<b>55</b>	<b>55</b>	<b>550</b>	<b>150</b>	<b>150</b>	<b>55</b>
<b>Significant Impact?</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>

Source: California Air Resources Board CalEEMod [computer program].

As indicated in Table 3-2, the proposed project's operation will result in emissions that are below the thresholds of significance established by the SCAQMD. As a result, the potential impacts are considered to be less than significant.

*C. Would the project expose sensitive receptors to substantial pollutant concentrations? • Less than Significant Impact.*

Sensitive receptors refer to land uses and/or activities that are especially sensitive to poor air quality and typically include homes, schools, playgrounds, hospitals, convalescent homes, and other facilities where children or the elderly may congregate.<sup>18</sup> These population groups are generally more sensitive to poor air quality. Sensitive receptors in the immediate area include the single family homes located

<sup>18</sup> South Coast Air Quality Management District. *CEQA Air Quality Handbook, Appendix 9*. As amended 2017.

adjacent to the project site to the west of Brady Way.<sup>19</sup> The sensitive receptors located in the vicinity of the project site are shown in Exhibit 3-1.

Most vehicles generate carbon monoxide (CO) as part of the tail-pipe emissions and high concentrations of CO along busy roadways and congested intersections are a concern. The areas surrounding the most congested intersections are often found to contain high levels of CO that exceed applicable standards and are referred to as *hot-spots*. Three variables influence the creation of a CO hot-spot: traffic volumes, traffic congestion, and the background CO concentrations for the source receptor area. Typically, a CO hot-spot may occur near a street intersection that is experiencing severe congestion (a LOS E or LOS F) where idling vehicles result in ground level concentrations of carbon monoxide. However, within the last decade, decreasing background levels of pollutant concentrations and more effective vehicle emission controls have significantly reduced the potential for the creation of hot-spots. The SCAQMD stated in its CEQA Handbook that a CO hot-spot would not likely develop at an intersection operating at LOS C or better. Since the Handbook was written, there have been new CO emissions controls added to vehicles and reformulated fuels are now sold in the SCAB. These new automobile emissions controls, along with the reformulated fuels, have resulted in a lowering of both ambient CO concentrations and vehicle emissions. The proposed project's implementation will not result in a degradation of any intersections Level of Service (refer to Section 3.17 – Transportation and Circulation). Therefore, no impacts regarding the creation of carbon hot-spots will result.

The SCAQMD requires that CEQA air quality analyses indicate whether a proposed project will result in an exceedance of *localized emissions thresholds* or LSTs. LSTs apply to short-term (construction) emissions at a fixed location and do not include off-site or regional emissions. The approach used in the analysis of the proposed project utilized a number of screening tables that identified maximum allowable emissions (in pounds per day) at a specified distance to a receptor. The pollutants that are the focus of the LST analysis include the conversion of NO<sub>x</sub> to NO<sub>2</sub>; carbon monoxide (CO) emissions from construction; PM<sub>10</sub> emissions from construction; and PM<sub>2.5</sub> emissions from construction. The use of the “look-up tables” is typically used for projects proposed on less than five acres of land area. The proposed project's LST emissions are presented in Table 3-3.

**Table 3-3**  
**Local Significance Thresholds Exceedance SRA 17 for 5 Acres of Disturbance**

Emissions	Emissions (lbs/day)	Type	Allowable Emissions Threshold (lbs/day) and a Specified Distance from Receptor (in meters)				
			25	50	100	200	500
NO <sub>x</sub>	<b>22.77</b>	Construction	<b>183</b>	167	180	202	245
CO	<b>17.24</b>	Construction	<b>1,253</b>	1,734	2,498	4,018	9,336
PM <sub>10</sub>	<b>3.59*</b>	Construction	<b>13</b>	39	55	88	188
PM <sub>2.5</sub>	<b>2.31*</b>	Construction	<b>7</b>	9	15	32	109

Source: CalEEMod Version 2016.3.2.

\*= Note: These figures take into account the water of the site up to three times per day, which is a standard condition required by the SCAQMD.

<sup>19</sup>South Coast Air Quality Management District. *CEQA Air Quality Handbook, Appendix 9*. As amended 2017.



**EXHIBIT 3-1**  
**SENSITIVE RECEPTORS MAP**  
SOURCE: QGIS

As indicated in Table 3-3, the emissions generated by the construction of the proposed project will not exceed the LSTs identified above. Further analysis of the CalEEMod worksheets indicated that the primary source of construction PM emissions is fugitive dust. Adherence to additional mandatory Rule 403 regulations will reduce fugitive dust emissions to levels that are less than significant. Rule 403 also requires that temporary dust covers be used on any piles of excavated or imported earth to reduce wind-blown dust. In addition, all clearing, earthmoving, or excavation activities must be discontinued during periods of high winds (i.e. greater than 15 mph), so as to prevent excessive amounts of fugitive dust. Finally, the contractors must comply with other SCAQMD regulations governing equipment idling and emissions controls. As a result, the potential impacts are considered to be less than significant.

An analysis of operational mobile source diesel particulate matter (DPM) emissions was performed for idling trucks and trucks travelling within the project site. The 2017 EMFAC emissions factors for HHDT vehicles, or Heavy-Heavy-Duty trucks, were utilized in order to perform the analysis for operational DPM emissions. Access to the project site will be provided by two driveways located along the west side of Knott Street; while dock high doors will be located along the building's west facing elevation. The trucks were assumed to have traveled a distance of 500 feet (0.09 miles one-way), or a rough estimate of the length of the west side of the project site. These trucks were assumed to be travelling at a speed of 15 miles per hour, which would be the speed limit on-site. A total of 23 trucks per day (assuming 0.52 trucks per 1,000 square feet according to the SCAQMD) are anticipated to be generated once the proposed project is operational. Table 3-4 shown below depicts the estimated mobile source emissions once the proposed project is operational. As shown in the table, the proposed project's operation will result in negligible DPM emissions and the project will not expose sensitive receptors to substantial pollutant concentrations.

**Table 3-4**  
**Operational Mobile Source Emissions from Trucks**

Pollutants	Emissions Factors	Distance in miles (round trip)	Number of Vehicles	Emissions
PM10 Exhaust at Idle (grams/vehicle/day)	0.012362035 grams	--	23	0.28 grams per day, or 0.0006 pounds per day
PM10 Exhaust at 15 mph (grams/mile)	0.072492209 grams	0.18	23	0.30 grams per day, or -- pounds per day
PM2.5 Exhaust at Idle (grams/vehicle/day)	0.011827259 grams	--	23	0.27 grams per day, or 0.0005 pounds per day
PM2.5 Exhaust at 15 mph (grams/mile)	0.069356228 grams	0.18	23	0.28 grams per day, or -- pounds per day

**Source:** 2017 EMFAC Factors

*D. Would the project result in other emissions (such as those leading to odors adversely affecting a substantial number of people)? • Less than Significant Impact.*

The SCAQMD has identified land uses that are typically associated with odor complaints. These uses include activities involving livestock, rendering facilities, food processing plants, chemical plants,

composting activities, refineries, landfills, and businesses involved in fiberglass molding.<sup>20</sup> The proposed project will consist of a warehouse addition. While no tenants have been identified for the building, should the building's future tenant(s) be involved in the processing, manufacturing, handling, or disposal of hazardous materials, a Conditional Use Permit (CUP) would be required. Furthermore, future tenants will be required to adhere to SCAQMD Rule 402 – Nuisance, which regulates the release of nuisance odors.

Potential truck drivers visiting the site (construction and deliveries) must adhere to Title 13 - §2485 of the California Code of Regulations, which limits the idling of diesel powered vehicles to less than five minutes. Adherence to the aforementioned standard condition will minimize odor impacts from diesel trucks. In addition, the proposed project's construction contractors must adhere to SCAQMD Rule 403 regulations, which significantly reduce the generation of fugitive dust. Adherence to Rule 403 Regulations and Title 13 - §2485 of the California Code of Regulations will reduce potential impacts to levels that are less than significant and no mitigation is required.

### **3.3.3 MITIGATION MEASURES**

The analysis of air quality impacts indicated no mitigation will be required.

## **3.4 BIOLOGICAL RESOURCES**

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### **3.4.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

*A. Would the project have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service? • No Impact.*

The proposed project involves the addition to an existing warehouse building in the City of Garden Grove. The project site is currently developed with an existing warehouse building with a total floor area of 119,836 square feet, including a 20,000 square foot two-story office. This existing building will remain. The proposed improvements will involve the construction of a building addition on the north side of the existing warehouse building. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the entire building (existing and future) to 165,171 square feet.

A review of the California Department of Fish and Wildlife California Natural Biodiversity Database (CNDDB) Bios Viewer for the Los Alamitos Quadrangle (the portion of the City of Garden Grove that contains the project site is located within the Los Alamitos Quadrangle) indicated that out of a total of 54 native plant and animal species, 11 are either threatened or endangered. These species include the California least tern; light-footed Ridgway's rail; least Bell's vireo; salt marsh bird's-beak; California Orcutt grass; tricolored blackbird; Belding's savannah sparrow; western yellow-billed cuckoo; the

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<sup>20</sup> South Coast Air Quality Management District. *CEQA Air Quality Handbook*, As amended 2017.



coastal California gnatcatcher; the Santa Ana Sucker; and the green turtle.<sup>21</sup> The lack of suitable riparian, chaparral, or wetland habitat may preclude the presence of the aforementioned species. The closest natural habitat to the site includes the Bolsa Chica Channel and the Seal Beach National Wildlife Refuge, located four miles southwest of the project site.

In addition, the underlying soils have been disturbed to accommodate the existing development. These conditions also preclude the presence of burrowing owls. As a result, no impacts on any candidate, sensitive, or special status species would result.

*B. Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? • No Impact.*

The project site is currently developed and located within an urbanized area. The field survey that was conducted for this project indicated that there are no wetlands or riparian habitat present on-site or in the surrounding areas. The site is located approximately 870 feet north of the Bolsa Chica Channel. This conclusion is also supported by a review of the U.S. Fish and Wildlife Service National Wetlands Inventory, Wetlands Mapper.<sup>22</sup> In addition, there are no designated “blue line streams” located within the project site. As a result, no impacts on natural or riparian habitats will result from the proposed project’s implementation.

*C. Would the project have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? • No Impact.*

As indicated in the previous subsection, the project site and adjacent developed properties do not contain any natural wetland and/or riparian habitat.<sup>23</sup> As a result, the proposed project would not impact any protected wetland area or designated blue-line stream and no impacts would occur.

*D. Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? • No Impact.*

The project site is in an urbanized area, is presently developed with a warehouse, and does not contain any native habitat. The project site lacks suitable wildlife habitat because it is currently paved over and lacks vegetation.<sup>24</sup> Furthermore, the site contains no natural hydrological features. Constant disturbance (noise and vibration) from the traffic on the adjacent Garden Grove Freeway and Knott Street limits the site’s utility as a migration corridor. Since the site is surrounded by development on all sides and lacks suitable habitat, the site’s utility as a migration corridor is restricted.

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<sup>21</sup> California Department of Fish and Wildlife. *Bios Viewer*. <https://map.dfg.ca.gov/bios/?tool=cnddbQuick>.

<sup>22</sup> United States Fish and Wildlife Service. *National Wetlands Inventory*. <https://www.fws.gov/Wetlands/data/Mapper.html>

<sup>23</sup> Ibid.

<sup>24</sup> Blodgett Baylosis Environmental Planning. *Site survey*. Survey was conducted July 18, 2019.



There is very limited landscaping on-site. Only a few trees and shrubs remain, primarily along the perimeter of the site. Therefore, no impacts will result from the implementation of the proposed project.

*E. Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? • Less than Significant Impact.*

Title 11 (Public Property) Chapter 11.32 (Trees) of the City of Garden Grove Municipal Code serves as the City's "Tree Ordinance." The Tree Ordinance establishes strict guidelines regarding the removal or tampering of trees located within any public right-of-way (such as streets and alleys). There are five street trees located along the west side of Knott Street. The proposed project's implementation will not require the removal of the aforementioned trees. As a result, the potential impacts are considered to be less than significant.

*F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? • No Impact.*

The project site is not located within an area governed by a habitat conservation or community conservation plan. As a result, no impacts on local, regional, or State habitat conservation plans will result from the proposed project's implementation.

### **3.4.2 MITIGATION MEASURES**

The analysis of biological resources impacts indicated that the proposed project will not require any mitigation.

## **3.5 CULTURAL RESOURCES**

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### **3.5.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

*A. Would the project cause a substantial adverse change in the significance of a historical resource pursuant to §15064.5? • No Impact.*

CEQA Guidelines Section 15064.5 defines a "historical resource" as a resource that meets one or more of the following criteria: (1) listed in, or determined eligible for listing in, the California Register of Historical Resources; (2) listed in a local register of historical resources as defined in Public Resources Code (PRC) Section 5020.1(k); (3) identified as significant in a historical resource survey meeting the requirements of PRC Section 5024.1(g); or (4) determined to be a historical resource by a project's lead agency.

The California Register defines a "historical resource" as a resource that meets one or more of the following criteria: (1) associated with events that have made a significant contribution to the broad patterns or local or regional history of the cultural heritage of California or the United States; (2) associated with the lives of persons important to local, California, or national history; (3) embodies the

distinctive characteristics of a type, period, region, or method of construction or represents the work of a master or possesses high artistic values; or (4) has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.<sup>25</sup>

Finally, the U.S. Department of Interior has established specific Federal guidelines and criteria that indicate the manner in which a site, structure, or district is to be defined as having historic significance and in the determination of its eligibility for listing on the National Register of Historic Places.<sup>26</sup> To be considered eligible for the National Register, a property's significance may be determined if the property is associated with events, activities, or developments that were important in the past, with the lives of people who were important in the past, or represents significant architectural, landscape, or engineering elements.<sup>27</sup>

The project site is designated as Industrial Commercial Mixed Use and is occupied by a vacant and dilapidated building. There are no historical resources located on the project site. Furthermore, the project site is not identified as a historic resource by the City's Historical Society.<sup>28</sup> As a result, no impacts are anticipated with the proposed project's implementation.

*B. Would the project cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5? • Less than Significant Impact with Mitigation.*

The City of Garden Grove was previously inhabited by the Gabrieleño-Kizh people, named after the San Gabriel Mission.<sup>29</sup> The Gabrieleño-Kizh tribe has lived in this region for around 7,000 years.<sup>30</sup> Before European contact, approximately 5,000 Gabrieleño-Kizh people lived in villages throughout the Los Angeles Basin.<sup>31</sup> Archaeological sites are often located along creek areas, ridgelines, and vistas.<sup>32</sup> Formal Native American consultation was provided in accordance with AB-52. AB-52 consultation letters were mailed to a total of 22 tribes on August 23, 2019, including the different Gabrieleño subsets and the Soboba tribe. A total of four tribes responded. The Rincon Band of Luiseno Indians, the Agua Caliente Band of Cahuilla Indians, and the San Luis Rey Band of Mission Indians mentioned that the project site was outside of their respective tribal jurisdiction. Meanwhile, the tribal representative of the Gabrieleño-Kizh indicated that the project site is situated in an area of high archaeological significance. As a result, the following mitigation is required:

- The project Applicant will be required to obtain the services of a qualified Native American

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<sup>25</sup> California State Parks, Office of Historic Preservation. *California Register of Historical Resources*. [http://ohp.parks.ca.gov/?page\\_id=21238](http://ohp.parks.ca.gov/?page_id=21238). 2019.

<sup>26</sup> U.S. Department of the Interior, National Park Service. *National Register of Historic Places*. <http://nrhp.focus.nps.gov>. 2010.

<sup>27</sup> Ibid.

<sup>28</sup> City of Garden Grove. *City of Garden Grove Historical Society*. <http://www.ci.garden-grove.ca.us/?q=/HistoricalSociety>.

<sup>29</sup> Tongva People of Sunland-Tujunga. *Introduction*. [http://www.lausd.k12.ca.us/Verdugo\\_HS/classes/multimedia/intro.html](http://www.lausd.k12.ca.us/Verdugo_HS/classes/multimedia/intro.html). Website accessed in July 2019).

<sup>30</sup> Ibid.

<sup>31</sup> Rancho Santa Ana Botanical Garden. *Tongva Village Site*. <http://www.rsabg.org/tongva-village-site-1>. Website accessed in December 2014).

<sup>32</sup> McCawley. *The First Angelinos, The Gabrieleño Indians of Los Angeles County*. 1996.

Monitor during construction-related ground disturbance activities. Ground disturbance is defined by the Tribal Representatives from the Gabrieleño Band of Mission Indians, Kizh Nation as activities that include, but are not limited to, pavement removal, pot-holing or auguring, boring, grading, excavation, and trenching, within the project area. The monitor(s) must be approved by the tribal representatives and will be present on-site during the construction phases that involve any ground disturbing activities. The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the monitor has indicated that the site has a low potential for archeological resources.

In the unlikely event that remains are uncovered by construction crews and/or the Native American Monitors, all excavation/grading activities shall be halted and the Garden Grove Police Department will be contacted (the Department will then contact the County Coroner). Title 14; Chapter 3; Article 5; Section 15064.5 of CEQA will apply in terms of the identification of significant archaeological resources and their salvage. Adherence to the abovementioned mitigation will reduce potential impacts to levels that are less than significant.

*C. Would the project disturb any human remains, including those interred outside of dedicated cemeteries? • Less than Significant Impact.*

There are no dedicated cemeteries located within the vicinity of the project site.<sup>33</sup> Magnolia Memorial Park is located 1.93 miles to the northeast of the project site and is the closest cemetery to the project site.<sup>34</sup> The proposed project would be restricted to the project site and would not affect any dedicated cemeteries. Notwithstanding, in the unlikely event that human remains are uncovered by construction crews, all excavation and grading activities shall be halted and the Garden Grove Police Department would be contacted (the Department would then contact the County Coroner). This is a standard condition under California Health and Safety Code Section 7050.5(b), which states:

“In the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains until the coroner of the county in which the human remains are discovered has determined, in accordance with Chapter 10 (commencing with (b) Section 27460) of Part 3 of Division 2 of Title 3 of the Government Code, that the remains are not subject to the provisions of Section 27491 of the Government Code or any other related provisions of law concerning investigation of the circumstances, manner and cause of any death, and the recommendations concerning the treatment and disposition of the human remains have been made to the person responsible for the excavation, or to his or her authorized representative, in the manner provided in Section 5097.98 of the Public Resources Code. The coroner shall make his or her determination within two working days from the time the person responsible for the excavation, or his or her authorized representative, notifies the coroner of the discovery or recognition of the human remains. If the coroner determines that the remains are not subject to his or her authority and if the coroner recognizes the human remains to be those of a Native

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<sup>33</sup> Google Earth. Website accessed July 17, 2019.

<sup>34</sup> Ibid.

American, or has reason to believe that they are those of a Native American, he or she shall contact, by telephone within 24 hours, the Native American Heritage Commission.”

In addition, Title 14; Chapter 3; Article 5; Section 15064.5 of CEQA would apply in terms of the identification of significant archaeological resources and their salvage. Therefore, the potential impacts are considered to be less than significant.

### **3.5.2 MITIGATION MEASURES**

The preceding analysis concluded that the proposed project would require the following mitigation:

*Mitigation Measure No. 1 (Cultural Resources).* The project Applicant will be required to obtain the services of a qualified Native American Monitor during construction-related ground disturbance activities. Ground disturbance is defined by the Tribal Representatives from the Gabrieleño Band of Mission Indians, Kizh Nation as activities that include, but are not limited to, pavement removal, pot-holing or auguring, boring, grading, excavation, and trenching, within the project area. The monitor(s) must be approved by the tribal representatives and will be present on-site during the construction phases that involve any ground disturbing activities. The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the monitor has indicated that the site has a low potential for archeological resources.

## **3.6 ENERGY**

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### **3.6.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

A. *Would the project result in a potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?* • *Less than Significant Impact.*

Title 24 of the California Code of Regulations establishes energy conservation standards for new construction. These standards relate to insulation requirements, glazing, lighting, shading, and water and space heating systems. The Garden Grove Municipal Code (GGMC) incorporates these state requirements. Construction-related energy consumption will consist largely of temporary power consumption related to the use of power tools, more specialized equipment (welding equipment, elevators, cranes, etc.), and lighting. A second major source of energy consumption will be related to temporary lighting used for both work and security. Work-related and security lighting will be required for the site during the course of the construction period. For purposes of this analysis, the entire construction period was assumed to be 11 months. The construction-related electrical consumption rate will be minimal in comparison to the operational consumption once the building is occupied. In addition, construction-related activities do not require the use of natural gas.

The proposed project involves the addition to an existing warehouse building in the City of Garden Grove. The project site is currently developed with an existing warehouse building with a total floor area of 119,836 square feet, including a 20,000 square feet is a two-story office. This existing building will remain. The proposed improvements will involve the construction of a building addition on the

north side of the existing warehouse building. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the entire building (existing and future) to 165,171 square feet. Table 3-5 below provides an estimate of electrical and natural gas consumption for the proposed project. As indicated in the table, the proposed project is estimated to consume approximately 198,403 kilowatt (kWh) per year (or 16,533 kWh per month) of electricity and 1,337 therms of natural gas.

**Table 3-5**  
**Estimated Annual Energy Consumption**

Project	Consumption Rate	Total Project Consumption
Electrical Consumption	4.45 kWh/sq.ft/year	198,403 kWh/year total
Natural Gas Consumption	0.03 therms/sq.ft/year	1,337 therms/year total

Source: CEC End-Use Survey

It is important to note that the proposed project will include energy efficient fixtures such as energy efficient lighting, windows, cooling/ventilation systems, roofing materials, and insulated doors, among others. In addition, the energy consumption rates do not reflect the more stringent 2019 California Building and Green Building Code requirements. The proposed project will be in accordance with the City's Building Code and with Part 6 and Part 11 of Title 24 of the California Code of Regulations. Nevertheless, the following Energy Star Warehouse Facility Improvement Best Management Practices (BMPs) have been incorporated as mitigation to order to maintain an efficient use of energy:

- The future tenant must implement a routine lighting maintenance schedule, including cleaning fixtures to reduce degradation of lighting quality.
- The future tenant must implement a lighting schedule in order to reduce wasteful consumption of energy related to lighting.
- The future tenant must ensure any exhaust fans are shut off when the building is unoccupied.
- The project Applicant must install occupancy sensors to limit illumination of unoccupied areas.
- The project Applicant must install dock seals to reduce outside air infiltration.

Adherence to the mitigation identified above will further reduce wasteful consumption of electricity along with compliance with Title 24 Part 11 of the California Code of Regulations. As a result, less than significant impacts will occur.

*B. Would the project conflict with or obstruct a state or local plan for renewable energy or energy efficiency? • Less than Significant Impact.*

On January 12, 2010, the State Building Standards Commission adopted updates to the California Green Building Standards Code (Code), which became effective on January 1, 2011. The California Code of Regulations (CCR) Title 24, Part 11: California Green Building Standards (Title 24) became effective to aid efforts to reduce GHG emissions associated with energy consumption. Title 24 now

requires that new buildings reduce water consumption, employ building commissioning to increase building system efficiencies, divert construction waste from landfills, and install low pollutant-emitting finish materials. The proposed project will be subject to the 2016 Building Code Standards, though the 2019 Standards that may be applicable if the project (construction plans for plan check) is submitted to the City on or after January 1, 2020. The California Green Building Standards Code does not prevent a local jurisdiction from adopting a more stringent code as state law provides methods for local enhancements. As indicated previously, the proposed project will be in accordance with the City's Building Code requirements and with Part 6 and Part 11 of Title 24 of the California Code of Regulations. As a result, the potential impacts are considered to be less than significant.

### **3.6.2 MITIGATION MEASURES**

The preceding analysis concluded that the proposed project may result in wasteful consumption of electricity. As a result, the following Energy Star Warehouse Facility Improvement Best Management Practices (BMPs) have been incorporated as mitigation to order to maintain an efficient use of energy:

*Mitigation Measure No. 2 (Energy).* The future tenant must implement a routine lighting maintenance schedule, including cleaning fixtures to reduce degradation of lighting quality.

*Mitigation Measure No. 3 (Energy).* The future tenant must implement a lighting schedule in order to reduce wasteful consumption of energy related to lighting.

*Mitigation Measure No. 4 (Energy).* The future tenant must ensure any exhaust fans are shut off when the building is unoccupied.

*Mitigation Measure No. 5 (Energy).* The project Applicant must install occupancy sensors to limit illumination of unoccupied areas.

*Mitigation Measure No. 6 (Energy).* The project Applicant must install dock seals to reduce outside air infiltration.

## **3.7 GEOLOGY & SOILS**

### **3.7.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

- A. *Would the project, directly or indirectly, cause potential substantial adverse effects, including the risk of loss, injury, or death involving: Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault (refer to Division of Mines and Geology Special Publication 42), strong seismic ground-shaking, seismic-related ground failure, liquefaction, or landslides? • Less than Significant Impact.*

The proposed project involves the addition to an existing warehouse building in the City of Garden Grove. The project site is currently developed with an existing warehouse building with a total floor area of 119,836 square feet, including a 20,000 square feet is a two-story office. This existing building

will remain. The proposed improvements will involve the construction of a building addition on the north side of the existing warehouse building. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the entire building (existing and future) to 165,171 square feet.

The City of Garden Grove is located in a seismically active region. Earthquakes from several active and potentially active faults in the Southern California region could affect the project site. The Alquist-Priolo Earthquake Fault Zoning Act's main purpose is to prevent the construction of buildings used for human occupancy on the surface trace of active faults.<sup>35</sup> A list of cities and counties subject to the Alquist-Priolo Earthquake Fault Zones is available on the State's Department of Conservation website. The City of Garden Grove is not on the list.<sup>36</sup> Exhibit 3-2 indicates the seismic risk within the project area including the location of faults and the potential for liquefaction.

The potential impacts from fault rupture are considered no greater for the project site than for the surrounding areas. Surface ruptures are visible instances of horizontal or vertical displacement, or a combination of the two. The proposed improvements will be constructed in compliance with the 2019 Building Code (depending on the time of submittal), which contains standards for building design to minimize the impacts from fault rupture. Therefore, the potential impacts resulting from fault rupture are anticipated to be less than significant.

As with all of Southern California, the project site is subject to strong ground motion resulting from earthquakes on nearby faults. As stated previously, however, the project site is not located within an Alquist-Priolo Earthquake Fault Zone. The intensity of ground shaking depends on the intensity of the earthquake, the duration of shaking, soil conditions, type of building, and distance from epicenter or fault. The proposed improvements will be constructed in compliance with the 2019 Building Code (depending on the time of submittal), which contains standards for building design to minimize the impacts from ground shaking. The potential ground shaking impacts would also be considered to be less than significant.

Other potential seismic issues include ground failure, liquefaction, and lateral spreading. Ground failure is the loss in stability of the ground and includes landslides, liquefaction, and lateral spreading. The project site is located within an area that has a potential for liquefaction.<sup>37</sup> According to the United States Geological Survey, liquefaction is the process by which water-saturated sediment temporarily loses strength and acts as a fluid. Essentially, liquefaction is the process by which the ground soil loses strength due to an increase in water pressure following seismic activity. In addition, the project Applicant will be required to adhere to the foundation recommendations identified by the proposed project's civil engineer. Lastly, the project site is not subject to the risk of landslides. The project site is relatively flat and there are no substantial hillsides or unstable slopes immediately adjacent to the project site boundary. As a result, the potential impacts in regards to liquefaction and landslides are less than significant.

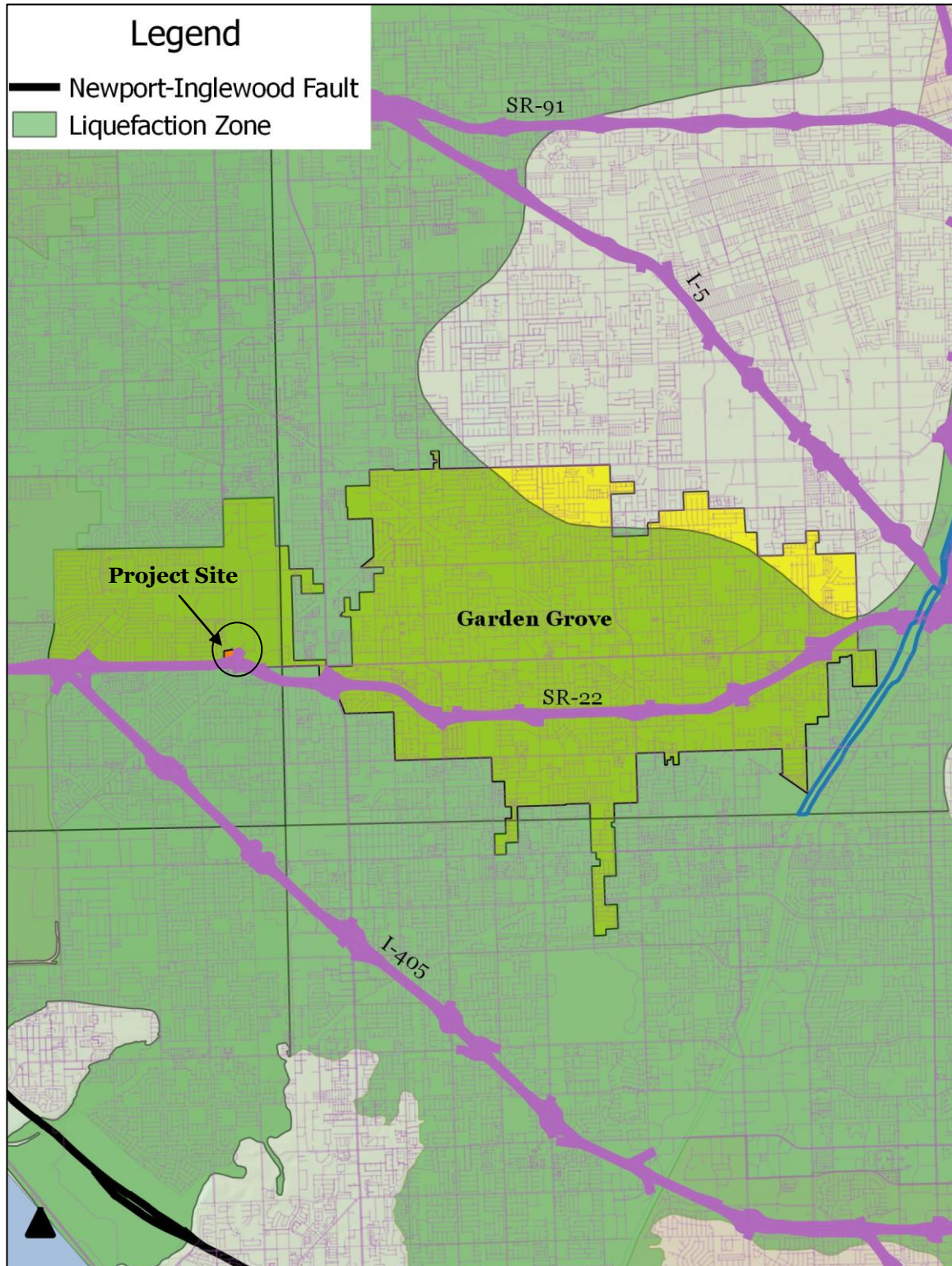
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<sup>35</sup> California Department of Conservation. *What is the Alquist-Priolo Act?* <http://www.conservation.ca.gov>

<sup>36</sup> California Department of Conservation. *Table 4, Cities and Counties Affected by Alquist Priolo Earthquake Fault Zones as of January 2010.* <http://www.conservation.ca.gov/cgs/rghm/ap/Pages/affected.aspx>

<sup>37</sup> California Department of Conservation. *Geologic and Seismic Hazards Shapefile.*





**EXHIBIT 3-2**  
**SEISMIC HAZARDS MAP**  
SOURCE: QGIS



*B. Would the project result in substantial soil erosion or the loss of topsoil? • Less than Significant Impact.*

The UC Davis SoilWeb soil survey was consulted to determine the nature of the soils that underlie the project site. According to the SoilWeb, the site is underlain by Metz loamy sand.<sup>38</sup> Metz soils have a slight erosion hazard; however, construction activities and the placement of “permanent vegetative cover” will reduce the soil’s erosion risk.<sup>39</sup> The construction BMPs identified in the Construction Runoff Guidance Manual are applicable for all projects located within Orange County.<sup>40</sup> These construction BMPs are grouped into the following categories:

- *Erosion control*, which focuses on preventing soil from being eroded by stormwater and potentially discharged from the construction site;
- *Sediment control*, which focuses on preventing eroded soil from being discharged from the construction site;
- *Wind erosion control*, which protects the soil surface and prevents the soil particles from being detached by wind;
- *Tracking control*, which prevents or reduces the amount of sediment that is tracked to paved areas from unpaved areas by vehicles or construction equipment;
- *Non-stormwater management*, which limits or reduces potential pollutants at their source before they are exposed to stormwater; and,
- *Waste management and materials pollution control*, which practices that limit or reduce or prevent the contamination of stormwater by construction wastes and materials.

In addition, as a permitted use subject to the MS4 permit, the City is responsible for ensuring that all new development and redevelopment comply with all pertinent requirements of the National Pollutant Discharge Elimination System (NPDES), which is a key element of the LID measures. In order to connect to the City’s MS4 (municipal stormwater system), the project Applicant must obtain a General Industrial Activities Storm Water Permit (GIASP). In order to obtain a General Industrial Activities Storm Water Permit (GIASP), the Applicant would be required to prepare a Stormwater Pollution Prevention Plan (SWPPP). The SWPPP will contain construction Best Management Practices (BMPs) that will prevent the erosion of top soil, the contamination of stormwater runoff, and the discharge of runoff and soil off-site. The Applicant must ensure that a SWPPP is approved, or file a Notice of Intent

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<sup>38</sup> UC Davis. *SoilWeb*. <https://casoilresource.lawr.ucdavis.edu/gmap/>

<sup>39</sup> United States Department of Agriculture, Soil Conservation Service. *Soil Survey of Orange County and Western Part of Riverside County, California*. September 1978. And UC Davis. *SoilWeb*. <https://casoilresource.lawr.ucdavis.edu/gmap/>

<sup>40</sup> Orange County Public Works. *Construction Runoff Guidance Manual*. Report dated December 2012.

to comply with the State permit prior to issuance of a grading permit.<sup>41</sup> As a result, the potential impacts regarding soil erosion are considered to be less than significant and no mitigation is required.

*C. Would the project be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? • Less than Significant Impact.*

Once complete, the proposed project will not destabilize the new soils since the proposed project will include new paved surfaces, new landscaping, and raised foundations, which would minimize soil erosion. The soils that underlie the project site possess a low potential for shrinking and swelling. Soils that exhibit certain shrink swell characteristics expand according to the moisture content present at the time. Since the underlying soils are not prone to shrinking and swelling, lateral spreading resulting from an influx of groundwater is slim. The likelihood of lateral spreading will be further reduced since the proposed project's implementation will not require grading and excavation that would extend to depths required to encounter groundwater. The proposed project will also not result in the direct extraction of groundwater since the proposed project will be connected to the City's water distribution system. No groundwater would be drained to accommodate the construction of the proposed project. In addition, the proposed project would not result in the direct extraction of groundwater located below ground surface (BGS). Therefore, the likelihood of on-site subsidence is considered to be remote. As a result, the potential impacts are anticipated to be less than significant.

*D. Would the project be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property? • Less than Significant Impact.*

According to the UC Davis SoilWeb, the site is underlain with Metz loamy sand soils.<sup>42</sup> Metz soils have a slight erosion hazard and possess a low potential for shrinking and swelling.<sup>43</sup> The shrinking and swelling of soils (expansion) is influenced by the amount of clay present in the underlying soils.<sup>44</sup> As a result, the potential impacts are considered to be less than significant.

*E. Would the project have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water? • No Impact.*

The proposed project does not include construction of septic tanks or connections to septic systems or alternative wastewater disposal systems. Rather, the proposed warehouse addition will be connected to the City's sanitary sewer system. As a result, no impacts associated with the use of septic tanks would occur as part of the proposed project's implementation.

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<sup>41</sup> City of Garden Grove. *The Garden Grove Plan, Program Environmental Impact Report*. February 2012.

<sup>42</sup> UC Davis. *SoilWeb*. <https://casoilresource.lawr.ucdavis.edu/gmap/>

<sup>43</sup> United States Department of Agriculture, Soil Conservation Service. *Soil Survey of Orange County and Western Part of Riverside County, California*. September 1978.

<sup>44</sup> Natural Resources Conservation Service Arizona. *Soil Properties Shrink/Swell Potential*. [http://www.nrcs.usda.gov/wps/portal/nrcs/detailfull/az/soils/?cid=nrcs144p2\\_065083](http://www.nrcs.usda.gov/wps/portal/nrcs/detailfull/az/soils/?cid=nrcs144p2_065083)

*F. Would the project, directly or indirectly, destroy a unique paleontological resource or site or unique geologic feature? • No Impact.*

No paleontological resources or geologic features are anticipated to be encountered during the proposed project's construction phase due to the recent age (Holocene) of the soil. The soils that underlie the project site are alluvial soils. The alluvial deposits are typically quaternary-aged (from two million years ago to the present day) and span the two most recent geologic epochs, the Pleistocene and the Holocene.<sup>45</sup> As a result, no impacts to paleontological resources will occur and no mitigation is required.

### **3.7.2 MITIGATION MEASURES**

The analysis of potential geological impacts determined that the proposed project would not require any mitigation.

## **3.8 GREENHOUSE GAS EMISSIONS**

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### **3.8.1 ENVIRONMENTAL ANALYSIS**

*A. Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? • Less than Significant Impact.*

The State of California requires CEQA documents to include an evaluation of greenhouse gas (GHG) emissions or gases that trap heat in the atmosphere. GHG are emitted by both natural processes and human activities. Examples of GHG that are produced both by natural and industrial processes include carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), and nitrous oxide (N<sub>2</sub>O). The SCAQMD has established multiple draft thresholds of significance. These thresholds include 1,400 metric tons of CO<sub>2</sub>E (MTCO<sub>2</sub>E) per year for commercial projects, 3,500 MTCO<sub>2</sub>E per year for residential projects, 3,000 MTCO<sub>2</sub>E per year for mixed-use projects, and 7,000 MTCO<sub>2</sub>E per year for industrial projects. As indicated in Table 3-6, the proposed project's operational CO<sub>2</sub>E emissions are estimated to be 271 MTCO<sub>2</sub>E, which is below the aforementioned thresholds.

The proposed project's construction would result in a generation of 161.41 MTCO<sub>2</sub>E per year. When amortized over a 30-year period, these emissions decrease to 5.38 MTCO<sub>2</sub>E per year. These amortized construction emissions were added to the proposed project's operational emissions to calculate the proposed project's GHG emissions. As shown in the table, the proposed project's total operational emissions are estimated to be 276.79 MTCO<sub>2</sub>E per year, which is still below the threshold of 7,000 MTCO<sub>2</sub>E per year for industrial projects. The GHG emissions estimates reflect what a warehouse development of the same location and description would generate once fully operational. The type of activities that may be undertaken once the proposed project is operational have been predicted and accounted for in the model for the selected land use type.

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<sup>45</sup> United States Geological Survey. *What is the Quaternary?*  
[http://geomaps.wr.usgs.gov/sfgeo/quaternary/stories/what\\_is.html](http://geomaps.wr.usgs.gov/sfgeo/quaternary/stories/what_is.html). Site accessed on July 17, 2019.

**Table 3-6  
Greenhouse Gas Emissions Inventory**

Source	GHG Emissions (Tons/Year)			
	CO <sub>2</sub>	CH <sub>4</sub>	N <sub>2</sub> O	CO <sub>2</sub> E
Long-Term – Area Emissions	--	--	--	--
Long-Term - Energy Emissions	77.87	--	--	78.17
Long-Term - Mobile Emissions	123.73	--	--	123.86
Long-Term - Waste Emissions	8.50	0.50	--	21.06
Long-Term – Water Emissions	38.84	0.28	--	48.04
Long-Term - Total Emissions	248.95	0.79	--	271.15
Total Construction Emissions	160.75	0.02	--	161.41 MTCO <sub>2</sub> E
Construction Emissions Amortized Over 30 Years				5.38 MTCO <sub>2</sub> E
Total Emissions with Amortized Construction Emissions				276.79 MTCO <sub>2</sub> E
Significance Threshold				7,000 MTCO <sub>2</sub> E

It is important to note that the proposed project is an “infill” development since the project involves the reuse and development of an existing urban site that is bound on all sides by development, which is seen as an important strategy in combating the release of GHG emissions. Infill development provides a regional benefit in terms of a reduction in Vehicle Miles Traveled (VMT) since the proposed project is consistent with the regional and State sustainable growth objectives identified in the State’s Strategic Growth Council (SGC).<sup>46</sup> In addition, the proposed project will include a total of 16 electric vehicle parking spaces. Infill development reduces VMT by recycling existing undeveloped or underutilized properties located in established urban areas. When development is located in a more rural setting, such as further east in the desert areas, employees, patrons, visitors, and residents may have to travel farther since rural development is often located a significant distance from employment, entertainment, and population centers. Consequently, this distance is reduced when development is located in urban areas since employment, entertainment, and population centers tend to be set in more established communities. As a result, the potential impacts are considered to be less than significant and no mitigation is required.

*B. Would the project conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases? • Less than Significant Impact.*

AB 32 requires the reduction of GHG emissions to 1990 levels, which would require a minimum 28% reduction in "business as usual" GHG emissions for the entire State. Additionally, Governor Edmund G. Brown signed into law Executive Order (E.O.) B-30-15 on April 29, 2015, the Country’s most ambitious policy for reducing Greenhouse Gas Emissions. Executive Order B-30-15 calls for a 40% reduction in greenhouse gas emissions below 1990 levels by 2030.<sup>47</sup> The City currently does not have

<sup>46</sup> California Strategic Growth Council. <http://www.sgc.ca.gov/Initiatives/infill-development.html>. Promoting and enabling sustainable infill development is a principal objective of the SGC because of its consistency with the State Planning Priorities and because infill furthers many of the goals of all of the Council’s member agencies. Website accessed on July 17, 2019.

<sup>47</sup> Office of Governor Edmund G. Brown Jr. *New California Goal Aims to Reduce Emissions 40 Percent Below 1990 Levels by 2030*. <http://gov.ca.gov/news.php?id=18938>

an adopted Climate Action Plan to reduce GHG emissions within its jurisdictional boundaries. Nevertheless, the proposed project will be in compliance with the City's Building Code requirements and with Part 6 and Part 11 of Title 24 of the California Code of Regulations, as further explained below.

On January 12, 2010, the State Building Standards Commission adopted updates to the California Green Building Standards Code (Code), which became effective on January 1, 2011. The California Code of Regulations (CCR) Title 24, Part 11: California Green Building Standards (Title 24) became effective to aid efforts to reduce GHG emissions associated with energy consumption. Title 24 now requires that new buildings reduce water consumption, employ building commissioning to increase building system efficiencies, divert construction waste from landfills, and install low pollutant-emitting finish materials. The 2016 version of the standards became effective as of January 1, 2017. The 2016 version addresses additional items such as clean air vehicles, increased requirements for electric vehicles charging infrastructure, organic waste, and water efficiency and conservation. The California Green Building Standards Code does not prevent a local jurisdiction from adopting a more stringent code as State law provides methods for local enhancements. Since the proposed project will be in conformance with Part 6 and Part 11 of Title 24 of the California Code of Regulations, the potential impacts are considered to be less than significant.

The proposed project is an "infill" development which is seen as an important strategy in combating the release of GHG emissions. Infill development provides a regional benefit in terms of a reduction in Vehicle Miles Traveled (VMT) since the proposed project is consistent with the regional and State sustainable growth objectives identified in the State's Strategic Growth Council (SGC).<sup>48</sup> Infill development reduces VMT by recycling existing undeveloped or underutilized properties located in established urban areas. Consequently, this distance is reduced when development is located in urban areas since employment, entertainment, and population centers tend to be set in more established communities. As a result, the potential impacts are considered to be less than significant and no mitigation is required.

### **3.8.2 MITIGATION MEASURES**

The analysis of potential impacts related to GHG emissions indicated that the proposed project would not result in any adverse impacts. As a result, no mitigation measures are required.

## **3.9 HAZARDS & HAZARDOUS MATERIALS**

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### **3.9.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

*A. Would the project create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? • Less than Significant Impact.*

Hazardous materials are chemicals that could potentially cause harm during an accidental release or mishap, and are defined as being toxic, corrosive, flammable, reactive, and irritant, or strong

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<sup>48</sup> California Strategic Growth Council. <http://www.sgc.ca.gov/Initiatives/infill-development.html>. Promoting and enabling sustainable infill development is a principal objective of the SGC because of its consistency with the State Planning Priorities and because infill furthers many of the goals of all of the Council's member agencies. Site accessed on April 20, 2018.

sensitizer.<sup>49</sup> Hazardous substances include all chemicals regulated under the United States Department of Transportation “hazardous materials” regulations and the United States Environmental Protection Agency (EPA) “hazardous waste” regulations. Hazardous wastes require special handling and disposal because of their potential to damage public health and the environment. The probable frequency and severity of consequences from the routine transport, use, or disposal of hazardous materials is affected by the type of substance, the quantity used or managed, and the nature of the activities and operations.

The proposed project’s construction would require the use of diesel fuel to power the construction equipment. The diesel fuel would be properly sealed in tanks and would be transported to the site by truck. Other hazardous materials that would be used on-site during the proposed project’s construction phase include, but are not limited to, gasoline, solvents, architectural coatings, and equipment lubricants. Due to the age of the existing building (the building was constructed in 1971), lead based paint (LBP) or asbestos containing materials (ACMs) may be present and could be released during the construction period. As a result, lead based paint and/or asbestos containing materials will be removed by a certified abatement contractor. The removal of lead based paint and/or asbestos containing materials will be done in accordance with SCAQMD Rule 1403-Asbestos Emissions from Demolition/Renovation Activities.

The project site is not located on the California Department of Toxic Substances Control’s Hazardous Waste and Substances Site List - Site Cleanup (Cortese List).<sup>50</sup> In addition, the project site is not identified on any Leaking Underground Storage Tank database (LUST).<sup>51</sup> A search through the California Department of Toxic Substances Control’s Envirostor database indicated that the project site was not included on any Federal or State clean up or Superfund lists.<sup>52</sup> The United States Environmental Protection Agency’s multi-system search was consulted to determine whether the project site is identified on any Federal Brownfield list; Federal Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) List; Federal Resource Conservation and Recovery Act (RCRA) Treatment, Storage, and Disposal (TSD) Facilities List; and/or Federal RCRA Generators List. The project site was not identified on any of the aforementioned lists.<sup>53</sup> Since the project site is not listed on any of the aforementioned databases, the likelihood of encountering contamination or other environmental concerns (leaking storage tanks, transformers, etc.) during the proposed project’s construction phase is low.

In the event the future tenant’s operations involve the transport, use, or storage of hazardous materials, the tenant will be required to comply with Federal and State regulations regarding hazardous materials. The tenant would also be required to comply with the EPA’s Hazardous Materials Transportation Act, Title 42, Section 11022 of the United States Code and Chapter 6.95 of the California

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<sup>49</sup> A “sensitizer” is a chemical that can cause a substantial proportion of people or animals to develop an allergic reaction in normal tissue after repeated exposure to a chemical (U.S. Department of Labor 2017).

<sup>50</sup> CalEPA. *DTSC’s Hazardous Waste and Substances Site List - Site Cleanup (Cortese List)*. [http://www.dtsc.ca.gov/SiteCleanup/Cortese\\_List.cfm](http://www.dtsc.ca.gov/SiteCleanup/Cortese_List.cfm)

<sup>51</sup> California State Water Resources Control Board. *GeoTracker*. <https://geotracker.waterboards.ca.gov/map/?CMD=runreport&myaddress=gardengrove,ca>

<sup>52</sup> CalEPA. *Envirostor*. [http://www.envirostor.dtsc.ca.gov/public/mapfull.asp?global\\_id=&x=-119&y=37&z=18&ms=640,480&mt=m&findaddress=True&city=gardengrove](http://www.envirostor.dtsc.ca.gov/public/mapfull.asp?global_id=&x=-119&y=37&z=18&ms=640,480&mt=m&findaddress=True&city=gardengrove)

<sup>53</sup> United States Environmental Protection Agency. *Multisystem Search*. Site accessed July 18, 2019.

Health and Safety Code, which requires the reporting of hazardous materials when used or stored in certain quantities. Furthermore, the future tenant will be required to file a Hazardous Materials Disclosure Plan and a Business Emergency Plan to ensure the safety of the employees and citizens of Garden Grove. Adherence to all pertinent local, State, and Federal regulations will reduce potential impacts to levels that are less than significant.

*B. Would the project create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? • Less than Significant Impact.*

The proposed project's construction would require the use of diesel fuel to power the construction equipment. The diesel fuel would be properly sealed in tanks and would be transported to the project site by truck. Other hazardous materials that would be used on-site during the proposed project's construction phase include, but are not limited to, gasoline, solvents, architectural coatings, and equipment lubricants. As stated previously, the project site is not identified on the California Department of Toxic Substances Control's Hazardous Waste and Substances Site List - Site Cleanup (Cortese List); the Leaking Underground Storage Tank database (LUST); the California Department of Toxic Substances Control's Envirostor database; or the United States EPA Envirofacts database.<sup>54,55,56,57</sup> Since the project site is not listed on any of the aforementioned databases, the likelihood of encountering contamination or other environmental concerns (leaking storage tanks, transformers, etc.) during the proposed project's construction phase is low.

In the event the future tenant is involved in the transport, use, or storage of hazardous materials, the tenant will be required to comply with Federal and State regulations regarding hazardous materials. The tenant would also be required to comply with the EPA's Hazardous Materials Transportation Act, Title 42, Section 11022 of the United States Code and Chapter 6.95 of the California Health and Safety Code which requires the reporting of hazardous materials when used or stored in certain quantities. Furthermore, the future tenant will be required to file a Hazardous Materials Disclosure Plan and a Business Emergency Plan to ensure the safety of the employees and citizens of Garden Grove. Adherence to all pertinent local, State, and Federal regulations will reduce potential impacts to levels that are less than significant.

*C. Would the project emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? • Less than Significant.*

There are no schools located within one-quarter of a mile from the project site. The closest school is Garden Park School, which is located approximately 2,000 feet (0.38 miles) west of the project site. As

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<sup>54</sup> CalEPA. DTSC's Hazardous Waste and Substances Site List - Site Cleanup (Cortese List). [http://www.dtsc.ca.gov/SiteCleanup/Cortese\\_List.cfm](http://www.dtsc.ca.gov/SiteCleanup/Cortese_List.cfm)

<sup>55</sup> California State Water Resources Control Board. GeoTracker. <https://geotracker.waterboards.ca.gov/map/?CMD=runreport&myaddress=gardengrove,ca>

<sup>56</sup> CalEPA. Envirostor. [http://www.envirostor.dtsc.ca.gov/public/mapfull.asp?global\\_id=&x=-119&y=37&z=18&ms=640,480&mt=m&findaddress=True&city=gardengrove](http://www.envirostor.dtsc.ca.gov/public/mapfull.asp?global_id=&x=-119&y=37&z=18&ms=640,480&mt=m&findaddress=True&city=gardengrove)

<sup>57</sup> United States Environmental Protection Agency. Multisystem Search. Website accessed July 17, 2019.

a result, the potential impacts are considered to be less than significant and no mitigation is required.

*D. Would the project be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? • No Impact.*

The *Cortese List*, also referred to as the Hazardous Waste and Substances Sites List or the California Superfund List, is a planning document used by the State and other local agencies to comply with CEQA requirements that require the provision of information regarding the location of hazardous materials release sites. California Government Code section 65962.5 requires the California Environmental Protection Agency to develop and update the Cortese List on annually basis. The list is maintained as part of the California Department of Toxic Substances Control's (DTSC) Brownfields and Environmental Restoration Program referred to as EnviroStor. A search was conducted through the DTSC's Envirostor website to identify whether the project site is listed in the database as a Cortese site. The project site is not identified as a Cortese site.<sup>58</sup> Therefore, no impacts would occur.

*E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area? • No Impact.*

The project site is not located within two miles of a public use airport. The closest airport is the Joint Forces Training Base, located 2.05 miles to the northwest in the City of Los Alamitos. The proposed project is not located within the Runway Protection Zone (RPZ) for the Joint Forces Training Base, and the proposed development will not penetrate the airport's 100:1 slope.<sup>59</sup> Essentially, the proposed project will not introduce a building that will interfere with the approach and take off of airplanes utilizing the aforementioned airport. As a result, the proposed project would not present a safety or noise hazard related to aircraft or airport operations at a public use airport to people residing or working within the project site and no impacts would occur.

*F. Would the project impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? • No Impact.*

At no time would Knott Street be completely closed to traffic during the proposed project's construction. All construction staging must occur on-site. Moreover, the proposed project will be developed in accordance with City emergency access standards and all applicable codes and ordinances for emergency vehicle access. As a result, no impacts are associated with the proposed project's implementation.

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<sup>58</sup> CalEPA. DTSC's Hazardous Waste and Substances Site List - Site Cleanup (Cortese List). [http://www.dtsc.ca.gov/SiteCleanup/Cortese\\_List.cfm](http://www.dtsc.ca.gov/SiteCleanup/Cortese_List.cfm)

<sup>59</sup> Orange County Airport Land Use Commission. Airport Environs Land Use Plan for Joint Forces Training Base, Los Alamitos. Amended 2015. <http://www.ocair.com/commissions/aluc/archive/2015/2015-07-16/item1.pdf>.



G. *Would the project expose people or structures, either directly or indirectly, to a significant risk of loss, injury, or death involving wild land fire? • No Impact.*

As indicated previously, the project site and the adjacent properties are urbanized and there are no areas of native or natural vegetation found within the vicinity of the project site. The project site is located outside of any area where there is natural vegetation that may represent a significant wildfire risk, and lacks brush or grass covered areas typically found in areas susceptible to wildfires. As a result, no risk from wildfire is anticipated with the approval and subsequent implementation of the proposed project and no impacts will occur.

### **3.9.2 MITIGATION MEASURES**

The environmental analysis determined that the proposed project will not require any mitigation.

## **3.10 HYDROLOGY & WATER QUALITY**

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### **3.10.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

A. *Would the project violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality? • Less than Significant Impact.*

The proposed project's construction and subsequent occupation will not violate any water quality standards, waste discharge requirements, or otherwise degrade surface or groundwater quality. The discharge of contaminated runoff from construction will be minimized since the Applicant will be required to adhere to the construction BMPs outlined in the Construction Runoff Guidance Manual. The construction BMPs identified in the Construction Runoff Guidance Manual are applicable for all projects located within Orange County.<sup>60</sup> These construction BMPs are grouped into the following categories:

- *Erosion control*, which focuses on preventing soil from being eroded by stormwater and potentially discharged from the construction site;
- *Sediment control*, which focuses on preventing eroded soil from being discharged from the construction site;
- *Wind erosion control*, which protects the soil surface and prevents the soil particles from being detached by wind;
- *Tracking control*, which prevents or reduces the amount of sediment that is tracked to paved areas from unpaved areas by vehicles or construction equipment;

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<sup>60</sup> Orange County Public Works. *Construction Runoff Guidance Manual*. Report dated December 2012.

- *Non-stormwater management*, which limits or reduces potential pollutants at their source before they are exposed to stormwater; and,
- *Waste management and materials pollution control*, which practices that limit or reduce or prevent the contamination of stormwater by construction wastes and materials.<sup>61</sup>

The project Applicant will be required to prepare a Stormwater Pollution Prevention Program (SWPPP) pursuant to General Industrial Activities Storm Water Permit (GIASP) regulations since the proposed project would connect to the City's MS4. The SWPPP would contain additional construction BMPs that would be the responsibility of the project Applicant to implement. Furthermore, the applicant would also be required to submit a Notice of Intent to comply with the General Construction Activity NPDES Permit to the State Water Resources Control Board. The Applicant must ensure that a SWPPP is approved, or file a Notice of Intent to comply with the State permit prior to issuance of a grading permit.<sup>62</sup> The NPDES, SUSMP, and SWPPP are all elements of the MS4. Adherence to the aforementioned requirements will reduce the potential construction and operational impacts to levels that are less than significant.

Based on the site plan, approximately 94 percent of the project site will be covered over with impervious surfaces. The major source of potential water pollution is related to sheet runoff, capturing surface pollutants from driveways, and other impervious areas that are then conveyed into the local storm water system that is composed of gutters, drains, catch basins, and pipes. This storm water infrastructure will collect the water runoff which will be conveyed to the local storm drain system. In the absence of certain design measures, trash, animal waste, chemicals, and other pollutants would be transported untreated through the storm water system where it is ultimately conveyed to the regional storm drain system.

The City of Garden Grove requires the preparation of a Water Quality Management Plan (WQMP) for projects that meet a certain criteria. The proposed project will involve the pavement of the site. Therefore, the project Applicant will be required to prepare a WQMP since the proposed project is consistent with Category 8 on Table 7.11-2, which states:

*"All significant redevelopment projects, where significant redevelopment is defined as the addition or replacement of 5,000 or more square feet of impervious surface on an already developed site. Redevelopment does not include routine maintenance activities that are conducted to maintain original line and grade, hydraulic capacity, original purpose of the facility, or emergency redevelopment activity required to protect public health and safety."*

The project Applicant will be required to implement the post-construction Best Management Practices (BMPs) recommended in the mandatory WQMP. These BMPs will filter polluted runoff and will remove contaminants of concern prior to the discharge or percolation of runoff. From there, filtered water will either percolate into the ground, or may be discharged off-site via the local stormwater infrastructure. Thus, the proposed project's implementation will not increase the rate or amount of

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<sup>61</sup> DMS Consultants, Inc. *Preliminary Water Quality Management Plan (WQMP)*. Report dated May 29, 2018.

<sup>62</sup> City of Garden Grove. *The Garden Grove Plan, Program Environmental Impact Report*. February 2012.

surface runoff; create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems; or provide additional sources of polluted runoff. As a result, the potential impacts are considered to be less than significant.

*B. Would the project substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin? • Less than Significant Impact.*

The grading and trenching that would be undertaken to accommodate the building footings, utility lines, and other underground infrastructure such as stormwater appurtenances and double check detector assemblies would not extend to depths required to encounter groundwater. Therefore no direct construction related impacts to groundwater supplies, or groundwater recharge activities would occur. The proposed project would continue to be connected to the City's water lines and would not result in a direct decrease in underlying groundwater supplies. Furthermore, the proposed project's contractors would be required to adhere to the applicable Best Management Practices (BMPs) for the construction site. Adherence to the required BMPs would restrict the discharge of contaminated runoff into the local storm drain system. As a result, the impacts are anticipated to be less than significant.

*C. Would the project substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner, which would: result in substantial erosion or siltation on- or off-site; substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site; create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or, impede or redirect flood flows? • Less than Significant Impact.*

Once implemented, the proposed project would change the site's drainage characteristics. A majority of the project site is currently covered over in impervious surfaces. Currently, stormwater runoff is discharged off-site into the street. Following construction, runoff will either percolate into the ground or will be discharged off-site into the local stormwater infrastructure. Once the proposed project is complete, pervious surfaces (landscaping) will comprise 6.7 percent of the project site. Furthermore, the portion of Chapman Avenue that extends along the site's northern property line is paved and any runoff discharged off-site would not result in erosion or siltation. Additionally, the proposed project's construction would be restricted to the designated project site and the proposed project would not alter the course of any stream or river that would lead to on- or off-site siltation or erosion.

As indicated previously, the project Applicant will be required prepare a WQMP and implement all of the recommended Best Management Practices (BMPs) included in the report. These post-construction BMPs would filter out contaminants of concern, allow runoff to percolate into the ground, and would also result in the controlled discharge of excess runoff off-site. Therefore, the risk of off-site erosion and/or siltation will be minimal given the reduced water runoff and the lack of pervious surfaces outside of the project site. Thus, the proposed project's implementation will not substantially increase the rate or amount of surface runoff; create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems; or provide additional sources of polluted runoff. As a result, the potential impacts are considered to be less than significant.

*D. Would the project, in flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation? • Less than Significant Impact.*

According to the Federal Emergency Management Agency (FEMA) flood insurance maps obtained for the City of Garden Grove, the proposed project site is located in Zone X.<sup>63</sup> This flood zone has an annual probability of flooding of less than 0.2% and represents areas outside the 500-year flood plain. Thus, properties located in Zone X are not located within a 100-year flood plain.<sup>64</sup> The proposed project site is not located in an area that is subject to inundation by tsunami or seiche. The project site is located inland approximately eight miles from the Pacific Ocean and the project site would not be exposed to the effects of a tsunami.<sup>65</sup> Furthermore, a seiche in the Bolsa Chica Channel, located approximately 870 feet southeast, is not likely to happen due to the current level of channelization and volume of water present.

The project site and the majority of the City are located within an area that could be subject to flows due to failure or overflow at the Prado Dam, located approximately 20 miles to the northeast in the City of Corona. The primary impact associated with potential dam failure will be related to property damage since flood water will be relatively shallow and the flood water releases would be gradual.<sup>66</sup> The risk of dam inundation is no greater for the project site than the rest of the City since a majority of the City is located within the inundation path of the Prado Dam. As a result, the potential impacts with regards to flooding, tsunamis, seiches, or dam inundation are considered to be less than significant.

*E. Would the project conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan? • No Impact.*

The project Applicant will be required to prepare a SWPPP and implement the construction BMPS identified in the SWPPP. The Applicant will also be required to install the post-construction structural BMPS identified in the mandatory WQMP. In addition, the proposed project's construction and operation would not interfere with any groundwater management or recharge plan since grading and excavation performed on-site will not be deep enough to encounter ground water. Furthermore, adherence to the construction stormwater BMPs identified in Section 3.9 will ensure no polluted runoff is discharged off-site or will be allowed to infiltrate underlying groundwater. As a result, no impacts are anticipated.

### **3.10.2 MITIGATION MEASURES**

The analysis indicated that the proposed project would not result in any hydrological, stormwater runoff, or water quality impacts. As a result, no mitigation is required.

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<sup>63</sup> Federal Emergency Management Agency (FEMA). *FEMA Flood Map*.  
<https://msc.fema.gov/portal/search?AddressQuery=Garden Grove#searchresultsanchor>

<sup>64</sup> FEMA. *Flood Zones, Definition/Description*. <http://www.fema.gov/floodplain-management/flood-zones>

<sup>65</sup> Google Earth. Website accessed July 17, 2019.

<sup>66</sup> United States Army Corps of Engineers, Los Angeles District. *Dam Safety Program*. <http://www.spl.usace.army.mil/Media/FactSheets/tabid/1321/Article/477349/dam-safety-program.aspx>.

### **3.11 LAND USE & PLANNING**

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#### **3.11.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

*A. Would the project physically divide an established community? • No Impact.*

The proposed project involves the addition to an existing warehouse building in the City of Garden Grove. The project site is currently developed with an existing warehouse building with a total floor area of 119,836 square feet, including a 20,000 square foot two-story office. This existing building will remain. The proposed improvements will involve the construction of a building addition on the north side of the existing warehouse building. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the entire building (existing and future) to 165,171 square feet.

The project site is located along the west side of Knott Street, which is a major arterial roadway. The Garden Grove Freeway is located along the project site's south side. A portion of Brady Way, which extends along the site's west side, will be vacated and incorporated into the project site. A single-family residential neighborhood is located adjacent to the project site to the west of Brady Way. The Garden Room wedding chapel and banquet facility is located adjacent to the project site on the north. Knott Avenue extends along the project site's east side. Light industrial uses and a church (Calvary Chapel) is located further east, on the east side of Knott Avenue.

The project site is designated as *IC (Industrial Commercial Mixed Use)*. The project site is zoned *PUD-104-70 (Planned Unit Development)*. The existing General Plan designations for the project site and the surrounding area are shown in Exhibit 3-3. The existing Zoning designations for the project site and the surrounding area are shown in Exhibit 3-4.

Whether the proposed project would physically divide an established community depends on whether it involves the expansion of an inconsistent land use into an established neighborhood; assuming that an "established community" refers to a residential neighborhood. The proposed project will be confined within the project site's boundaries. As a result, the proposed project would not lead to any division of an existing established neighborhood and no impacts would occur.

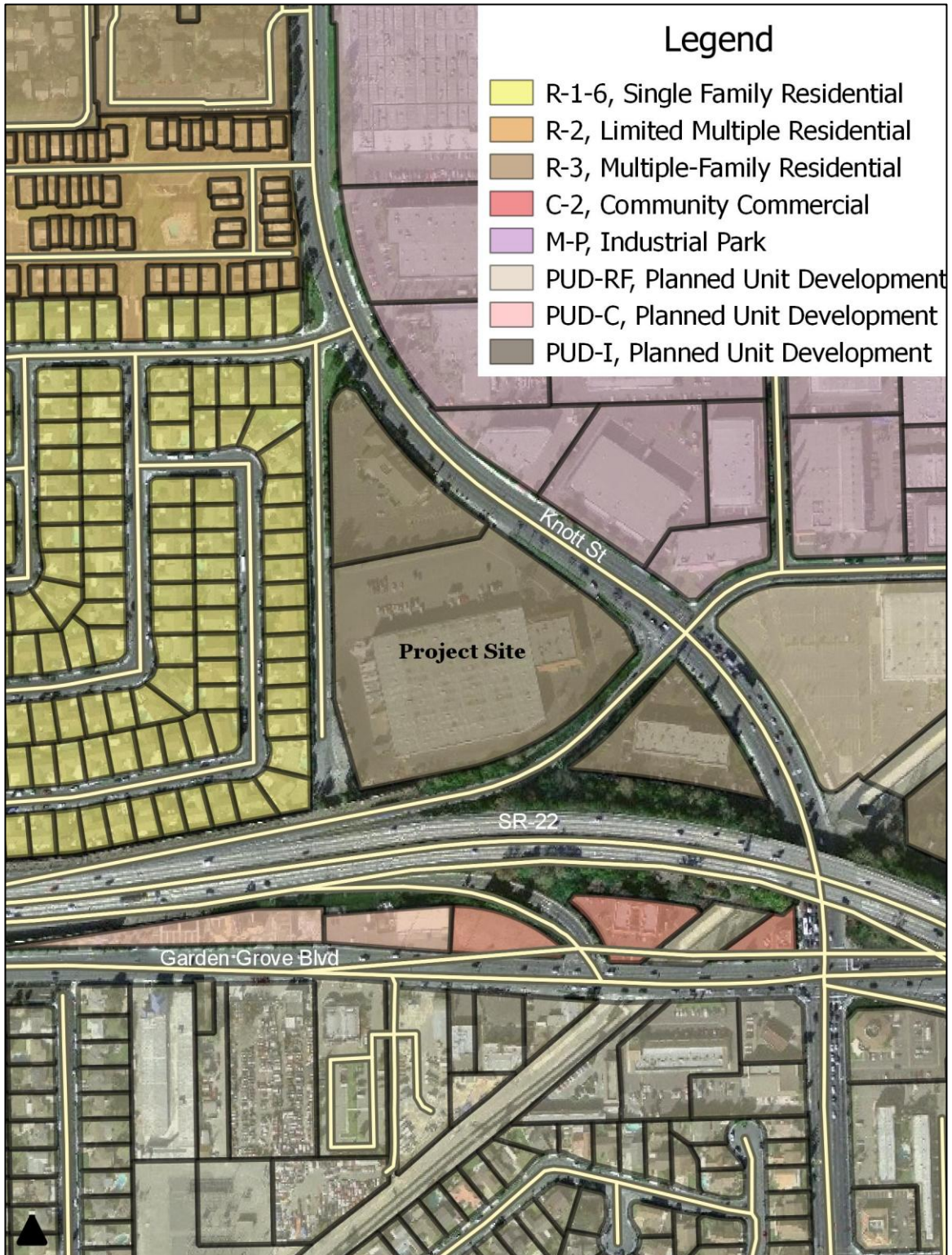
*B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect? • Less than Significant Impact.*

A Discretionary Decision (or Action) is an action taken by a government agency (for this project, the government agency is the City of Garden Grove) that calls for an exercise of judgment in deciding whether to approve a project. The project site is designated as *IC (Industrial Commercial Mixed Use)*. The project site is zoned *PUD-104-70 (Planned Unit Development)*. The existing General Plan designations for the project site and the surrounding area are shown in Exhibit 3-3. The existing Zoning designations for the project site and the surrounding area are shown in Exhibit 3-4.



**EXHIBIT 3-3**  
**GENERAL PLAN LAND USE MAP**  
SOURCE: QGIS





**EXHIBIT 3-4**  
**ZONING MAP**  
SOURCE: QGIS

A Zone Change will be required for the vacated portion of Brady Way, which fronts along the west side of the property. A Site Plan will be required for the development of the site with the proposed addition and the associated site improvements. No other discretionary actions are required to accommodate the proposed project. Table 3-6 depicts the proposed project's conformity with the City's zoning standards that are applicable to the project site. As shown in the table, the proposed project conforms to the City's development standards.

**Table 3-7**  
**The Project Conformity with the Planned Unit Development and City's Zoning Standards**

Description	City Requirements	Project Element	Conforms?
Minimum Lot Size	15,000 sq.ft.	347,385 sq.ft	Yes
Maximum Building Height	37 ft.	37 ft.	Yes

**Source:** City of Garden Grove Municipal Code Title 9 – Land Use

Since the proposed project is consistent with the sites underlying Zoning and General Plan land use designation, the potential impacts are considered to be less than significant.

### 3.11.2 MITIGATION MEASURES

The analysis determined that no significant impacts on land use and planning would result from the implementation of the proposed project. As a result, no mitigation measures are required.

## 3.12 MINERAL RESOURCES

### 3.12.1 ANALYSIS OF ENVIRONMENTAL IMPACTS

- A. *Would the project result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the State? • No Impact.*

A review of California Division of Oil, Gas, and Geothermal Resources (DOGGR) well finder indicates that there are no wells located within the project site.<sup>67</sup> There are a total of five active mineral resource areas in Orange County. These areas include the Santa Ana River Resource Area, the Lower Santiago Creek Resource Area, the Upper Santiago Creek Resource Area, the Arroyo Trabuco Resource Area, and the San Juan Creek Resource Area.<sup>68</sup> None of these resource areas are located near the project site. As a result, no impacts to mineral resources will occur.

<sup>67</sup> California, State of. Department of Conservation. *California Oil, Gas, and Geothermal Resources Well Finder*. <https://maps.conservation.ca.gov/doggr/wellfinder/#openModal/-117.95784/33.78484/14>

<sup>68</sup> California, State of. Department of Conservation. *Update of Mineral Land Classification of Portland Cement Concrete Aggregate in Ventura, Los Angeles, and Orange Counties, California, Part III: Orange County*. Report dated 1994. [ftp://ftp.consrv.ca.gov/pub/dmg/pubs/ofr/OFR\\_94-15/OFR\\_94-15\\_Text.pdf](ftp://ftp.consrv.ca.gov/pub/dmg/pubs/ofr/OFR_94-15/OFR_94-15_Text.pdf)



- B. Would the project result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan? • No Impact.*

As previously mentioned, no mineral, oil, or energy extraction and/or generation activities are located within the project site. Moreover, the proposed project will not interfere with any resource extraction activity. Therefore, no impacts will result from the implementation of the proposed project.

### **3.12.2 MITIGATION MEASURES**

The analysis of potential impacts related to mineral resources indicated that no impacts would result from the proposed project's approval and subsequent implementation. As a result, no mitigation measures are required.

## **3.13 NOISE**

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### **3.13.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

- A. Would the project result in a generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? • Less than Significant Impact with Mitigation.*

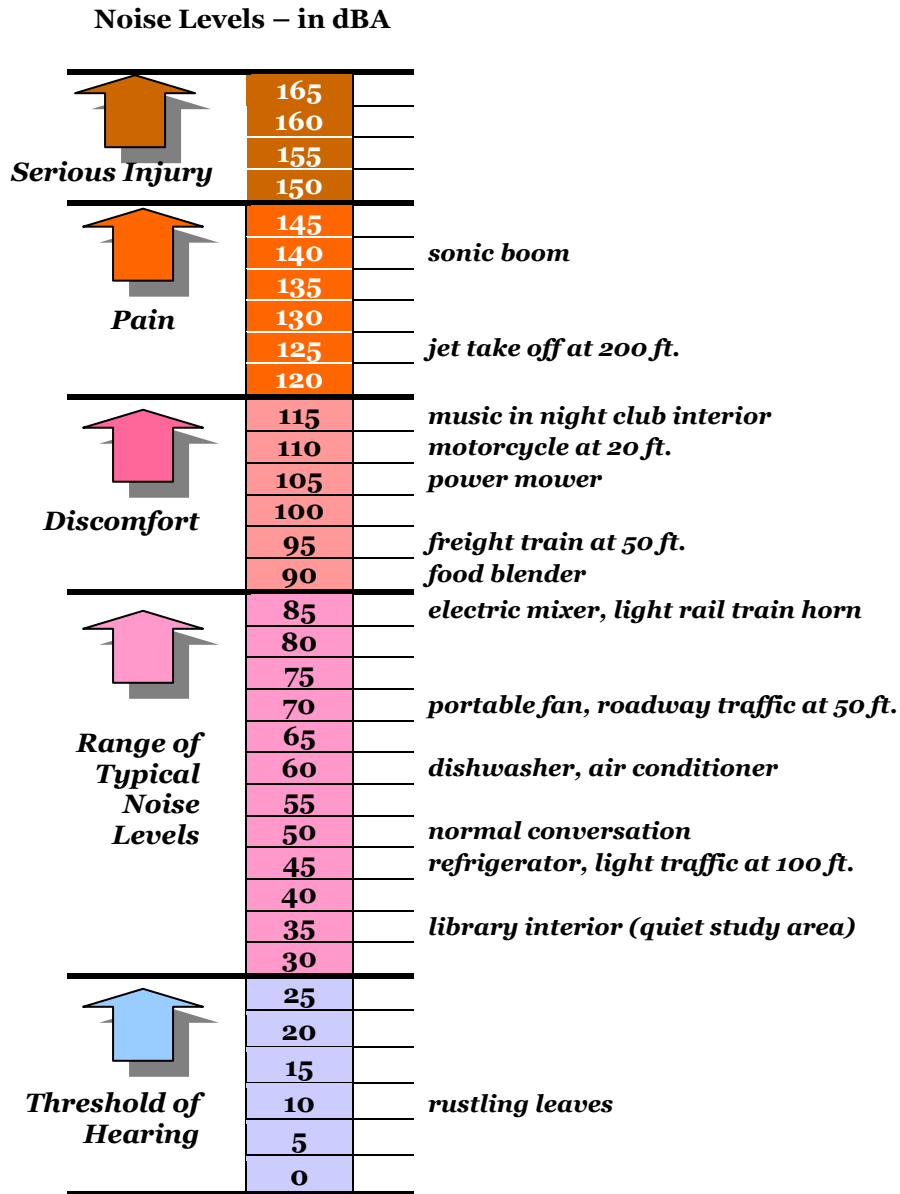
The most commonly used unit for measuring the level of sound is the decibel (dB). Zero on the decibel scale represents the lowest limit of sound that can be heard by humans. Noise levels may also be expressed as dBA where an “A” weighting has been incorporated into the measurement metric to account for increased human sensitivity to noise. The A-weighted measurements correlate well with the perceived noise levels at lower frequencies. Noise may be generated from a point source, such as a piece of construction equipment, or from a line source, such as a road containing moving vehicles. The eardrum may rupture at 140 dB. In general, an increase of between 3.0 dB and 5.0 dB in the ambient noise level is considered to represent the threshold for human sensitivity. In other words, increases in ambient noise levels of 3.0 dB or less are not generally perceptible to persons with average hearing abilities.<sup>69</sup> Examples of typical noise levels associated with specific activities are shown in Exhibit 3-5.

Composite construction noise is best characterized in a study prepared by Bolt, Beranek, and Newman.<sup>70</sup> In the aforementioned study, the noisiest phases of construction are anticipated to be 89 dBA as measured at a distance of 50 feet from the construction activity. This value takes into account both the number of pieces and spacing of the heavy equipment typically used in a construction effort. In later phases during building erection, noise levels are typically reduced from these values and the physical structures further break up line-of-sight noise.

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<sup>69</sup> Bugliarello, et. al., *The Impact of Noise Pollution*, Chapter 127, 1975.

<sup>70</sup> USEPA, *Protective Noise Levels*. 1971.



## EXHIBIT 3-5

### TYPICAL NOISE SOURCES AND LOUDNESS SCALE

Source: Blodgett Baylosis Environmental Planning

In addition, the construction noise levels typically will decline as one moves away from the noise source in phenomenon known as *spreading loss*. Stationary noise subject to spreading loss experiences a 6.0 dBA reduction for every doubling of the distance beginning with the initial 50-foot distance. Noise emanating from travelling vehicles subject to spreading loss experiences a 3.0 dBA reduction for every doubling of the distance beginning with the initial 50-foot distance. Noise reductions of 4.5 dBA per doubling of the distance are possible over unpaved surfaces.

The project site is located within an urbanized setting and the ambient noise characteristics reflect the surrounding urban environment. The nearest sensitive receptor to the project site includes the residential development that abuts the site to the west, west of the existing Brady Way right-of-way. The predominant source of noise in the area is related to traffic travelling on State Route 22, which is directly south of the project site. An *Extech* Digital Sound Meter was used to conduct the noise measurements. The meter was performed using a slow response setting, with an “A” weighting. The meter’s height above the ground surface was five feet. A series of 100 discrete noise measurements were recorded along Brady Way. Exhibit 3-6 indicates the measurement locations. The duration of each measurement period was 15 minutes. The results of the survey are summarized in Table 3-8. The measurements were taken on a Thursday afternoon at 12:51 PM. The median ambient exterior noise level ( $L_{50}$ ) was 62.6 dBA at the measurement location. The  $L_{50}$  represents the noise level that is exceeded 50% of the time (half the time the noise level exceeds this level and half the time the noise level is less than this level). As shown in Table 3-8, the average ambient noise level was 62.7 dBA. The noise measurement worksheets are included herein in Appendix C.

**Table 3-8**  
**Noise Measurement Results**

Noise Metric	Noise Level (dBA)
$L_{max}$ (Maximum Noise Level)	73.2 dBA
$L^{99}$ (Noise levels <99% of time)	71.2 dBA
$L^{90}$ (Noise levels <90% of time)	64.3 dBA
$L^{75}$ (Noise levels <75% of time)	63.4 dBA
$L^{50}$ (Noise levels <50% of time)	62.6 dBA
$L_{min}$ (Minimum Noise Level)	59.7 dBA
Average Noise Level	62.7 dBA

Source: Blodgett Baylosis Environmental Planning.

The City of Garden Grove's noise control regulations are included in Title 8, Chapter 47 (Noise Control) of the Municipal Code. The State of California has mandated that local governments prepare a noise element as part of their general plans. The Garden Grove Noise Element contains noise guidelines with respect to land use and noise exposure compatibility. These standards are contained in the Garden Grove General Plan Noise Element (page 7-7; Table 7-1). According to the General Plan, the proposed project will be constructed in an area with a normally acceptable ambient noise environment. Therefore, the proposed project will not expose future workers to excessive exterior noise levels.



**EXHIBIT 3-6**  
**NOISE MEASUREMENT LOCATION AND NOISE SENSITIVE RECEPTORS**  
SOURCE: BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING

As indicated previously, the nearest sensitive receptor to the project site includes the residential development that abuts the site to the west. The proposed project's construction noise levels were estimated using the Federal Highway Administration's (FHWA) Roadway Construction Noise Model Version 1.1. The pieces and number of equipment that will be utilized was taken from the CalEEMod worksheets prepared for this project. The distance used between the construction activity and the nearest sensitive receptors varied depending on the individual equipment. The model was run for the grading phase and is presented in Appendix C. As indicated by the model, the proposed project's construction will result in ambient noise levels of up to 75.2 dBA at the nearest sensitive receptor. Construction noise is regulated under Section 8.47.060(D)-Special Noise Sources, which states:

*"It shall be unlawful for any person within a residential area, or within a radius of 500 feet therefrom, to operate equipment or perform any outside construction or repair work on buildings, structures, or projects, or to operate any pile driver, power shovel, pneumatic hammer, derrick, power hoist, or any other construction type device between the hours of 10:00 p.m. of one day and 7:00 a.m. of the next day in such a manner that a person of normal sensitiveness, as determined utilizing the criteria established in Section 8.47.050(B), is caused discomfort or annoyance unless such operations are of an emergency nature."*

The project Applicant will be required to adhere to the City's Noise Ordinance. Construction will take place between the hours of 7:00 AM and 10:00 PM pursuant to Section 8.47.060(D) of the City's code. In order to ensure that noise levels are further reduced, the following mitigation is required:

- The City Inspector shall ensure that the contractors use construction equipment that includes working mufflers and other sound suppression mechanisms as a means to reduce machinery noise. The Inspector must inspect the equipment prior to the start of the demolition phase.

The aforementioned mitigation calls for the use of sound suppressing equipment. For example, a typical excavator will produce noise levels of around 80.5 dBA at a distance of 50 feet. In the quietest configuration, with improved exhaust and intake muffling, fan disengaged, and three sound panels around the engine, the overall level was reduced to 71.5 dBA at a distance of 50 feet.<sup>71</sup> Furthermore, regular maintenance of construction equipment will ensure noise levels do not increase over time

Once operational, noise emanating from trucks traveling to the site as well as from trucks idling on-site will not negatively affect the nearby sensitive receptors. Trucks at idle produce an average noise level of 70 dBA from a distance of 70 feet from the noise source.<sup>72</sup> Passing trucks will generate noise levels between 75 and 90 dBA depending on the speed of the truck and the volume of traffic. In order to ensure truck noise is kept to a minimum, the following mitigation will be required:

- Trucks will only be permitted to access the project site from Knott Avenue.

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<sup>71</sup> Laborers' Health and Safety Fund of North America. *Controlling Noise on Construction Sites*.  
<https://www.lhsfna.org/LHSFNA/assets/File/bpguide%202014.pdf>

<sup>72</sup> Noise measurements collected by Blodgett Baylosis Environmental Planning. July 2019.

Noise emanating from idling trucks will be further attenuated by the shells of the nearby residential units. The building's shell will result in a 20 dBA reduction of exterior noise levels.<sup>73 74</sup> Therefore, noise emanating from idling trucks during proposed project's operation will result in less than significant impacts. Adherence to the construction mitigation proposed throughout this subsection will reduce potential impacts to levels that are less than significant.

*B. Would the project result in a generation of excessive ground-borne vibration or ground-borne noise levels? • Less than Significant Impact.*

Ground vibrations associated with construction activities using modern construction methods and equipment rarely reach the levels that result in damage to nearby buildings though vibration related to construction activities may be discernible in areas located near the construction site. A possible exception is in older buildings where special care must be taken to avoid damage. Table 3-9 summarizes the levels of vibration and the usual effect on people and buildings.

**Table 3-9  
Common Effects of Construction Vibration**

Peak Particle Velocity (in/sec)	Effects on Humans	Effects on Buildings
<0.005	Imperceptible	No effect on buildings
0.005 to 0.015	Barely perceptible	No effect on buildings
0.02 to 0.05	Level at which continuous vibrations begin to annoy occupants of nearby buildings	No effect on buildings
0.1 to 0.5	Vibrations considered unacceptable for persons exposed to continuous vibration.	Minimal potential for damage to weak or sensitive structures
0.5 to 1.0	Vibrations considered bothersome by most people, however tolerable if short-term in length	Threshold at which there is a risk of architectural damage to buildings with plastered ceilings and walls. Some risk to older buildings.
1.0 to 2.0	Vibrations considered unpleasant by most people.	U.S. Bureau of Mines data indicates that blasting vibration in this range will not harm most buildings.
>3.0	Vibration is unpleasant	Potential for architectural damage and possible minor structural damage

Source: U.S. Department of Transportation

The U.S. Department of Transportation (U.S. DOT) has guidelines for vibration levels from construction related to their activities, and recommends that the maximum peak-particle-velocity (PPV) levels remain below 0.05 inches per second at the nearest structures. PPV refers to the movement within the ground of molecular particles and not surface movement. Vibration levels above 0.5 inches per second have the potential to cause architectural damage to normal dwellings. The U.S. DOT also states that vibration levels above 0.015 inches per second (in/sec) are sometimes perceptible to people, and the level at which vibration becomes an irritation to people is 0.64 inches per second.

<sup>73</sup> California Department of Transportation. *Technical Noise Supplement to the Traffic Noise Analysis Protocol – Table 7-1 FHWA Building Noise Reduction Factors*. Report dated 2013.

<sup>74</sup> Noise measurements collected by Blodgett Baylosis Environmental Planning. July 2019.

The proposed project's implementation would not require deep foundations since the underlying fill soils would be removed and the proposed improvements would have a maximum height of 37 feet. The proposed improvements would be constructed over a shallow foundation that would extend no more than three to four feet bgs. The use of shallow foundations precludes the use of pile drivers or any auger type equipment. As shown in the construction noise model, the proposed project's construction would not require the use of impact producing equipment.

Once occupied, the overall increase in ambient noise level would not be readily apparent to an individual with normal hearing. The proposed project's future residents will be required to adhere to all pertinent City noise regulations. Furthermore, the traffic associated with the proposed project will not be great enough to result in a measurable or perceptible increase in traffic noise (it typically requires a doubling of traffic volumes to increase the ambient noise levels to 3.0 dBA or greater). As a result, the traffic noise impacts resulting from the proposed project's occupancy are deemed to be less than significant with the aforementioned mitigation.

*C. For a project located within the vicinity of a private airstrip or- an airport land use plan, or where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? • No Impact.*

The project site is not located within two miles of a private airstrip.<sup>75</sup> The proposed project is not located within the Runway Protection Zone (RPZ) for the Joint Forces Training Base, which is located 2.05 miles northwest of the project site. Furthermore, the project site is located outside of the 65 CNEL noise contour boundaries for the aforementioned airport.<sup>76</sup> As a result, no impacts will occur.

### **3.13.2 MITIGATION MEASURES**

The proposed project will require the following mitigation measures:

*Mitigation Measure No. 7 (Noise).* The City Inspector shall ensure that the contractors use construction equipment that includes working mufflers and other sound suppression mechanisms as a means to reduce machinery noise. The Inspector must inspect the equipment prior to the start of the demolition phase.

*Mitigation Measure No. 8 (Noise).* Trucks will only be permitted to access the project site from Knott Avenue.

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<sup>75</sup> Google Earth. Website accessed July 18, 2019.

<sup>76</sup> Orange County Airport Land Use Commission. *Airport Environs Land Use Plan for Joint Forces Training Base, Los Alamitos*. Amended 2015. <http://www.ocair.com/commissions/aluc/archive/2015/2015-07-16/item1.pdf>.



## 3.14 POPULATION & HOUSING

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### 3.14.1 ANALYSIS OF ENVIRONMENTAL IMPACTS

- A. *Would the project induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? • Less than Significant Impact.*

Growth-inducing impacts are generally associated with the provision of urban services to an undeveloped or rural area. Growth-inducing impacts include the following:

- *New development in an area presently undeveloped and economic factors which may influence development.* The site is developed and the site occupies frontage along a major arterial roadway.
- *Extension of roadways and other transportation facilities.* The proposed project will utilize the existing roadways, driveways, and sidewalks.
- *Extension of infrastructure and other improvements.* The proposed project will utilize the existing infrastructure, though new utility lines will be installed. The installation of these new utility lines will not lead to subsequent development.
- *Major off-site public projects (treatment plants, etc.).* The proposed project's increase in demand for utility services can be accommodated without the construction or expansion of landfills, water treatment plants, or wastewater treatment plants.
- *The removal of housing requiring replacement housing elsewhere.* There are no housing units located on-site.
- *Additional population growth leading to increased demand for goods and services.* Due to the nature of the proposed project (industrial), no direct increase in population will occur.
- *Short-term growth-inducing impacts related to the project's construction.* The proposed project will result in temporary employment during the construction phase.

According to the Growth Forecast Appendix prepared by SCAG for the 2016-2040 RTP/SCS, the City of Garden Grove is projected to add a total of 6,800 new jobs through the year 2040.<sup>77</sup> As indicated previously, the proposed project has the potential to result in a generation of up to 164 new jobs based on a ratio of one new job per 1,000 square feet. The projected number of new jobs is well within SCAG's employment projections for the City of Garden Grove. Additionally, construction of the proposed project would provide short-term jobs over an approximate 10-month period; however, it is anticipated that project-related construction labor force would already be located in the proposed project's vicinity, and workers would not be expected to relocate their residences. Lastly, the proposed project would not cause or result in direct population growth because the proposed project would not provide housing on the project site or elsewhere. As a result, the potential impacts are considered to be less than significant.

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<sup>77</sup> Southern California Association of Governments. *Regional Transportation Plan/Sustainable Communities Strategy 2016-2040. Demographics & Growth Forecast.* April 2016.



- B. Would the project displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere? • No Impact.*

No housing units will be displaced as a result of the proposed project's implementation. The site is currently undeveloped. Therefore, no impacts would result.

### **3.14.2 MITIGATION MEASURES**

The analysis of potential population and housing impacts indicated that no significant impacts would result from the proposed project's approval and subsequent implementation. As a result, no mitigation is required.

## **3.15 PUBLIC SERVICES**

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### **3.15.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

- A. Would the project in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for: Fire protection services; Police protection; Schools; Parks; other Governmental facilities? • Less than Significant Impact.*

The proposed use will be subject to review and approval by the Orange County Fire Authority (OCFA) to ensure that fire safety and fire prevention measures are incorporated into the project. According to the OCFA, the transition from municipal fire services to County fire services will increase response times and will provide additional employees including paramedics and professional firefighters.<sup>78</sup> In addition, county-wide response times range between five to seven minutes.<sup>79</sup>

Compliance with fire code requirements, installation of sprinkler systems, and approval of the site plan by the Orange County Fire Authority (OCFA) are expected to reduce potential impacts to levels that are less than significant. The Applicant will be required to submit the latest/final architectural plans to OCFA for their preliminary review/clearance. The closest fire station to the project site is Garden Grove Fire Station No. 1, located approximately 1.75 miles to the southeast. The proposed project will be constructed in compliance with the most recent Building Code further reducing the project's fire risk. The proposed project would only place an incremental demand on fire services since the proposed project will be constructed with strict adherence to all pertinent building and fire codes. In addition, the proposed project's implementation will not affect response times or department capacity. As a result, the potential impacts to fire protection services are considered to be less than significant.

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<sup>78</sup> OCFA – Orange County Fire Authority. *Garden Grove Transition*.  
<https://www.ocfa.org/NewsAndEvents/NewsAndEvents.aspx>

<sup>79</sup> OCFA – Orange County Fire Authority. *About Us*. <https://www.ocfa.org/AboutUs/FAQs.aspx>

Law enforcement services are provided by the Garden Grove Police Department. The Garden Grove Police Department's station is located approximately four miles east of the project site.<sup>80</sup> The proposed project would only place an incremental demand on police protection services since the proposed project is not anticipated to be an attractor for crime due to the lack of unsecure open space. The Police Department will review the site plan for the proposed project to ensure that the development adheres to the Department requirements. Specifically, all monitoring systems, alarms, and walls will be under department review. Adherence to the abovementioned requirements will reduce potential impacts on police protection to levels that are less than significant.

The Garden Grove Unified School district serves a majority of the City as well as the surrounding cities of Anaheim, Fountain Valley, Cypress, Santa Ana, Stanton, and Westminster. The district currently has approximately 48,000 students enrolled in 66 schools located throughout the district. Not only are no residential uses contemplated by the proposed project that would induce population growth and place an increased demand on school facilities, but also the project developer would be required to pay any pertinent development fees to the local school districts. Pursuant to SB-50, payment of fees to the applicable school district is considered full mitigation for project-related impacts. As a result, the impacts will be less than significant. Furthermore, the increase in demand for local parks and recreation facilities are anticipated to be less than significant since the proposed project is industrial. In addition, the project Applicant will be required to pay in-lieu park fees required by the City. As a result, less than significant impacts to parks and recreational services will occur. In conclusion, no new governmental services will be needed to implement the proposed project since the proposed project will not introduce any new development. As a result, the potential impacts are considered to be less than significant.

### **3.15.3 MITIGATION MEASURES**

The analysis determined that the proposed project would not result in any significant impact on public services. As a result, no mitigation is required.

## **3.16 RECREATION**

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### **3.16.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

- A. *Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?* • No Impact.

The City of Garden Grove Community Services Department operates and maintains 26 public parks and recreational facilities located throughout the City. Due to the nature of the proposed project (warehousing), no impacts to parks and recreational services will occur.

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<sup>80</sup> Google Earth.

- B. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? • No Impact.*

Due to the nature of the proposed project (warehousing), no impacts to parks and recreational services will occur. In addition, the construction of the proposed project will be restricted to the designated project site and no outside areas will be disturbed to accommodate the installation of the aforementioned amenities. Therefore, no impacts will result and no mitigation is required.

### **3.16.2 MITIGATION MEASURES**

The analysis determined that the proposed project would not result in any significant impact on recreational facilities and services. As a result, no mitigation is required.

## **3.17 TRANSPORTATION**

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### **3.17.2 ANALYSIS OF ENVIRONMENTAL IMPACTS**

- A. Would the project conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities? • Less than Significant Impact.*

Construction and operational traffic was quantified as part of this analysis. Construction traffic was estimated as part of the CalEEMod. Operational traffic was quantified in a separate Traffic Impact Analysis that was prepared for the proposed project. As indicated in the CalEEMod, the Building Construction phase will result in the greatest number of trips. A total of 65 trips will occur during the Building Construction phase, with 54 trips consisting of worker trips, and 21 trips consisting of vendor (water and cement trucks). Larger construction equipment (dozers, rollers, pavers, cranes, backhoes, etc.) will be transported to the site by larger trucks and will be stored on-site during the construction phase when this equipment is in use. A total of 46 truck trip ends will be required to transport this equipment to the project site during the construction period.

Traffic analysis and level of service (LOS) parameters, such as LOS and intersection performance metrics, significant impact thresholds, saturation flow rates for lane groups, and other factors were applied in accordance with the City's currently adopted methods for traffic studies. The analysis methodology is based on the City of Garden Grove's traffic study criteria. Intersection operating conditions are defined in terms of "Level of Service" (LOS), a grading scale used to represent the quality of traffic flow at an intersection. Level of Service ranges from LOS "A," representing free-flow conditions, to LOS "F," which indicates failing or severely congested traffic flow. The City of Garden Grove recognizes LOS "D" as the minimum satisfactory Level of Service during peak hour conditions.

To determine the above peak-hour intersection LOS values for each intersection, the intersection capacity utilization (ICU) methodology was used. ICU methodology calculates the efficiency of an intersection to handle certain traffic conditions by summing the volume-to-capacity (V/C) of critical east/west and north/south conflicting movement combinations, which are determined from the

volume and direction of entering traffic, and the capacity and configuration of the approach lanes serving this traffic. The resulting ICU is expressed in terms of the overall V/C of the intersection, and adapted to a simplistic grading scale in terms of level of service (LOS), where LOS "A" represents free-flow activity and LOS "F" represents overcapacity operation. Classifications of the six levels of service for signalized intersections are shown in Table 3-10.<sup>81</sup>

**Table 3-10**  
**Level of Service Definitions**

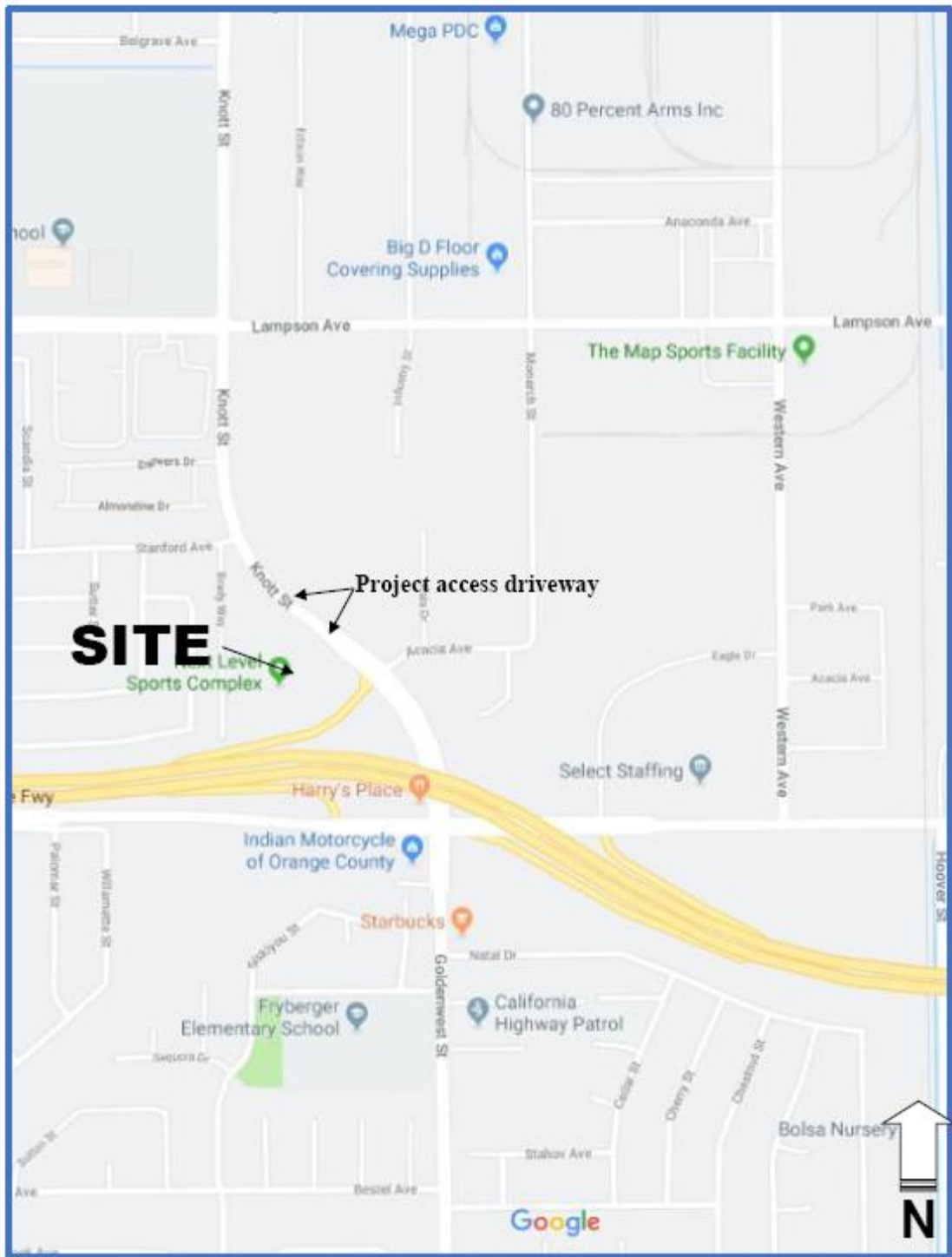
Level of Service	V/C Ratio or ICU (signalized)
A	0.00 – 0.60
B	0.61 – 0.70
C	0.71 – 0.80
D	0.81 – 0.90
E	0.91 – 1.00
F	1.01 or greater

Table 3-11, included on the following page, provides a description of each specific level of service grade (LOS A through LOS F).

**Table 3-11**  
**Level of Service Description**

LOS	Description
A	No approach phase is fully utilized by traffic, and no vehicle waits longer than one red indication. Typically, the approach appears quite open, turns are made easily, and nearly all drivers find freedom of operation.
B	This service level represents stable operation, where an occasional approach phase is fully utilized and a substantial number are nearing full use. Many drivers begin to feel restricted within platoons of vehicles.
C	This level still represents stable operating conditions. Occasionally drivers may have to wait through more than one red signal indication, and backups may develop behind turning vehicles. Most drivers feel somewhat restricted, but not objectionably so.
D	This level encompasses a zone of increasing restriction approaching instability at the intersection. Delays to approaching vehicles may be substantial during short peaks within the peak period; however, enough cycles with lower demand occur to permit periodic clearance of developing queues, thus preventing excessive backups.
E	Capacity occurs at the upper end of this service level. It represents the most vehicles that any particular intersection approach can accommodate. Full utilization of every signal cycle is seldom attained no matter how great the demand.
F	This level describes forced flow operations at low speeds, where volumes exceed capacity. These conditions usually result from queues of vehicles backing up from a restriction downstream. Speeds are reduced substantially, and stoppages may occur for short or long periods of time due to the congestion. In the extreme case, both speed and volume can drop to zero.

<sup>81</sup> Crown City Engineers, Inc. *Traffic Impact Study [for the] Industrial Warehouse Development, 12821 Knott Street, Garden Grove, California*. October 8, 2019.



## EXHIBIT 3-7 VICINITY MAP

SOURCE: CROWN CITY ENGINEERS, INC.



**EXHIBIT 3-8**  
**AERIAL VIEW OF CIRCULATION NETWORK**  
SOURCE: CROWN CITY ENGINEERS, INC.

In order to assess future operating conditions both with and without the proposed project, existing conditions within the study area were evaluated. Exhibit 3-7, Vicinity Map, illustrates the existing circulation network within the study area as well as the location of the proposed project. Exhibit 3-8 shows an aerial view of the circulation network. Major east-west regional access to the site is provided by Lampson Avenue, Garden Grove Boulevard and the Garden Grove Freeway (SR-22). Major north-south regional access is provided by Knott Street. The project would provide two access driveways on Knott Street – the northerly driveway will be full-access driveway while the southerly driveway will for right-turn in and right-turn out movements only.

The following paragraphs provide a brief description of the existing roadways which comprise the circulation network of the study area, providing the majority of both regional and local access to the project.

- *Knott Street.* Knott Street is a north-south major arterial street in the vicinity of the project, with two travel lanes in each direction. Directional travel is separated by striped two-way turn lane along the center as well as raised median islands near the major intersections. The street is approximately 90 feet wide and posted with a speed limit of 40 miles per hour. Most of the key intersections along Knott Street, including the intersections at Garden Grove Boulevard, Stanford Street and Lampson Avenue, are signalized. Exclusive left-turn lanes are provided at major intersections. On-street parking is not permitted along the sides of the street.
- *Lampson Avenue.* Lampson Avenue is a major east-west arterial street with two travel lanes in each direction. Directional travel is separated by striped two-way turn lanes as well as raised median islands along the center. The street is approximately 60 feet wide and posted with a speed limit of 40 miles per hour. Most of the key intersections along Lampson Avenue are signalized. Parking is permitted along the sides of the street. The average daily volume on Lampson Avenue is approximately 14,460 vehicles per day.
- *Garden Grove Boulevard.* Garden Grove Boulevard is a major east-west arterial street in the project area, with two travel lanes in each direction. Directional travel is separated by striped two-way turn lanes as well as raised median islands along the center. The street is approximately 76 feet wide and posted with a speed limit of 45 miles per hour. Most intersections of Garden Grove Boulevard are signalized. Parking is not permitted along the sides of the street. The average daily volume on Garden Grove Boulevard is approximately 30,580 vehicles per day.<sup>82</sup>

The intersections were counted during the peak hours of 7:00 to 9:00 AM and 4:00 to 6:00 PM.<sup>83</sup> It was determined that the following key intersections would be analyzed in the study:

- Knott Street and Stanford Avenue (Signalized);
- Knott Street and SR-22 Westbound On-ramp (Signalized);

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<sup>82</sup> Crown City Engineers, Inc. *Traffic Impact Study [for the] Industrial Warehouse Development, 12821 Knott Street, Garden Grove, California.* October 8, 2019.

<sup>83</sup> Ibid.



- Knott Street and Lampson Avenue (Signalized);
- Knott Street and Garden Grove Boulevard (Signalized);
- Garden Grove Boulevard and SR-22 Westbound Off-ramp (Signalized);
- Garden Grove Boulevard and SR-22 Eastbound Off-ramp (Signalized);
- Knott Street and Northerly Project Driveway (Unsignalized); and,
- Knott Street and Southerly Project Driveway (Unsignalized).<sup>84</sup>

These intersections have been selected to study project's potential impacts based on estimated contribution of traffic from project within a two-mile radius of the site. Existing lane configurations at the key intersections are shown in Exhibit 3-9. Existing turning movement counts for AM and PM peak hour conditions are shown in Exhibit 3-10. Detailed turning movement counts are included in the Technical Appendix of the Traffic Study. Year 2019 existing traffic conditions were evaluated using the 2010 Highway Capacity Manual (HCM) operational delay method of level of service (LOS) analysis for signalized intersections with partial jurisdiction of State highways. Table 3-12 presents existing condition intersection level of service (LOS) analysis summary. Detailed calculations relating to the study intersections are included in the Technical Appendix of the Traffic Study. Based on the results of this analysis, except for the intersection of Knott Street and Garden Grove Boulevard, all of the study intersections are operating at an acceptable LOS D or better during the AM and PM peak hours, as shown in Table 3-12.

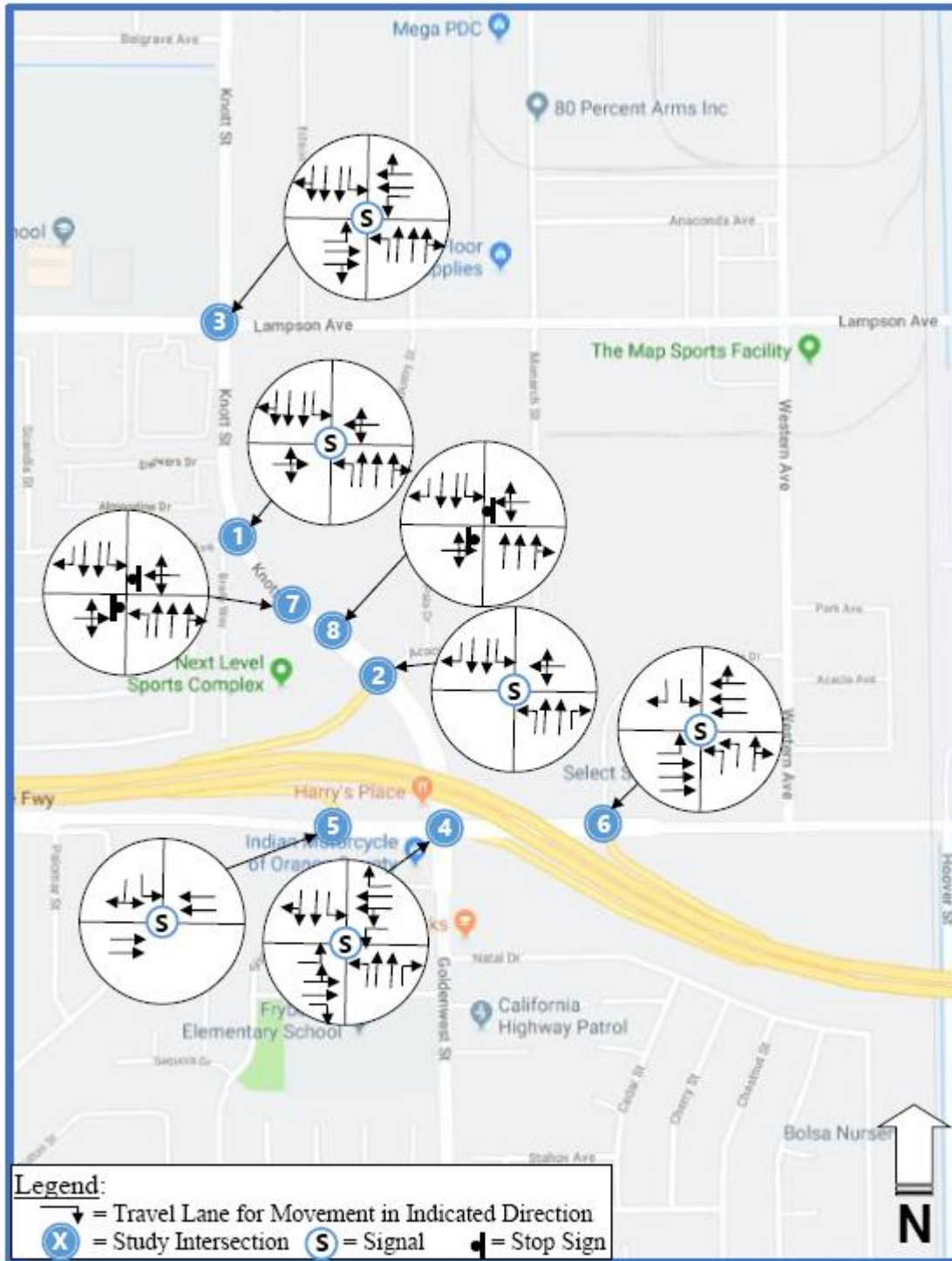
**Table 3-12**  
**Existing Conditions (2019) Level of Service Summary**

Intersection	Peak Hour	Existing Conditions	
		Level of Service (LOS)	Volume to Capacity (V/C)
1. Knott Street and Stanford Avenue (signalized)	AM	A	0.558
	PM	A	0.486
2. Knott Street and SR-22 W/B On-Ramp (signalized)	AM	B	11.6
	PM	B	13.6
3. Knott Street and Lampson Avenue (signalized)	AM	C	0.766
	PM	C	0.732
4. Knott Street and Garden Grove Boulevard (signalized)	AM	F	83.7
	PM	D	52.4
5. Garden Grove Boulevard and SR-22 E/B Off-Ramp (signalized)	AM	B	10.5
	PM	B	10.7
6. Garden Grove Boulevard and SR-22 W/B Off-Ramp (signalized)	AM	C	26.9
	PM	C	24.0
7. Knott Street and Project Driveway – Northerly (un-signalized)	AM	A	0.589
	PM	A	0.538
8. Knott Street and Project Driveway – Southerly (un-signalized)	AM	A	0.583
	PM	A	0.532

Source: Crown City Engineers, Inc.

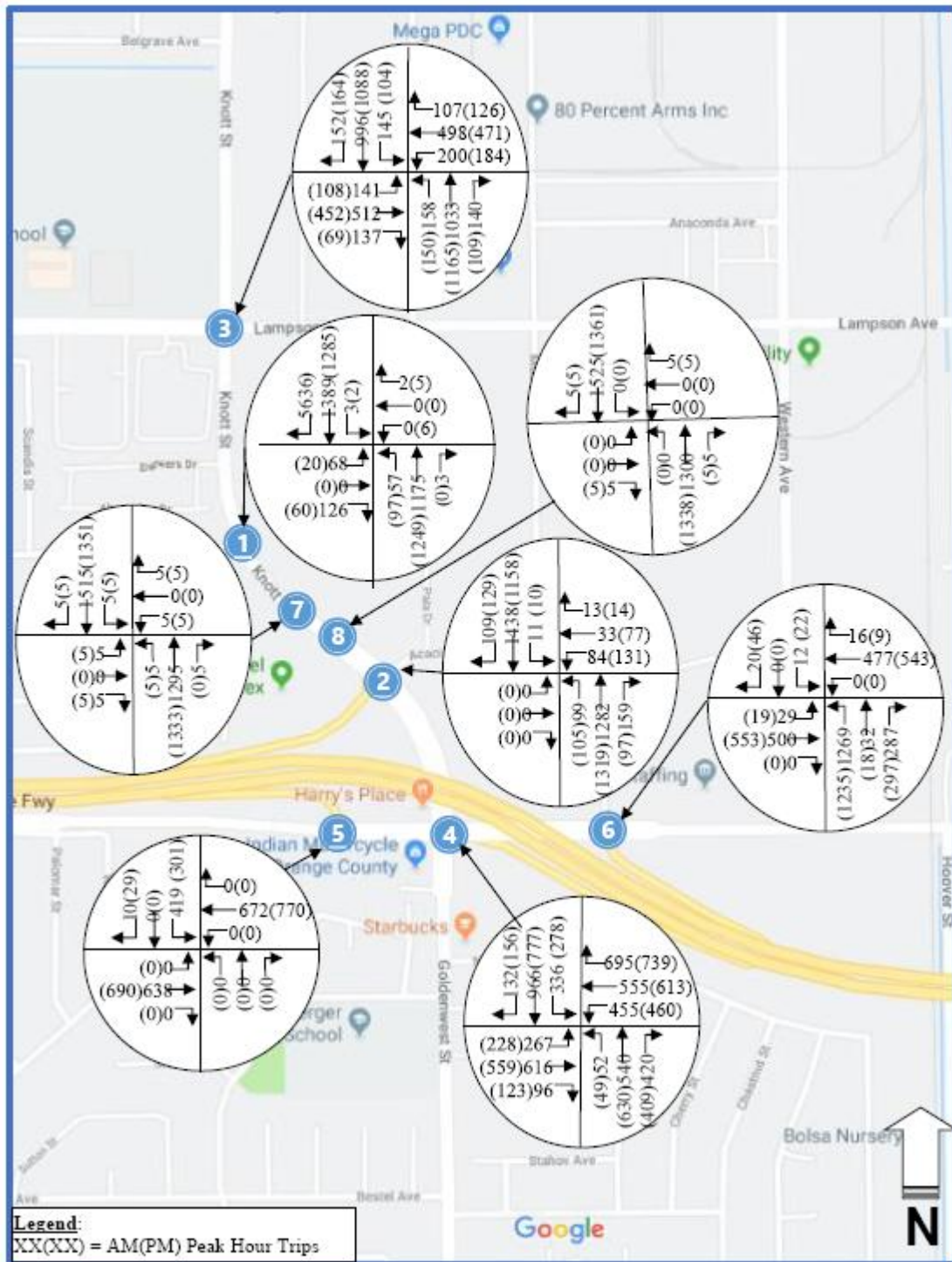
<sup>84</sup> Crown City Engineers, Inc. *Traffic Impact Study [for the] Industrial Warehouse Development, 12821 Knott Street, Garden Grove, California*. October 8, 2019.





## EXHIBIT 3-9 EXISTING LANE CONFIGURATION AT KEY INTERSECTIONS

SOURCE: CROWN CITY ENGINEERS, INC.



**EXHIBIT 3-10**  
**EXISTING 2019 TRAFFIC VOLUMES AT KEY INTERSECTIONS**  
 SOURCE: CROWN CITY ENGINEERS, INC.

A 1.0 percent per year annual traffic growth rate was applied to existing traffic volumes to create a 2021 base condition (i.e., a factor of 1.02 was applied to 2019 volumes to obtain 2021 base traffic volumes due to ambient growth). This annual traffic growth rate accounts for the population growth within the study area and traffic from any other minor projects to be developed in the study area. The traffic study indicated there were four (4) related projects listed within a two-mile radius of the project. This list of related projects is now obsolete. Currently, there is one related project identified as a current planning project according to the Planning Department's files. This one related project was proposed following the preparation of the traffic report and consists of a new service (gas) station with a new drive-thru convenience store located at 7051 Garden Grove Boulevard. The new drive-thru convenience store will also possess a Type 20 State Alcoholic Beverage Control (ABC) License. While this related project is located approximately 500 *linear* feet south of the project site, it is separated from the project by the Garden Grove Freeway. The traffic from this related project will not exceed the assumptions included in the traffic study prepared previously.

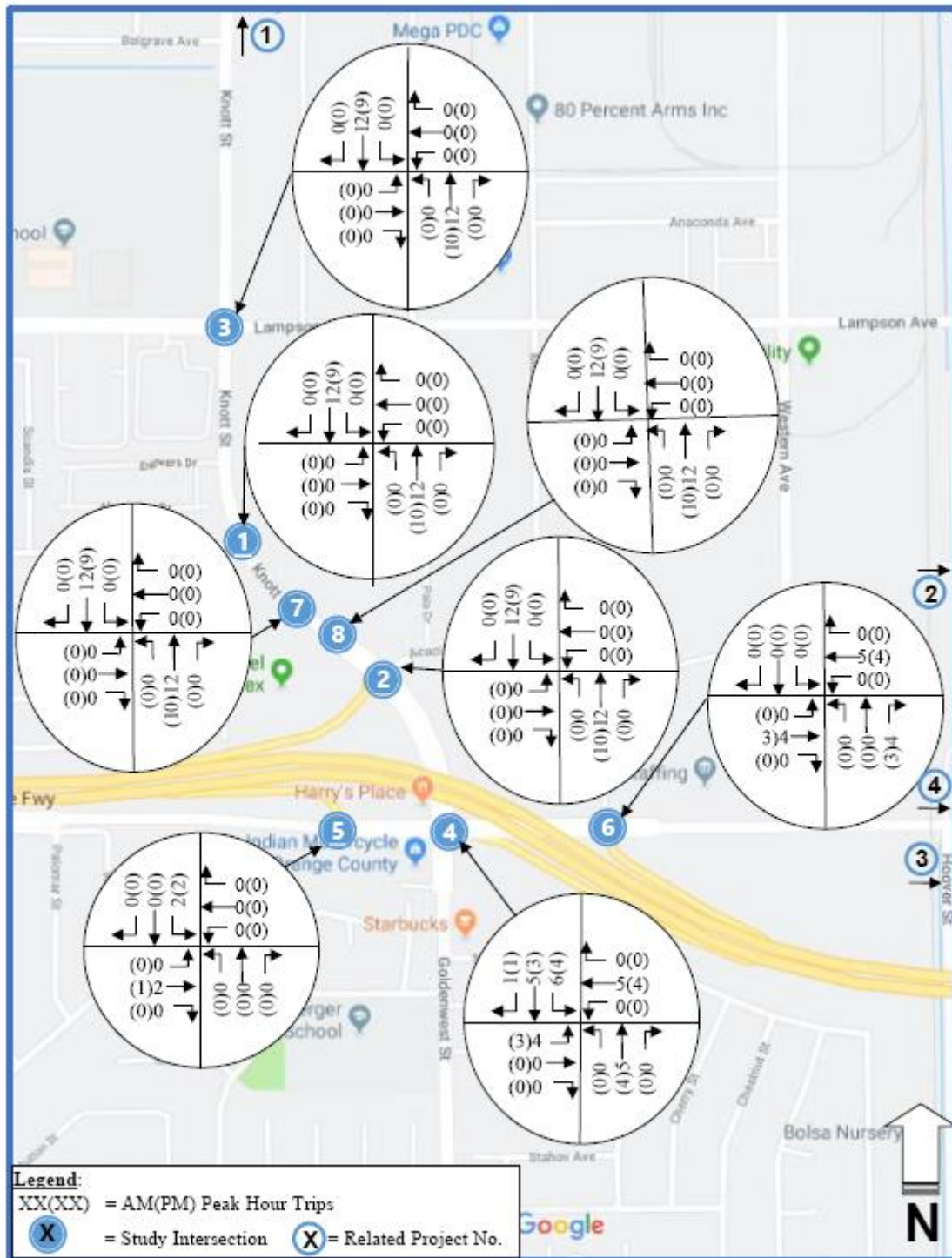
Trip generation estimates for the related projects were developed by using nationally recognized and recommended rates contained in "Trip Generation" manual, 10th edition, published by the Institute of Transportation Engineers (ITE). It is estimated that the related projects will generate approximately 680 trips per average day (340 inbound and 340 outbound).<sup>85</sup> The average weekday net new peak hour trips will be approximately 71 trips during the AM peak hour (39 inbound and 32 outbound), and 63 trips during the PM peak hour (37 inbound and 26 outbound). Exhibit 3-11 also shows related projects' trips distributed at the study intersections. The projected peak hour traffic volumes from these related projects were added to existing traffic volumes with ambient growth at the study intersections to represent a 2021 pre-project traffic condition for the AM and PM peak hours. Exhibit 3-12 shows future 2021 pre-project traffic volumes at the study intersections.<sup>86</sup>

This pre-project traffic condition was evaluated using the 2010 Highway Capacity Manual (HCM) operational delay method of level of service (LOS) analysis. For the intersections under the sole jurisdiction of the City of Garden Grove, the Intersection Capacity Utilization (ICU) method of level of service (LOS) was used. The LOS and delay or V/C ratios for the study intersections under 2021 pre-project conditions (without project) are shown in Table 3-13. Detailed calculations relating to the study intersections are included in the Technical Appendix of this report. As the results indicate, except for the intersection of Knott Street and Garden Grove Boulevard, all the study intersections will continue to operate at a Level of Service (LOS) D or better (i.e., within the range of acceptable thresholds of LOS A through D) during the AM and PM peak hours.

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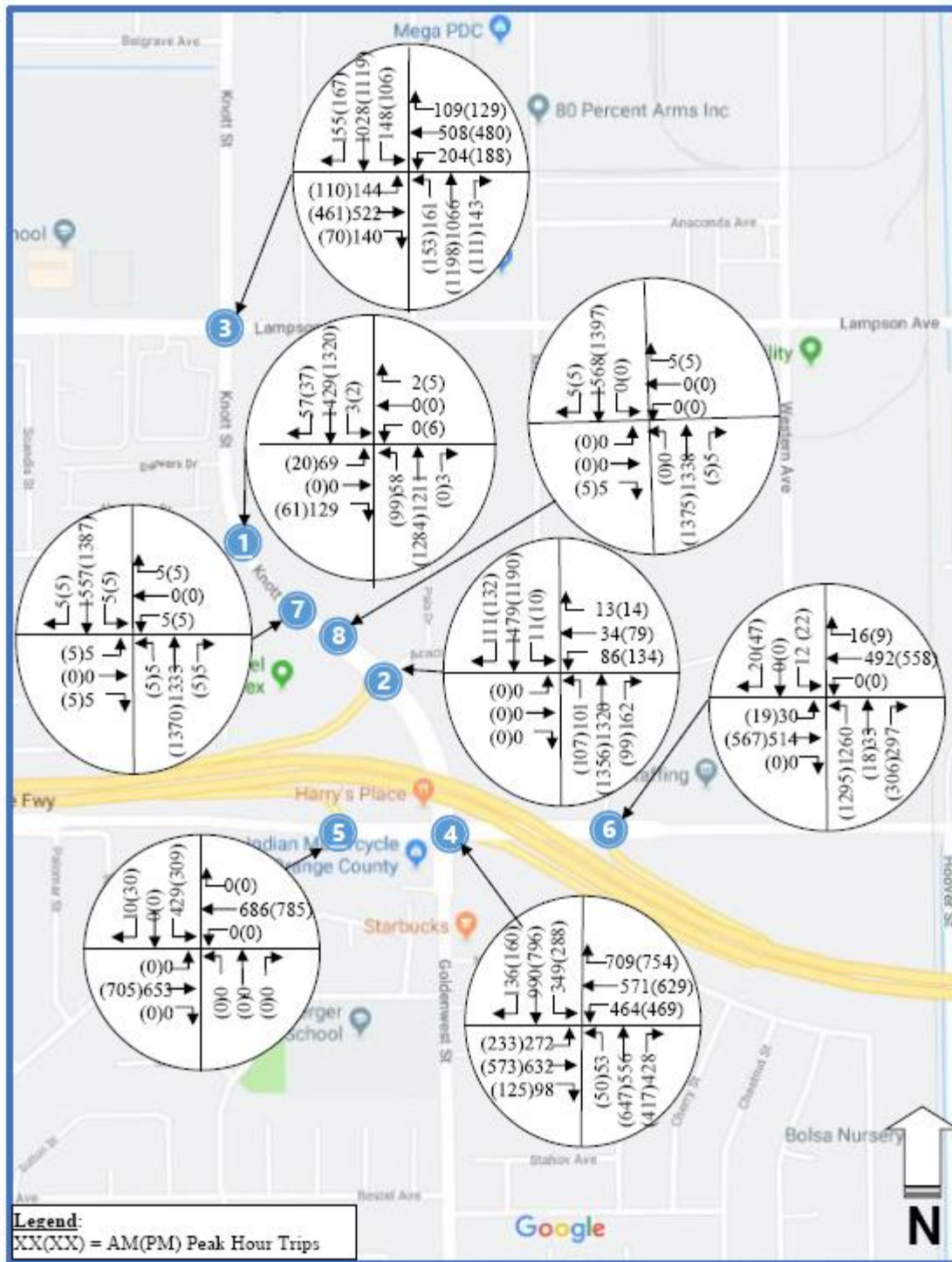
<sup>85</sup> Table 4 provided in the traffic study includes a summary of trip generation estimates for the related projects.

<sup>86</sup> Crown City Engineers, Inc. *Traffic Impact Study [for the] Industrial Warehouse Development, 12821 Knott Street, Garden Grove, California*. October 8, 2019.



**EXHIBIT 3-11**  
**RELATED PROJECT LOCATION AND DISTRIBUTION OF TRIPS**  
 SOURCE: CROWN CITY ENGINEERS, INC.





## EXHIBIT 3-12 FUTURE 2021 PRE-PROJECT TRAFFIC VOLUMES

SOURCE: CROWN CITY ENGINEERS, INC.

**Table 3-13**  
**2021 Pre-Project Conditions Level of Service Summary**

Intersection	Peak Hour	Existing Conditions	
		Level of Service (LOS)	Volume to Capacity (V/C)
1. Knott Street and Stanford Avenue (signalized)	AM	A	0.570
	PM	A	0.495
2. Knott Street and SR-22 W/B On-Ramp (signalized)	AM	B	12.1
	PM	B	14.1
3. Knott Street and Lampson Avenue (signalized)	AM	C	0.782
	PM	C	0.747
4. Knott Street and Garden Grove Boulevard (signalized)	AM	F	84.6
	PM	D	54.1
5. Garden Grove Boulevard and SR-22 E/B Off-Ramp (signalized)	AM	B	11.5
	PM	B	10.8
6. Garden Grove Boulevard and SR-22 W/B Off-Ramp (signalized)	AM	C	27.6
	PM	C	24.3
7. Knott Street and Project Driveway – Northerly (un-signalized)	AM	A	0.603
	PM	A	0.549
8. Knott Street and Project Driveway – Southerly (un-signalized)	AM	A	0.596
	PM	A	0.543

Source: Crown City Engineers, Inc.

In order to accurately assess future traffic conditions with the proposed project, trip generation estimates were developed for the project. Trip generation rates for the project are based on the nationally recognized recommendations contained in “Trip Generation” manual, 10th edition, published by the Institute of Transportation Engineers (ITE). ITE also provides information on percentage of truck traffic associated with this type of land use. Approximately 20% of all vehicular trips generated by a warehouse are assumed to be truck trips. A truck trip is generally equivalent to 2.5 passenger car trips on an average. Therefore, a 2.5 factor was applied to the number of truck trips to estimate passenger car equivalent (PCE) trips generated by the trucks.<sup>87</sup>

Table 3-14 shows a summary of trip generation estimates for the project. It is estimated that the project will generate approximately 374 net PCE trips per average day (187 inbound and 187 outbound). The average weekday net new peak hour PCE trips will be approximately 36 trips during the AM peak hour (28 inbound and 8 outbound), and 42 trips during the PM peak hour (11 inbound and 31 outbound).<sup>88</sup>

<sup>87</sup> Crown City Engineers, Inc. *Traffic Impact Study [for the] Industrial Warehouse Development, 12821 Knott Street, Garden Grove, California*. October 8, 2019.

<sup>88</sup> Ibid.

**Table 3-14  
 Project Trip Generation**

Trip Generation Rates										
ITE Land Use	ITE Code	Unit	Daily	AM Peak Hour			PM Peak Hour			
				In	Out	Total	In	Out	Total	
Warehousing	150	KSF	1.74	77%	23%	0.17	27%	73%	0.19	
Project Trip Generation										
Project Land Use	Size	Unit	Daily	AM Peak Hour			PM Peak Hour			
				In	Out	Total	In	Out	Total	
Warehousing	165,171	KSF	288	22	6	28	8	23	31	
Car			230	18	5	23	6	18	24	
2/3/4-Axle Trucks			58	4	1	5	2	5	7	
Project Trips – Passenger Car Equivalents (PCE)										
Vehicle Mix	Trip %	Daily Total	PCE Factor	Daily Total PCE	AM Peak Hour			PM Peak Hour		
					In	Out	Total	In	Out	Total
Car	80%	230	1.00	230	18	5	23	6	18	24
2/3/4-Axle Trucks	20%	58	2.5	144	10	3	13	5	13	18
Total Trips in PCE				374	28	8	36	11	31	42

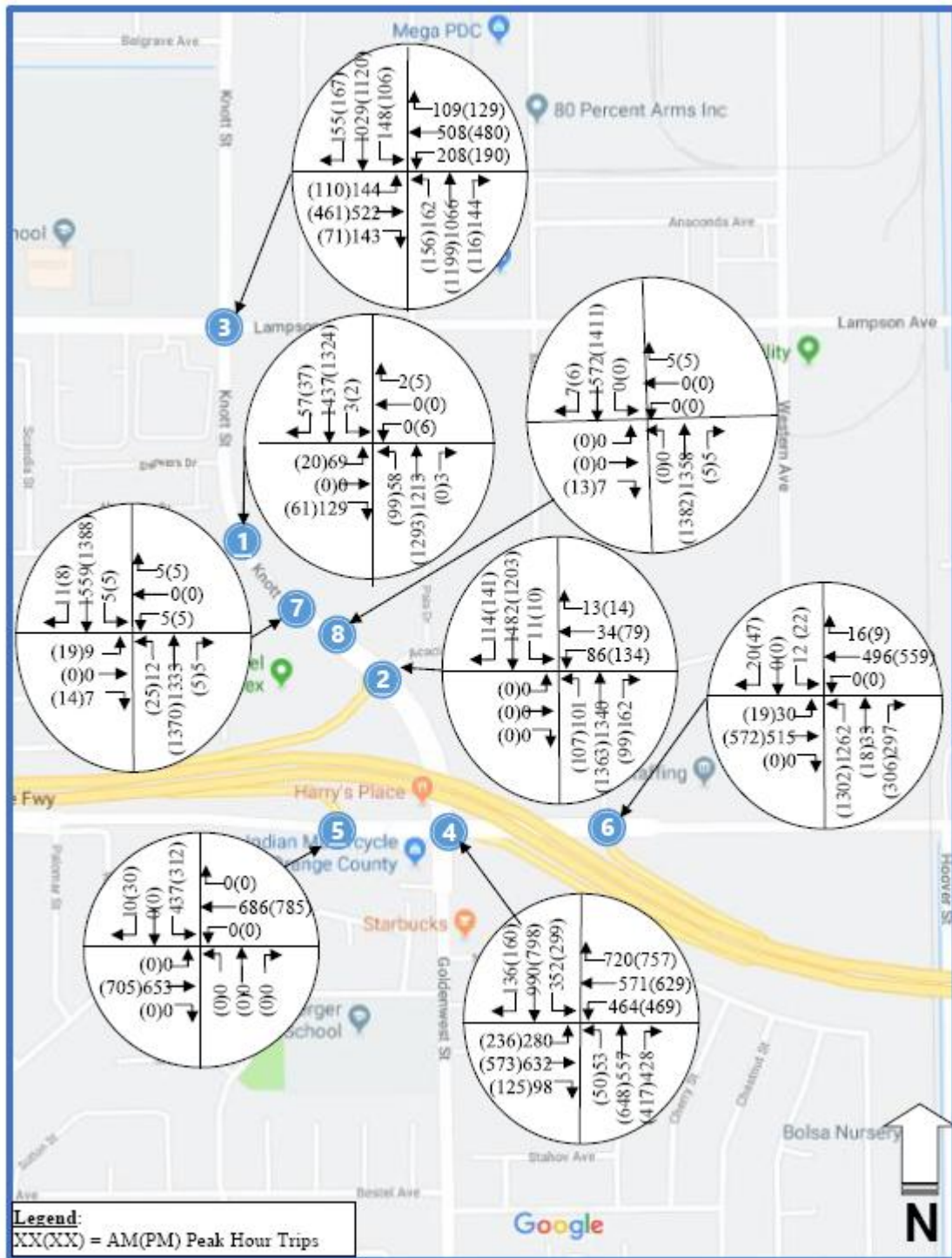
Source: Crown City Engineers

The 2021 cumulative post-project traffic volumes were estimated by adding project related traffic volumes to the 2021 pre-project traffic volumes with 1.0% per year ambient growth and related project traffic. Exhibit 3-13 shows Year 2021 post-project cumulative volumes for AM and PM peak hours. Year 2021 post-project cumulative (i.e., existing plus ambient traffic plus related project plus project traffic) conditions were evaluated using the 2010 Highway Capacity Manual (HCM) operational delay method of level of service (LOS) analysis for signalized intersections. For the intersections under the sole jurisdiction of the City of Garden Grove, the Intersection Capacity Utilization (ICU) method of level of service (LOS) was used.<sup>89</sup>

The LOS and delay or V/C ratios for the study intersections under 2021 post-project cumulative conditions (with project) are summarized in Table 3-15. Detailed calculations relating to the study intersections, performed with Synchro traffic analysis software, or using Intersection Capacity Utilization (ICU) methodology, are included in the Technical Appendix of the Traffic Study. The results indicate that, except for the intersection of Knott Street and Garden Grove Boulevard, all the study intersections will continue to operate at a Level of Service (LOS) D or better (i.e., within the range of acceptable thresholds of LOS A through D) during the AM and PM peak hours under existing plus project traffic conditions.<sup>90</sup>

<sup>89</sup> Crown City Engineers, Inc. *Traffic Impact Study [for the] Industrial Warehouse Development, 12821 Knott Street, Garden Grove, California*. October 8, 2019.

<sup>90</sup> Ibid.



## EXHIBIT 3-13 FUTURE 2021 POST-PROJECT CUMULATIVE TRAFFIC VOLUMES

SOURCE: CROWN CITY ENGINEERS, INC.



**Table 3-15**  
**Future 2021 Level of Service Summary with Project**

Intersection	Peak Hour	Existing Conditions	
		Level of Service (LOS)	Volume to Capacity (V/C)
1. Knott Street and Stanford Avenue (signalized)	AM	A	0.571
	PM	A	0.496
2. Knott Street and SR-22 W/B On-Ramp (signalized)	AM	B	12.2
	PM	B	14.3
3. Knott Street and Lampson Avenue (signalized)	AM	C	0.786
	PM	C	0.751
4. Knott Street and Garden Grove Boulevard (signalized)	AM	F	84.7
	PM	D	54.3
5. Garden Grove Boulevard and SR-22 E/B Off-Ramp (signalized)	AM	B	11.5
	PM	B	10.8
6. Garden Grove Boulevard and SR-22 W/B Off-Ramp (signalized)	AM	C	27.7
	PM	C	25.1
7. Knott Street and Project Driveway – Northerly (un-signalized)	AM	A	0.613
	PM	A	0.562
8. Knott Street and Project Driveway – Southerly (un-signalized)	AM	A	0.596
	PM	A	0.549

Source: Crown City Engineers, Inc.

As indicated previously, except for the intersection of Knott Street and Garden Grove Boulevard, all of the study intersections would operate at an acceptable level of service (i.e., within the range of acceptable thresholds of LOS A through LOS D) during the AM or the PM peak hours with 2021 post-project cumulative traffic volumes with project. The intersection of Knott Street and Garden Grove Boulevard will operate at a deficient LOS F during the AM peak hours. However, the project's off-site traffic impact would not be considered significant at any of the study intersections based on operational delay (or V/C ratio) and level of service expected after the project.<sup>91</sup>

A project's traffic impact is determined to be significant if the project generated traffic volume causes the intersection to deteriorate to LOS E and F. The intersection of Knott Street and Garden Grove Boulevard operates at a deficient LOS F during the AM peak hours under existing 2019 as well as 2021 pre-project traffic conditions. The project's off-site traffic impact would not be considered significant at any of these intersections based on delay and level of service expected after the project.<sup>92</sup>

<sup>91</sup> Crown City Engineers, Inc. *Traffic Impact Study [for the] Industrial Warehouse Development, 12821 Knott Street, Garden Grove, California*. October 8, 2019.

<sup>92</sup> Ibid.

Using the Intersection Capacity Utilization (ICU) method, a project's traffic impact is determined to be significant if the increase in V/C ratio is 0.04 or more at LOS C, or 0.02 or more at LOS D, or 0.01 or more at LOS E and F. The results of future traffic (with and without Project) scenarios' LOS analysis have been summarized in Table 3-16 to compare Project's traffic impact at key intersections.

**Table 3-16**  
**Future 2021 Level of Service Summary with and without Project**

Intersection	Peak Hour	Future 2021 Conditions		
		Without Project (Delay or V/C)	With Project (Delay or V/C)	Increase
1. Knott Street and Stanford Avenue (signalized)	AM	0.570	0.571	0.001
	PM	0.495	0.496	0.001
2. Knott Street and SR-22 W/B On-Ramp (signalized)	AM	12.1 sec.	12.2 sec.	0.1 sec.
	PM	14.1 sec.	14.3 sec.	0.2 sec.
3. Knott Street and Lampson Avenue (signalized)	AM	0.782	0.786	0.004
	PM	0.747	0.751	0.004
4. Knott Street and Garden Grove Boulevard (signalized)	AM	84.6 sec.	84.7 sec.	0.1 sec.
	PM	54.1 sec.	54.3 sec.	0.2 sec.
5. Garden Grove Boulevard and SR-22 E/B Off-Ramp (signalized)	AM	11.5 sec.	11.5 sec.	0.0 sec.
	PM	10.8 sec.	10.8 sec.	0.0 sec.
6. Garden Grove Boulevard and SR-22 W/B Off-Ramp (signalized)	AM	27.6 sec.	27.7 sec.	0.1 sec.
	PM	24.3 sec.	25.1 sec.	0.8 sec.
7. Knott Street and Project Driveway – Northerly (un-signalized)	AM	0.603	0.613	0.010
	PM	0.549	0.562	0.013
8. Knott Street and Project Driveway – Southerly (un-signalized)	AM	0.596	0.596	0.000
	PM	0.543	0.549	0.006

Source: Crown City Engineers, Inc.

As shown in Table 3-16, the project traffic would not cause any of the study intersections to deteriorate to LOS E or F and would not exceed the significance thresholds of project-related impacts. Since the project's traffic impacts would not be significant at any of the off-site intersections, no off-site intersection mitigation measures would be necessary for the development of this project.<sup>93</sup>

**B. Would the project conflict or be inconsistent with CEQA Guidelines §15064.3 subdivision (b)? • Less than Significant Impact.**

According to CEQA Guidelines §15064.3 subdivision (b)(1), vehicle miles traveled exceeding an applicable threshold of significance may indicate a significant impact. Generally, projects within one-

<sup>93</sup> Crown City Engineers, Inc. *Traffic Impact Study [for the] Industrial Warehouse Development, 12821 Knott Street, Garden Grove, California*. October 8, 2019.

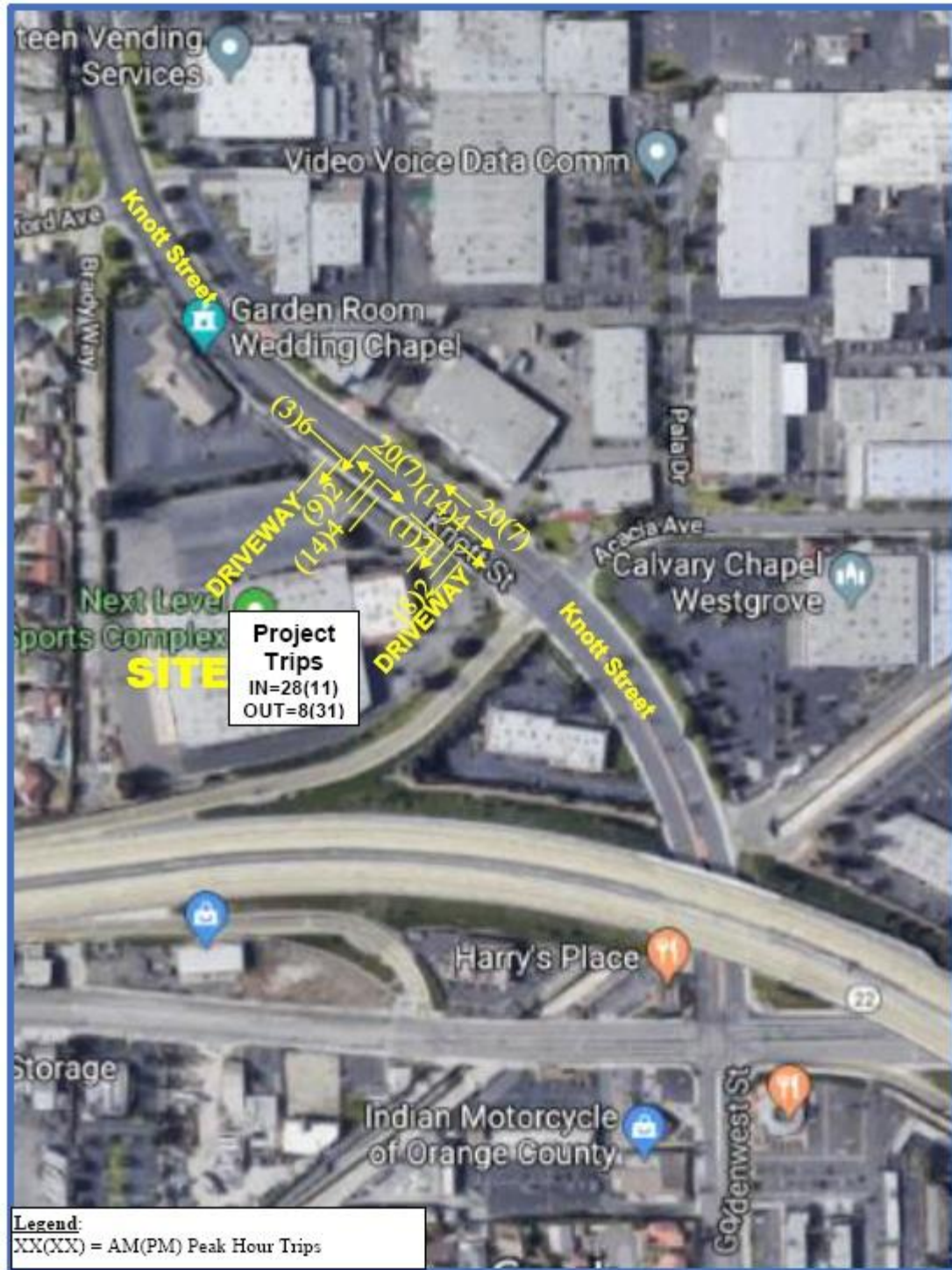
half mile of either an existing major transit stop or a stop along an existing high quality transit corridor should be presumed to cause a less than significant transportation impact. Projects that decrease vehicle miles traveled in the project site compared to existing conditions should be considered to have a less than significant transportation impact.

The project's implementation will have less than significant impacts since the proposed project will recycle existing undeveloped or underutilized properties located in established urban areas. When development is located in a more rural setting, such as further east in the desert areas, employees, patrons, visitors, and residents may have to travel farther since rural development is often located a significant distance from employment, entertainment, and population centers. Consequently, this distance is reduced when development is located in urban areas since employment, entertainment, and population centers tend to be set in more established communities. As a result, the potential impacts are considered to be less than significant.

*C. Would the project substantially increases hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? • Less than Significant Impact.*

The project will provide two access driveways to surface parking area off Knott Street. The existing northerly driveway is 40 feet wide and will provide ingress and egress for both passenger cars and trucks with one lane in each direction. The existing southerly driveway is 26 feet wide and will provide ingress and egress for both passenger cars only with 1 lane in each direction. However, this driveway will be restricted for right-turn-in and right-turn out only movements. Both of these driveways will be Stop-controlled for exit on to Knott Street. Exhibit 3-14 shows project traffic volumes at the driveways. The anticipated driveway movements are summarized below:

- A maximum of 20 vehicles will enter the northerly driveway from the south by making a left-turn movement during the peak hour.
- A maximum of 15 vehicles will exit the site during the peak hour through this driveway to travel north by making a left-turn movement.
- A maximum of 6 vehicles will enter the northerly driveway from north by making a right-turn movement during the peak hour.
- A maximum of 14 vehicles will exit the site during the peak hour through this driveway to travel south by making a right-turn movement.
- A maximum of 2 vehicles will enter the southerly driveway from north by making a right-turn movement during the peak hour.



### EXHIBIT 3-14 PROJECT TRAFFIC AT DRIVEWAYS

SOURCE: CROWN CITY ENGINEERS, INC.

- A maximum of 8 vehicles will exit the site during the peak hour through this driveway to travel south by making a right-turn movement.<sup>94</sup>

The low turn volume at the driveways is not expected to cause any queuing at the driveways. Adequate sight distance is available from the driveways along the north and south directions on Knott Street. The southerly driveway on Knott Street should be striped for right turn in and out movement only, with a right-arrow pavement marking. A right-turn arrow sign along with a Stop sign should also be posted at this driveway for exiting vehicles.<sup>95</sup>

Adequate parking spaces will be provided on-site for the proposed 12821 Knott Street Warehouse project in accordance with the parking code requirements of the City of Garden Grove. The City's parking codes require 1 space for each one thousand square feet of warehouse uses. Accordingly, for the proposed 165,171 gross square feet warehouse project, the required space would be a total of 166. The project's site plan indicates that the surface parking will consist of 181 parking spaces. The 181 parking spaces will adequately satisfy project's parking requirement of 166 spaces per parking code of the City. Of the total, 4 parking spaces will be ADA compliant and 17 spaces will be designated for electrical vehicle charging and parking purposes.

Based on the results of the traffic impact analysis, the proposed 12821 Knott Street Warehouse project would not significantly impact any of the key intersections analyzed in the surrounding roadway system. Except for the intersection of Knott Street and Garden Grove Boulevard, all the study intersections would continue to operate at an acceptable level of service (i.e., at LOS A through D) during the AM and PM peak hours. The intersection of Knott Street and Garden Grove Boulevard will operate at a deficient LOS F during the AM peak hours. However, the project's off-site traffic impact would not be considered significant at any of the study intersections based on increase in operational delay (or V/C ratio) and level of service expected after the project. Therefore, no off-site intersection mitigation measures would be necessary for the development of this project.

*D. Would the project result in inadequate emergency access? • No Impact.*

At no time will Knott Street be completely closed to traffic. All construction staging and queuing will occur on-site. Once occupied, trucks travelling to the site will have adequate maneuvering space to execute turns and backup into the loading spaces. Therefore, trucks will not have to compensate for a lack of maneuvering space by staging and queuing on the adjacent streets. As a result, no impacts will occur.

### **3.17.2 MITIGATION MEASURES**

The traffic impact analysis that was prepared for the proposed project indicated that the proposed project's implementation would not require any mitigation.

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<sup>94</sup> Crown City Engineers, Inc. *Traffic Impact Study [for the] Industrial Warehouse Development, 12821 Knott Street, Garden Grove, California*. October 8, 2019.

<sup>95</sup> Ibid.

### **3.18 TRIBAL CULTURAL RESOURCES**

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#### **3.18.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

- A. *Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is: listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or a resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resource Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American Tribe? • Less than Significant Impact.*

A Tribal Resource is defined in Public Resources Code section 21074 and includes the following:

- Sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American tribe that are either of the following: included or determined to be eligible for inclusion in the California Register of Historical Resources or included in a local register of historical resources as defined in subdivision (k) of Section 5020.1.
- A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Section 5024.1. In applying the criteria set forth in subdivision (c) of Section 5024.1 for the purposes of this paragraph, the lead agency shall consider the significance of the resource to a California Native American tribe.
- A cultural landscape that meets the criteria of subdivision (a) is a tribal cultural resource to the extent that the landscape is geographically defined in terms of the size and scope of the landscape.
- A historical resource described in Section 21084.1, a unique archaeological resource as defined in subdivision (g) of Section 21083.2, or a “non-unique archaeological resource” as defined in subdivision (h) of Section 21083.2 may also be a tribal cultural resource if it conforms with the criteria of subdivision (a).

AB-52 requires a lead agency to begin consultation with a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project, if the tribe requested to the lead agency, in writing, to be informed by the lead agency of proposed projects in that geographic area and the tribe requests consultation. The project site is located within the cultural area that was formerly occupied by the Soboba Band of Luiseno Indians as well as the Gabrieleño-Kizh. The project Applicant will be required to adhere to the mitigation presented in Section 3.5.2.B. As a result, the proposed project’s potential impacts are considered to be at a less than significant level.

### **3.18.2 MITIGATION MEASURES**

Please refer to Mitigation Measure No.1 identified in Section 3.5.

## **3.19 UTILITIES & SERVICE SYSTEMS**

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### **3.19.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

- A. *Would the project require or result in the relocation or construction of new or expanded water, or wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities or relocation of which could cause significant environmental impacts? • Less than Significant Impact.*

The project site is presently developed with an existing warehouse. Nevertheless, there are no existing water or wastewater treatment plants, electric power plants, telecommunications facilities, natural gas facilities, or stormwater drainage infrastructure located on-site. Therefore, the proposed project's implementation will not require the relocation of any of the aforementioned facilities. In addition, the increase in demand for waste disposal, water, and wastewater treatment services can be adequately handled and no expansion of these services is required (refer to the following subsections for further analysis). As a result, the potential impacts are considered to be less than significant.

- B. *Would the project have sufficient water supplies available to serve the project and the reasonably foreseeable future development during normal, dry, and multiple dry years? • Less than Significant Impact.*

As stated in the City's 2015 Urban Water Management Plan, groundwater is pumped from 11 active wells located throughout the City. Municipal Water District of Orange County (MWDOC) wholesales imported water to the City through four imported water connections. MWDOC treats water supplied to the City at the Diemer Filtration Plant in northern Orange County. The City's water distribution system is connected to MWDOC transmission mains at four locations along the northern and eastern sides of the City.

The City also operates eight storage and distribution reservoirs at five sites with a combined capacity of 53 million gallons (MG). The storage volume is the equivalent of more than two days average use and is more than adequate for peaking demands and firefighting needs. The storage system is supported with 17 booster pumps located at the reservoir sites. The booster pumps have a total capacity of 46,600 gallons per minute (gpm), which is more than enough to keep the system pressurized under peak flow conditions. The City also maintains nine emergency interconnections with neighboring water systems. The City's distribution system pressures are managed to ensure that water pressure is within acceptable ranges for both domestic use and fire flow demands. Peak demands can be met with combinations of increased pressure rates and water from storage tanks.

According to the City's 2015 Urban Water Management Plan, the City will have an adequate of water to serve both the proposed project and the City through the year 2040 under normal, dry, and multiple dry year scenarios.<sup>96</sup> Table 3-17 depicts the proposed project's future water consumption. Once occupied, the increase in water consumption will be 3,946 gallons per day.

**Table 3-17**  
**Water Consumption (gals/day)**

Use	Unit	Factor	Generation
Existing Facility	119,836 sq.ft.	24 gallons/1,000 sq. ft./day	2,876 gals/day
Proposed Warehouse	44,585 sq.ft.	24 gallons/1,000 sq. ft./day	1,070 gals/day
<b>Net Change</b>	164,421 sq.ft.		3,946 gals/day

Source: City of Los Angeles CEQA Thresholds Guide

The proposed project will connect to an existing water line located along Knott Street. The existing water supply facilities and infrastructure will be able accommodate this additional demand. This conclusion is supported by the City's Public Works Department, which has reviewed the proposed project and deemed that the existing facilities and infrastructure were adequate to accommodate the proposed project. In addition, the proposed project will be constructed in compliance with the 2019 California Green Building Code (Part 11 of Title 24 of the California Code of Regulations) depending on when the application was filed. More specifically, the proposed project must comply with Division 5.3, Water Efficiency, and Conservation, which mandates the inclusion of water efficient fixtures such as faucets, toilets, showers, and water efficient landscaping. As a result, the impacts are considered to be less than significant and no mitigation is required.

*C. Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has inadequate capacity to serve the project's projected demand in addition to the provider's existing commitments? • Less than Significant Impact.*

The City of Garden Grove's sewer system operates entirely using gravity flow and the effluent is conveyed to one of several of Orange County Sanitation District's (OCSD) sewer trunk lines.<sup>97</sup> The Orange County Sanitation District (OCSD) is responsible for safely collecting, treating, and disposing the wastewater generated by 2.5 million people living in a 479 square-mile area of central and northwest Orange County. The OCSD's system includes approximately 580 miles of sewer lines and two treatment plants located in the Cities of Fountain Valley and Huntington Beach. Through these facilities, OCSD collects, conveys, treats, and/or reclaims approximately 230 million gallons of wastewater generated daily in its service area.

Wastewater from the City's local conveyance system is then conveyed to the OCSD trunk sewers and treated at the OCSD Plant No. 2 located in Huntington Beach. The OCSD Revenue Area 3 serves the City of Buena Park, La Habra, Garden Grove, Anaheim, Cypress, La Palma, Stanton, Los Alamitos, Westminster, and Fountain Valley. All sewage flow from Revenue Area 3 is collected and treated at

<sup>96</sup> Arcadis. 2015 *Urban Water Management Plan*. Report dated June 2016.

<sup>97</sup> City of Garden Grove. *City of Garden Grove General Plan, Chapter 6 Infrastructure Element*. <http://www.ci.garden-grove.ca.us/>. Website accessed on July 19, 2019.



Treatment Plant No. 2, which is located at 22212 Brookhurst Street, Huntington Beach.<sup>98</sup> Treatment Plant No. 2 currently processes an average of 65 million gallons of water per day.<sup>99</sup>

As indicated in Table 3-18, the proposed project is projected to generate 3,287 gallons of effluent on a daily basis, which is well under the capacity of the aforementioned WRPs.

**Table 3-18**  
**Wastewater (Effluent) Generation (gals/day)**

Use	Unit	Factor	Generation
Existing Facility	119,836 sq.ft.	20 gallons/1,000 sq. ft./day	2,396 gals/day
Proposed Warehouse	44,585 sq.ft.	20 gallons/1,000 sq. ft./day	891 gals/day
<b>Net Change</b>	164,421 sq.ft.		3,287 gals/day

Source: City of Los Angeles CEQA Thresholds Guide

The proposed project will connect to an existing sewer line located along Knott Street. The existing sewer lines have sufficient capacity to accommodate the projected flows of approximately 3,287 additional gallons a day, and adequate sewage collection and treatment are currently available. As a result, the potential impacts are less than significant.

*D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals? • Less than Significant Impact.*

The City's waste management is under the jurisdiction of the Garden Grove Sanitary District (GGSD), who contracts collection and disposal services with Republic Services. Waste collected in Orange County is disposed of either at the Frank R. Bowerman Landfill near Irvine, the Olinda Alpha Landfill near Brea, or the Prima Deshecha Landfill in San Juan Capistrano. Frank R. Bowerman Landfill is currently permitted for 11,500 tons per day (TPD) maximum with an 8,500 TPD annual average. The aforementioned landfill has enough projected capacity to serve residents and businesses until approximately 2053.<sup>100</sup> The Olinda Alpha Landfill has enough projected capacity to serve residents and businesses until 2030. This landfill has an average disposal rate of nearly 7,000 tons per day (TPD), although the aforementioned landfill is permitted up to 8,000 TPD.<sup>101</sup> Meanwhile, the Prima Deshecha Landfill averages approximately 1,400 tons per day, with a daily maximum permitted tonnage of 4,000.<sup>102</sup> As indicated in Table 3-19, the future daily solid waste generation is projected to be 1,464 pounds per day, which is an increase of 580 pounds per day. The amount of solid waste produced by the project will not exceed the capacities identified above for the three landfills.

<sup>98</sup> City of Garden Grove. *City of Garden Grove General Plan, Chapter 6 Infrastructure Element*. <http://www.ci.garden-grove.ca.us/>. Website accessed on July 19, 2019.

<sup>99</sup> Orange County Sanitation District. *Regional Sewer Service – Facts and Key Statistics*. <https://www.ocsd.com/services/regional-sewer-service>

<sup>100</sup> County of Orange Waste and Recycling. *Frank R. Bowerman Landfill*. <http://www.oclandfills.com/landfill/active/bowerman>

<sup>101</sup> County of Orange Waste and Recycling. *Olinda Alpha Landfill*. <http://www.oclandfills.com/landfill/active/olindalandfill>

<sup>102</sup> County of Orange Waste and Recycling. *Prima Deshecha Landfill*. <http://www.oclandfills.com/landfill/active/deshecha>

**Table 3-19**  
**Solid Waste Generation (lbs/day)**

Use	Unit	Factor	Generation
Existing Facility	99 employees	8.93 lbs/day/employee	884 lbs /day
Proposed Warehouse	164 employees	8.93 lbs/day/employee	1,464 lbs/day
<b>Net Change</b>	65 employees		580 lbs /day

Source: City of Los Angeles.

The waste materials that will be transported off-site during the proposed project's operation will be adequately handled by the existing facilities. Furthermore, this generation rate represents a small proportion of the total waste generated citywide. As a result, the impacts are expected to be less than significant.

*E. Comply with Federal, State, and local management and reduction statutes and regulations related to solid waste? • No Impact.*

The proposed project, like all other development in Garden Grove, will be required to adhere to Federal, State, and local regulations with respect to waste reduction and recycling. Additionally, as discussed above, the proposed project would not result in an excessive production of solid waste that would exceed the capacities of the existing landfills that service the project site. As a result, no impacts related to State and local statutes governing solid waste are anticipated.

### **3.19.3 MITIGATION MEASURES**

The analysis of utilities impacts indicated that no significant impacts would result from the proposed project's approval and subsequent implementation. As a result, no mitigation is required.

## **3.20 WILDFIRE**

### **3.20.1 ANALYSIS OF ENVIRONMENTAL IMPACTS**

*A. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project substantially impair an adopted emergency response plan or emergency evacuation plan? • No Impact.*

The proposed project site is located within an urbanized area and currently is developed with an existing warehouse. No areas containing natural vegetation are located on or near the project site. Furthermore, the proposed project would not involve the closure or alteration of any existing evacuation routes that would be important in the event of a wildfire. As a result, no impacts will occur.

- B. Would the project, due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire? • Less than Significant Impact.*

The project site and the adjacent properties are urbanized and there are no areas of native or natural vegetation found within the vicinity of the project area. The proposed project may be exposed to criteria pollutant emissions generated by wildland fires due to the project site's proximity to fire hazard severity zones (the site is located ten miles west of the Santa Ana Mountains). However, the potential impacts would not be exclusive to the project site since criteria pollutant emissions from wildland fires may affect the entire City as well as the surrounding cities and unincorporated county areas. As a result, the potential impacts are considered to be less than significant.

- C. Would the project require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines, or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment? • Less than Significant Impact.*

The proposed project will include the installation of new utility lines such as gas lines, water lines, etc. These utilities lines will be located below ground surface and connected to existing utility lines in the public right of way under Knott Street. As a result, the potential impacts are considered to be less than significant.

- D. Expose people or structures to significant risks, including down slope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes? • No Impact.*

There is no risk from wildfire within the project site or the surrounding area given the project site's significant distance from any area that may be subject to a wildfire event. The project site and surrounding areas are developed and are covered over in pavement and concrete. Therefore, the proposed project will not expose future employees to flooding or landslides facilitated by runoff flowing down barren and charred slopes and no will occur.

### **3.20.2 MITIGATION MEASURES**

The analysis of wildfires impacts indicated that no significant impacts would result from the proposed project's approval and subsequent implementation. As a result, no mitigation is required.

### **3.21 MANDATORY FINDINGS OF SIGNIFICANCE**

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The following findings can be made regarding the Mandatory Findings of Significance set forth in Section 15065 of the CEQA Guidelines based on the results of this environmental assessment:

- *Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?* • *Less than Significant Impact.*

The proposed project will not have the potential to degrade the quality of the environment since the proposed project's air quality emissions will be below the thresholds of significance outlined by the SCAQMD. No impacts to protected species or habitat would result with the implementation of the proposed project. Furthermore, the best management practices identified in the WQMP will filter out contaminants of concern present in stormwater runoff. The addition of project trips will not negatively impact any local intersection. Lastly, the proposed project will include energy and water efficient appliances and fixtures.

- *Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?* • *Less than Significant Impact.*

The cumulative air quality emissions will be below the thresholds of significance established by the SCAQMD. The cumulative air quality emissions were derived by running the CalEEMod for the proposed project as well as for the related projects identified in the traffic study. Furthermore, the proposed project would also rely on and can be accommodated by the existing road system, public services, and utilities. Lastly, the proposed project would not result in or contribute to a significant biological or cultural impact.

- *Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?* • *Less than Significant Impact with Mitigation.*

Daytime and nighttime light and glare from the proposed project would not contribute any significant impacts since the proposed project must comply with the City's lighting standards in the municipal code. The project's operational air quality impacts would be less than significant. In addition, future truck drivers must adhere to Title 13 - §2485 of the California Code of Regulations, which limits the idling of diesel powered vehicles to less than five minutes. Adherence to the aforementioned standard condition will minimize odor impacts from diesel trucks. Adherence to Rule 403 Regulations and Title 13 - §2485 of the California Code of Regulations will reduce potential air quality impacts to levels that are less than significant. The implementation of Mitigation Measure No. 1 will ensure no impacts to tribal cultural resources occur during the project's construction. Adherence to the construction noise mitigation provided in the preceding analysis would prevent the exposure of sensitive receptors to

excess noise. Lastly, the addition of the proposed project's traffic would not result in a deterioration of any intersection's level of service or the creation of a CO hot-spot. As a result, the potential impacts are considered to be less than significant with adherence to the required mitigation measures.



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## SECTION 4 CONCLUSIONS

### 4.1 FINDINGS

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The Initial Study determined that the proposed project is not expected to have significant adverse environmental impacts. The following findings can be made regarding the Mandatory Findings of Significance set forth in Section 15065 of the CEQA Guidelines based on the results of this Initial Study:

- The proposed project *will not* have a significant effect on the environment.
- The proposed project *will not* have the potential to achieve short-term goals to the disadvantage of long-term environmental goals.
- The proposed project *will not* have impacts that are individually limited, but cumulatively considerable, when considering planned or proposed development in the immediate vicinity.
- The proposed project *will not* have environmental effects that will adversely affect humans, either directly or indirectly.
- A Mitigation Reporting and Monitoring Program *will be* required.

### 4.2 MITIGATION MONITORING & REPORTING PROGRAM

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#### 4.2.1. OVERVIEW OF THE PROJECT

The proposed project involves the addition to an existing warehouse building in the City of Garden Grove. The project site is currently developed with an existing warehouse building with a total floor area of 119,836 square feet. Of the existing floor area, 20,000 square feet is a two-story office. This existing building will remain. The proposed improvements will involve the construction of a building addition on the north side of the existing warehouse. The proposed building addition will have a total floor area of 45,335 square feet, which will bring the total floor area of the main building to 165,171 square feet. In addition, the proposed project will have a total of 168 parking stalls, which exceeds the City's off-site parking requirement of 166 parking stalls. The proposed project will also provide 32 truck loading and parking spaces. Access to the project site will be provided by two existing driveway connections located along the west side of Knott Street.

#### 4.2.2. FINDINGS RELATED TO MITIGATION MONITORING

Section 21081(a) of the Public Resources Code states that findings must be adopted by the decision-makers coincidental to the approval of a Mitigated Negative Declaration. These findings shall be incorporated as part of the decision-maker's findings of fact, in response to AB-3180. In accordance with the requirements of Section 21081(a) and 21081.6 of the Public Resources Code, the following additional findings may be made:

- A mitigation reporting or monitoring program will be required;
- Site plans and/or building plans, submitted for approval by the responsible monitoring agency, shall include the required standard conditions; and,
- An accountable enforcement agency or monitoring agency shall be identified for the mitigations adopted as part of the decision-maker's final determination.

#### **4.2.3. MITIGATION MEASURES**

*Mitigation Measure No. 1 (Cultural Resources).* The project Applicant will be required to obtain the services of a qualified Native American Monitor during construction-related ground disturbance activities. Ground disturbance is defined by the Tribal Representatives from the Gabrieleño Band of Mission Indians, Kizh Nation as activities that include, but are not limited to, pavement removal, pot-holing or auguring, boring, grading, excavation, and trenching, within the project area. The monitor(s) must be approved by the tribal representatives and will be present on-site during the construction phases that involve any ground disturbing activities. The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the monitor has indicated that the site has a low potential for archeological resources.

*Mitigation Measure No. 2 (Energy).* The future tenant must implement a routine lighting maintenance schedule, including cleaning fixtures to reduce degradation of lighting quality.

*Mitigation Measure No. 3 (Energy).* The future tenant must implement a lighting schedule in order to reduce wasteful consumption of energy related to lighting.

*Mitigation Measure No. 4 (Energy).* The future tenant must ensure any exhaust fans are shut off when the building is unoccupied.

*Mitigation Measure No. 5 (Energy).* The project Applicant must install occupancy sensors to limit illumination of unoccupied areas.

*Mitigation Measure No. 6 (Energy).* The project Applicant must install dock seals to reduce outside air infiltration.

*Mitigation Measure No. 7 (Noise).* The City Inspector shall ensure that the contractors use construction equipment that includes working mufflers and other sound suppression mechanisms as a means to reduce machinery noise. The Inspector must inspect the equipment prior to the start of the demolition phase.

*Mitigation Measure No. 8 (Noise).* Trucks will only be permitted to access the project site from Knott Avenue.



#### 4.2.4. MITIGATION MONITORING

The monitoring and reporting on the implementation of these measures, including the period for implementation, monitoring agency, and the monitoring action, are identified in Table 4.1 provided on the following pages.

TABLE 4.1 MITIGATION-MONITORING PROGRAM			
Measure	Enforcement Agency	Monitoring Phase	Verification
<b>Mitigation Measure No. 1 (Cultural Resources).</b> The project Applicant will be required to obtain the services of a qualified Native American Monitor during construction-related ground disturbance activities. Ground disturbance is defined by the Tribal Representatives from the Gabrieleño Band of Mission Indians, Kizh Nation as activities that include, but are not limited to, pavement removal, pot-holing or auguring, boring, grading, excavation, and trenching, within the project area. The monitor(s) must be approved by the tribal representatives and will be present on-site during the construction phases that involve any ground disturbing activities. The on-site monitoring shall end when the project site grading and excavation activities are completed, or when the monitor has indicated that the site has a low potential for archeological resources.	Planning Department • (Applicant is responsible for implementation)	During project's construction. • Mitigation ends when ground disturbance is completed or otherwise noted by the appointed Native American Monitor(s).	Date:  Name & Title:
<b>Mitigation Measure No. 2 (Energy).</b> The future tenant must implement a routine lighting maintenance schedule, including cleaning fixtures to reduce degradation of lighting quality.	Planning Department • (Applicant is responsible for implementation)	Prior to the issuance of a Certificate of Occupancy. • Mitigation to continue over the project's operational life.	Date:  Name & Title:
<b>Mitigation Measure No. 3 (Energy).</b> The future tenant must implement a lighting schedule in order to reduce wasteful consumption of energy related to lighting.	Planning Department • (Applicant is responsible for implementation)	Prior to the issuance of a Certificate of Occupancy. • Mitigation to continue over the project's operational life.	Date:  Name & Title:
<b>Mitigation Measure No. 4 (Energy).</b> The future tenant must ensure any exhaust fans are shut off when the building is unoccupied.	Planning Department • (Applicant is responsible for implementation)	Over the project's operational life. • Mitigation to continue over the project's operational life.	Date:  Name & Title:
<b>Mitigation Measure No. 5 (Energy).</b> The project Applicant must install occupancy sensors to limit illumination of unoccupied areas.	Planning Department • (Applicant is responsible for implementation)	Prior to the issuance of a Certificate of Occupancy. • Mitigation to continue over the project's operational life.	Date:  Name & Title:

CITY OF GARDEN GROVE • MITIGATED NEGATIVE DECLARATION & INITIAL STUDY  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

<b>TABLE 4.1</b> <b>MITIGATION-MONITORING PROGRAM</b>			
<b>Mitigation Measure No. 6 (Energy).</b> The project Applicant must install dock seals to reduce outside air infiltration.	Planning Department • <i>(Applicant is responsible for implementation)</i>	<i>Prior to the issuance of a Certificate of Occupancy.</i> • Mitigation to continue over the project's operational life.	Date:  Name & Title:
<b>Mitigation Measure No. 7 (Noise).</b> The City Inspector shall ensure that the contractors use construction equipment that includes working mufflers and other sound suppression mechanisms as a means to reduce machinery noise. The Inspector must inspect the equipment prior to the start of the demolition phase.	Planning Department and Code Enforcement Officer • <i>(Applicant is responsible for implementation)</i>	<i>Prior to the issuance of a grading permit.</i> • Mitigation ends when construction is completed.	Date:  Name & Title:
<b>Mitigation Measure No. 8 (Noise).</b> Trucks will only be permitted to access the project site from Knott Avenue.	Planning Department and Code Enforcement Officer • <i>(Applicant is responsible for implementation)</i>	<i>Over the life of the project.</i> • Mitigation to continue over the project's operational lifetime.	Date:  Name & Title:



## SECTION 5 REFERENCES

### 5.1 PREPARERS

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(626) 336-0033

Marc Blodgett, Project Manager  
Bryan Hamilton, Project Planner  
Alejandra Rocha, Project Planner

### 5.2 REFERENCES

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Bugliarello, et. al., *The Impact of Noise Pollution*, Chapter 127, 1975.

California Administrative Code, *Title 24, Energy Conservation*.

California Department of Fish and Wildlife, *Natural Diversity Database*.

California Division of Mines and Geology, *Seismic Hazards Mapping Program*.

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## **APPENDICES**

### **PROVIDED UNDER A SEPARATE COVER**

**APPENDIX A – PHOTOMETRIC PLAN**  
**APPENDIX B – AIR QUALITY WORKSHEETS**  
**APPENDIX C – NOISE WORKSHEETS**  
**APPENDIX D – TRAFFIC STUDY**

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# APPENDICES

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**WAREHOUSE IMPROVEMENT PROJECT  
12821 KNOTT STREET  
GARDEN GROVE, CALIFORNIA**



**LEAD AGENCY:**

**CITY OF GARDEN GROVE  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING SERVICES DIVISION  
11222 ACACIA PARKWAY  
GARDEN GROVE, CALIFORNIA 92840**

**REPORT PREPARED BY:**

**BLODGETT BAYLOSIS ENVIRONMENTAL PLANNING  
2211 HACIENDA BOULEVARD, SUITE 107  
HACIENDA HEIGHTS, CA 91745**

**NOVEMBER 20, 2019**

GGRO 016

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TABLE OF CONTENTS

<u>Section</u>	<u>Page</u>
<b>Appendices .....</b>	<b>5</b>
Appendix A – Photometric Plan.....	7
Appendix B – Air Quality Worksheets.....	11
Appendix C – Noise Worksheets.....	63
Appendix D – Traffic Study.....	69

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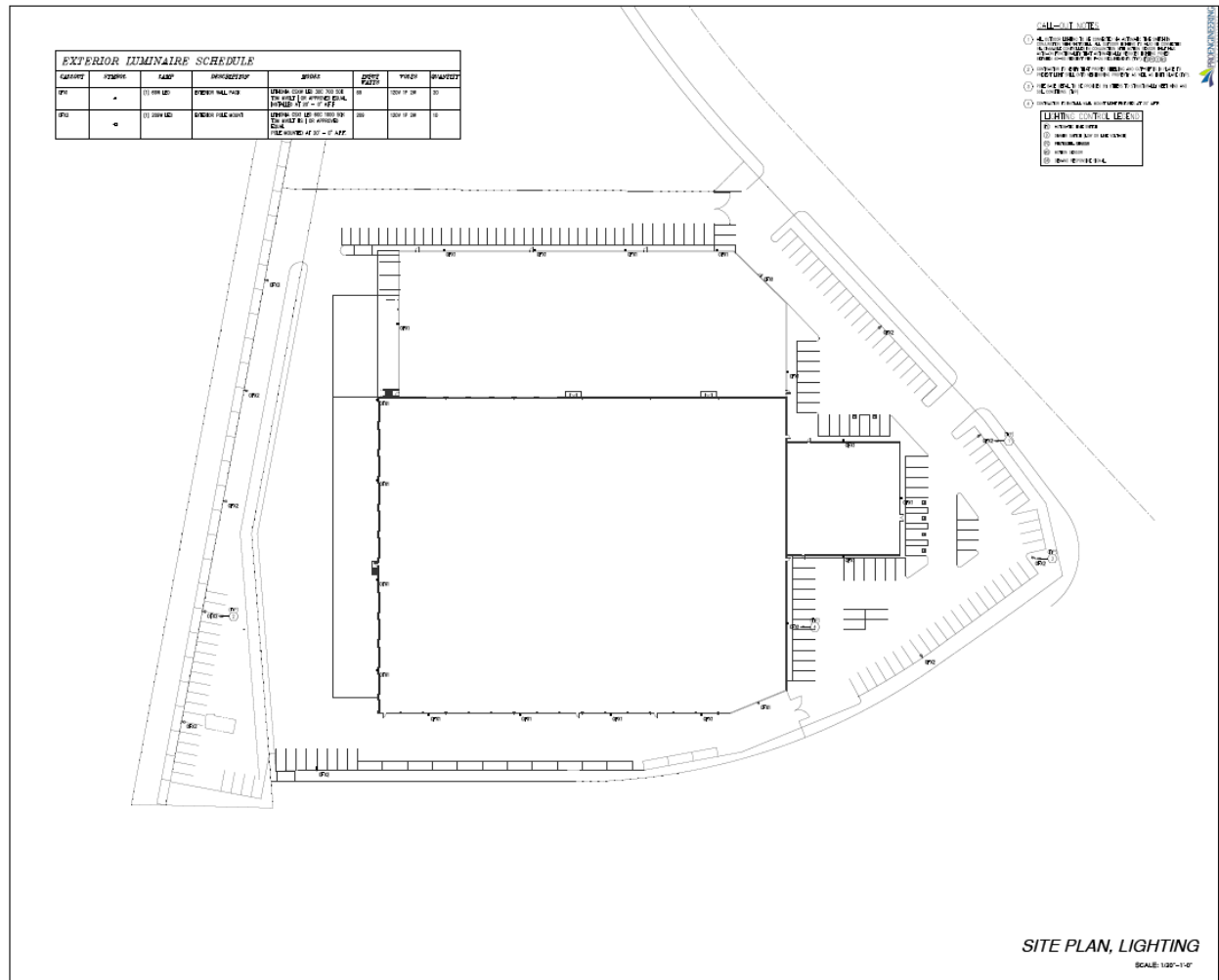
# **APPENDICES**

**APPENDIX A – PHOTOMETRIC PLAN**  
**APPENDIX B – AIR QUALITY WORKSHEETS**  
**APPENDIX C – NOISE WORKSHEETS**  
**APPENDIX D – TRAFFIC STUDY**

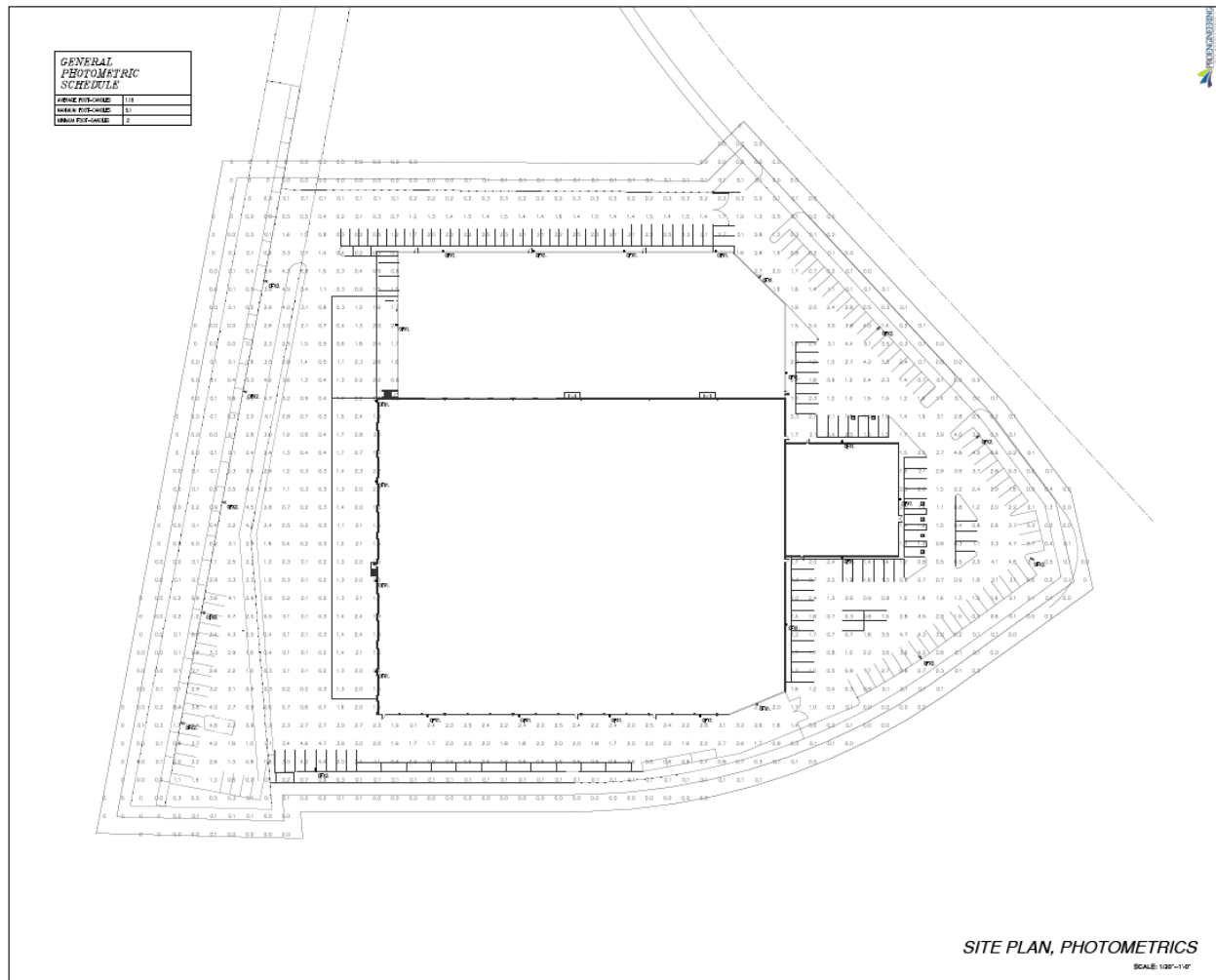
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# **APPENDIX A PHOTOMETRIC PLAN**

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET



APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET



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# **APPENDIX B**

# **AIR QUALITY WORKSHEETS**

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 1 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**Knott Avenue Warehouse Addition**  
**Orange County, Annual**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Unrefrigerated Warehouse-No Rail	44.57	1000sqft	1.02	44,565.00	0
Parking Lot	212.00	Space	1.91	84,800.00	0

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	30
Climate Zone	8			Operational Year	2021
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWhr)	702.44	CH4 Intensity (lb/MWhr)	0.029	N2O Intensity (lb/MWhr)	0.006

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics -

Land Use -

Construction Phase - Construction times are estimated.

Construction Off-road Equipment Mitigation -

Mobile Land Use Mitigation -

Energy Mitigation -

Water Mitigation -

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 2 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	45.00
tblConstructionPhase	NumDays	220.00	87.00
tblConstructionPhase	NumDays	6.00	22.00
tblConstructionPhase	NumDays	10.00	21.00
tblConstructionPhase	NumDays	3.00	21.00
tblConstructionPhase	PhaseEndDate	10/14/2020	7/31/2020
tblConstructionPhase	PhaseEndDate	9/16/2020	4/30/2020
tblConstructionPhase	PhaseEndDate	11/13/2019	12/31/2019
tblConstructionPhase	PhaseEndDate	9/30/2020	5/31/2020
tblConstructionPhase	PhaseEndDate	11/5/2019	11/30/2019
tblConstructionPhase	PhaseStartDate	10/1/2020	6/1/2020
tblConstructionPhase	PhaseStartDate	11/14/2019	1/1/2020
tblConstructionPhase	PhaseStartDate	11/6/2019	12/1/2019
tblConstructionPhase	PhaseStartDate	9/17/2020	5/1/2020
tblGrading	AcresOfGrading	11.00	3.00
tblGrading	AcresOfGrading	31.50	4.50

## 2.0 Emissions Summary

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APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 3 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**2.1 Overall Construction**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2019	0.0418	0.4769	0.2433	5.0000e-004	0.0724	0.0208	0.0931	0.0374	0.0191	0.0565	0.0000	45.3880	45.3880	0.0138	0.0000	45.7331
2020	0.3517	1.0223	0.9249	1.8600e-003	0.0360	0.0513	0.0873	9.9900e-003	0.0491	0.0587	0.0000	160.7555	160.7555	0.0264	0.0000	161.4153
Maximum	0.3517	1.0223	0.9249	1.8600e-003	0.0724	0.0513	0.0931	0.0374	0.0491	0.0587	0.0000	160.7555	160.7555	0.0264	0.0000	161.4153

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	tons/yr										MT/yr					
2019	0.0418	0.4769	0.2433	5.0000e-004	0.0295	0.0208	0.0503	0.0149	0.0191	0.0341	0.0000	45.3879	45.3879	0.0138	0.0000	45.7330
2020	0.3517	1.0223	0.9249	1.8600e-003	0.0360	0.0513	0.0873	9.9900e-003	0.0491	0.0587	0.0000	160.7554	160.7554	0.0264	0.0000	161.4152
Maximum	0.3517	1.0223	0.9249	1.8600e-003	0.0360	0.0513	0.0873	0.0149	0.0491	0.0587	0.0000	160.7554	160.7554	0.0264	0.0000	161.4152

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	39.54	0.00	23.74	47.73	0.00	19.50	0.00	0.00	0.00	0.00	0.00	0.00

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 4 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOX (tons/quarter)	Maximum Mitigated ROG + NOX (tons/quarter)
1	11-1-2019	1-31-2020	0.7729	0.7729
2	2-1-2020	4-30-2020	0.7182	0.7182
3	5-1-2020	7-31-2020	0.3998	0.3998
		Highest	0.7729	0.7729

**2.2 Overall Operational**

Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	0.1887	3.0000e-005	3.2900e-003	0.0000		1.0000e-005	1.0000e-005		1.0000e-005	1.0000e-005	0.0000	6.3700e-003	6.3700e-003	2.0000e-005	0.0000	6.7900e-003
Energy	9.4000e-004	6.5900e-003	7.2100e-003	5.0000e-005		6.5000e-004	6.5000e-004		6.5000e-004	6.5000e-004	0.0000	77.8722	77.8722	3.0100e-003	7.6000e-004	78.1726
Mobile	0.0228	0.1045	0.3453	1.3400e-003	0.1217	9.8000e-004	0.1227	0.0326	9.1000e-004	0.0335	0.0000	123.7366	123.7366	6.0300e-003	0.0000	123.8623
Waste						0.0000	0.0000		0.0000	0.0000	8.5033	0.0000	8.5033	0.5025	0.0000	21.0665
Water						0.0000	0.0000		0.0000	0.0000	3.2691	42.7510	46.0201	0.3375	8.2900e-003	56.9300
Total	0.2124	0.1131	0.3558	1.3900e-003	0.1217	1.6400e-003	0.1233	0.0326	1.5700e-003	0.0342	11.7724	244.3662	256.1386	0.8481	9.0500e-003	280.0386

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 5 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

## 2.2 Overall Operational

### Mitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Area	0.1887	3.0000e-005	3.2900e-003	0.0000		1.0000e-005	1.0000e-005		1.0000e-005	1.0000e-005	0.0000	6.3700e-003	6.3700e-003	2.0000e-005	0.0000	6.7900e-003
Energy	9.4000e-004	8.5900e-003	7.2100e-003	5.0000e-005		6.5000e-004	6.5000e-004		6.5000e-004	6.5000e-004	0.0000	77.8722	77.8722	3.0100e-003	7.6000e-004	78.1729
Mobile	0.0228	0.1045	0.3463	1.3400e-003	0.1217	9.8000e-004	0.1227	0.0326	9.1000e-004	0.0335	0.0000	123.7366	123.7366	5.0300e-003	0.0000	123.8623
Waste						0.0000	0.0000		0.0000	0.0000	8.5033	0.0000	8.5033	0.5025	0.0000	21.0665
Water						0.0000	0.0000		0.0000	0.0000	2.7592	36.0816	38.8410	0.2849	7.0000e-003	48.0469
Total	0.2124	0.1131	0.3558	1.3900e-003	0.1217	1.6400e-003	0.1233	0.0326	1.5700e-003	0.0342	11.2626	237.6971	248.9596	0.7955	7.7600e-003	271.1575

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	4.33	2.73	2.80	6.21	14.25	3.17

## 3.0 Construction Detail

### Construction Phase

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 6 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Site Preparation	Site Preparation	11/1/2019	11/30/2019	5	21	
2	Grading	Grading	12/1/2019	12/31/2019	5	22	
3	Building Construction	Building Construction	1/1/2020	4/30/2020	5	87	
4	Paving	Paving	5/1/2020	5/31/2020	5	21	
5	Architectural Coating	Architectural Coating	6/1/2020	7/31/2020	5	45	

Acres of Grading (Site Preparation Phase): 4.5

Acres of Grading (Grading Phase): 3

Acres of Paving: 1.91

Residential Indoor: 0; Residential Outdoor: 0; Non-Residential Indoor: 66,848; Non-Residential Outdoor: 22,283; Striped Parking Area: 5,088 (Architectural Coating – sqft)

OffRoad Equipment

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 7 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Architectural Coating	Air Compressors	1	6.00	78	0.48
Paving	Cement and Mortar Mixers	1	8.00	9	0.56
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Scrapers	1	8.00	367	0.48
Building Construction	Cranes	1	8.00	231	0.29
Building Construction	Forklifts	2	7.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Paving	Pavers	1	8.00	130	0.42
Paving	Rollers	2	8.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Grading	Graders	1	8.00	187	0.41
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37
Paving	Paving Equipment	1	8.00	132	0.36
Site Preparation	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Site Preparation	3	8.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	8	54.00	21.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	6	15.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	11.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT



APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 8 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.1 Mitigation Measures Construction**

Water Exposed Area

**3.2 Site Preparation - 2019**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					2.3900e-003	0.0000	2.3900e-003	2.6000e-004	0.0000	2.6000e-004	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0184	0.2262	0.1251	2.6000e-004		8.9600e-003	8.9600e-003		8.2500e-003	8.2500e-003	0.0000	23.1139	23.1139	7.3100e-003	0.0000	23.2987
Total	0.0184	0.2262	0.1251	2.6000e-004	2.3900e-003	8.9600e-003	0.0114	2.6000e-004	8.2500e-003	8.5100e-003	0.0000	23.1139	23.1139	7.3100e-003	0.0000	23.2987

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 9 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.2 Site Preparation - 2019**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.5000e-004	2.6000e-004	2.8400e-003	1.0000e-005	9.2000e-004	1.0000e-005	9.3000e-004	2.4000e-004	1.0000e-005	2.5000e-004	0.0000	0.8246	0.8246	2.0000e-005	0.0000	0.8251
Total	3.5000e-004	2.6000e-004	2.8400e-003	1.0000e-005	9.2000e-004	1.0000e-005	9.3000e-004	2.4000e-004	1.0000e-005	2.5000e-004	0.0000	0.8246	0.8246	2.0000e-005	0.0000	0.8251

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					9.3000e-004	0.0000	9.3000e-004	1.0000e-004	0.0000	1.0000e-004	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0184	0.2262	0.1251	2.6000e-004		8.9600e-003	8.9600e-003		8.2500e-003	8.2500e-003	0.0000	23.1138	23.1138	7.3100e-003	0.0000	23.2967
Total	0.0184	0.2262	0.1251	2.6000e-004	9.3000e-004	8.9600e-003	9.8900e-003	1.0000e-004	8.2500e-003	8.3500e-003	0.0000	23.1138	23.1138	7.3100e-003	0.0000	23.2967

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 10 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.2 Site Preparation - 2019**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.5000e-004	2.6000e-004	2.8400e-003	1.0000e-005	9.2000e-004	1.0000e-005	9.3000e-004	2.4000e-004	1.0000e-005	2.5000e-004	0.0000	0.8246	0.8246	2.0000e-005	0.0000	0.8251
Total	3.5000e-004	2.6000e-004	2.8400e-003	1.0000e-005	9.2000e-004	1.0000e-005	9.3000e-004	2.4000e-004	1.0000e-005	2.5000e-004	0.0000	0.8246	0.8246	2.0000e-005	0.0000	0.8251

**3.3 Grading - 2019**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0678	0.0000	0.0678	0.0366	0.0000	0.0366	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0223	0.2502	0.1117	2.3000e-004		0.0118	0.0118		0.0109	0.0109	0.0000	20.3697	20.3697	6.4400e-003	0.0000	20.5309
Total	0.0223	0.2502	0.1117	2.3000e-004	0.0678	0.0118	0.0796	0.0366	0.0109	0.0474	0.0000	20.3697	20.3697	6.4400e-003	0.0000	20.5309

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 11 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.3 Grading - 2019**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.6000e-004	3.4000e-004	3.7200e-003	1.0000e-005	1.2100e-003	1.0000e-005	1.2200e-003	3.2000e-004	1.0000e-005	3.3000e-004	0.0000	1.0798	1.0798	3.0000e-005	0.0000	1.0805
Total	4.6000e-004	3.4000e-004	3.7200e-003	1.0000e-005	1.2100e-003	1.0000e-005	1.2200e-003	3.2000e-004	1.0000e-005	3.3000e-004	0.0000	1.0798	1.0798	3.0000e-005	0.0000	1.0805

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					0.0265	0.0000	0.0265	0.0143	0.0000	0.0143	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0223	0.2502	0.1117	2.3000e-004		0.0118	0.0118		0.0109	0.0109	0.0000	20.3697	20.3697	6.4400e-003	0.0000	20.5308
Total	0.0223	0.2502	0.1117	2.3000e-004	0.0265	0.0118	0.0383	0.0143	0.0109	0.0251	0.0000	20.3697	20.3697	6.4400e-003	0.0000	20.5308

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 12 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.3 Grading - 2019**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	4.6000e-004	3.4000e-004	3.7200e-003	1.0000e-005	1.2100e-003	1.0000e-005	1.2200e-003	3.2000e-004	1.0000e-005	3.3000e-004	0.0000	1.0798	1.0798	3.0000e-005	0.0000	1.0805
Total	4.6000e-004	3.4000e-004	3.7200e-003	1.0000e-005	1.2100e-003	1.0000e-005	1.2200e-003	3.2000e-004	1.0000e-005	3.3000e-004	0.0000	1.0798	1.0798	3.0000e-005	0.0000	1.0805

**3.4 Building Construction - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0995	0.7584	0.6480	1.0900e-003		0.0413	0.0413		0.0395	0.0395	0.0000	90.3253	90.3253	0.0183	0.0000	90.7836
Total	0.0995	0.7584	0.6480	1.0900e-003		0.0413	0.0413		0.0395	0.0395	0.0000	90.3253	90.3253	0.0183	0.0000	90.7836

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 13 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.4 Building Construction - 2020**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	2.9800e-003	0.0969	0.0264	2.3000e-004	5.7500e-003	5.0000e-004	6.2500e-003	1.6600e-003	4.8000e-004	2.1400e-003	0.0000	22.2369	22.2369	1.8600e-003	0.0000	22.2834
Worker	9.1600e-003	6.4100e-003	0.0728	2.5000e-004	0.0268	1.7000e-004	0.0280	6.8500e-003	1.6000e-004	7.0100e-003	0.0000	22.3193	22.3193	5.1000e-004	0.0000	22.3320
Total	0.0121	0.1033	0.0992	4.8000e-004	0.0315	6.7000e-004	0.0322	8.5100e-003	6.4000e-004	9.1500e-003	0.0000	44.5562	44.5562	2.3700e-003	0.0000	44.6154

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0995	0.7584	0.6480	1.0900e-003		0.0413	0.0413		0.0395	0.0395	0.0000	90.3252	90.3252	0.0183	0.0000	90.7835
Total	0.0995	0.7584	0.6480	1.0900e-003		0.0413	0.0413		0.0395	0.0395	0.0000	90.3252	90.3252	0.0183	0.0000	90.7835

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 14 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.4 Building Construction - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	2.9800e-003	0.0969	0.0264	2.3000e-004	5.7500e-003	5.0000e-004	6.2500e-003	1.6600e-003	4.8000e-004	2.1400e-003	0.0000	22.2369	22.2369	1.8600e-003	0.0000	22.2834
Worker	9.1600e-003	6.4100e-003	0.0728	2.5000e-004	0.0269	1.7000e-004	0.0280	6.8500e-003	1.6000e-004	7.0100e-003	0.0000	22.3193	22.3193	5.1000e-004	0.0000	22.3320
Total	0.0121	0.1033	0.0992	4.8000e-004	0.0315	6.7000e-004	0.0322	8.5100e-003	6.4000e-004	9.1500e-003	0.0000	44.5562	44.5562	2.3700e-003	0.0000	44.6154

**3.5 Paving - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0121	0.1217	0.1240	1.9000e-004		6.8900e-003	6.8900e-003		6.3500e-003	6.3500e-003	0.0000	16.2811	16.2811	5.1600e-003	0.0000	16.4101
Paving	2.5000e-003					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total	0.0146	0.1217	0.1240	1.9000e-004		6.8900e-003	6.8900e-003		6.3500e-003	6.3500e-003	0.0000	16.2811	16.2811	5.1600e-003	0.0000	16.4101

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 15 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.5 Paving - 2020**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	6.1000e-004	4.3000e-004	4.8600e-003	2.0000e-005	1.7300e-003	1.0000e-005	1.7400e-003	4.6000e-004	1.0000e-005	4.7000e-004	0.0000	1.4965	1.4965	3.0000e-005	0.0000	1.4974
Total	6.1000e-004	4.3000e-004	4.8600e-003	2.0000e-005	1.7300e-003	1.0000e-005	1.7400e-003	4.6000e-004	1.0000e-005	4.7000e-004	0.0000	1.4965	1.4965	3.0000e-005	0.0000	1.4974

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.0121	0.1217	0.1240	1.9000e-004		6.8900e-003	6.8900e-003		6.3500e-003	6.3500e-003	0.0000	16.2810	16.2810	5.1600e-003	0.0000	16.4100
Paving	2.5000e-003					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total	0.0146	0.1217	0.1240	1.9000e-004		6.8900e-003	6.8900e-003		6.3500e-003	6.3500e-003	0.0000	16.2810	16.2810	5.1600e-003	0.0000	16.4100



APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 16 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.5 Paving - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	8.1000e-004	4.3000e-004	4.8800e-003	2.0000e-005	1.7300e-003	1.0000e-005	1.7400e-003	4.6000e-004	1.0000e-005	4.7000e-004	0.0000	1.4965	1.4965	3.0000e-005	0.0000	1.4974
Total	8.1000e-004	4.3000e-004	4.8800e-003	2.0000e-005	1.7300e-003	1.0000e-005	1.7400e-003	4.6000e-004	1.0000e-005	4.7000e-004	0.0000	1.4965	1.4965	3.0000e-005	0.0000	1.4974

**3.6 Architectural Coating - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.2194					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	5.4500e-003	0.0379	0.0412	7.0000e-005		2.5000e-003	2.5000e-003		2.5000e-003	2.5000e-003	0.0000	5.7448	5.7448	4.4000e-004	0.0000	5.7559
Total	0.2238	0.0379	0.0412	7.0000e-005		2.5000e-003	2.5000e-003		2.5000e-003	2.5000e-003	0.0000	5.7448	5.7448	4.4000e-004	0.0000	5.7559

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 17 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.6 Architectural Coating - 2020**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	9.6000e-004	6.8000e-004	7.6700e-003	3.0000e-005	2.7200e-003	2.0000e-005	2.7400e-003	7.2000e-004	2.0000e-005	7.4000e-004	0.0000	2.3517	2.3517	5.0000e-005	0.0000	2.3530
Total	9.6000e-004	6.8000e-004	7.6700e-003	3.0000e-005	2.7200e-003	2.0000e-005	2.7400e-003	7.2000e-004	2.0000e-005	7.4000e-004	0.0000	2.3517	2.3517	5.0000e-005	0.0000	2.3530

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.2194					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	5.4500e-003	0.0379	0.0412	7.0000e-005		2.5000e-003	2.5000e-003		2.5000e-003	2.5000e-003	0.0000	5.7448	5.7448	4.4000e-004	0.0000	5.7559
Total	0.2238	0.0379	0.0412	7.0000e-005		2.5000e-003	2.5000e-003		2.5000e-003	2.5000e-003	0.0000	5.7448	5.7448	4.4000e-004	0.0000	5.7559

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 18 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**3.6 Architectural Coating - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	9.6000e-004	6.8000e-004	7.6700e-003	3.0000e-005	2.7200e-003	2.0000e-005	2.7400e-003	7.2000e-004	2.0000e-005	7.4000e-004	0.0000	2.3517	2.3517	5.0000e-005	0.0000	2.3530
Total	9.6000e-004	6.8000e-004	7.6700e-003	3.0000e-005	2.7200e-003	2.0000e-005	2.7400e-003	7.2000e-004	2.0000e-005	7.4000e-004	0.0000	2.3517	2.3517	5.0000e-005	0.0000	2.3530

**4.0 Operational Detail - Mobile**

**4.1 Mitigation Measures Mobile**

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 19 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.0228	0.1045	0.3453	1.3400e-003	0.1217	9.6000e-004	0.1227	0.0326	9.1000e-004	0.0335	0.0000	123.7366	123.7366	5.0300e-003	0.0000	123.8623
Unmitigated	0.0228	0.1045	0.3453	1.3400e-003	0.1217	9.6000e-004	0.1227	0.0326	9.1000e-004	0.0335	0.0000	123.7366	123.7366	5.0300e-003	0.0000	123.8623

#### 4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Parking Lot	0.00	0.00	0.00		
Unrefrigerated Warehouse-No Rail	74.87	74.87	74.87	320,868	320,868
Total	74.87	74.87	74.87	320,868	320,868

#### 4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Parking Lot	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0
Unrefrigerated Warehouse-No Rail	16.60	8.40	6.90	59.00	0.00	41.00	92	5	3

#### 4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Parking Lot	0.558976	0.043534	0.209821	0.113949	0.016111	0.005791	0.025447	0.016654	0.001713	0.001553	0.004896	0.000590	0.000966
Unrefrigerated Warehouse-No Rail	0.558976	0.043534	0.209821	0.113949	0.016111	0.005791	0.025447	0.016654	0.001713	0.001553	0.004896	0.000590	0.000966

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 20 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

## 5.0 Energy Detail

Historical Energy Use: N

### 5.1 Mitigation Measures Energy

Install High Efficiency Lighting

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	68.5260	68.5260	2.8300e-003	6.9000e-004	68.7712
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	68.5260	68.5260	2.8300e-003	6.9000e-004	68.7712
NaturalGas Mitigated	9.4000e-004	8.5900e-003	7.2100e-003	5.0000e-005		6.5000e-004	6.5000e-004		6.5000e-004	6.5000e-004	0.0000	9.3462	9.3462	1.8000e-004	1.7000e-004	9.4017
NaturalGas Unmitigated	9.4000e-004	8.5900e-003	7.2100e-003	5.0000e-005		6.5000e-004	6.5000e-004		6.5000e-004	6.5000e-004	0.0000	9.3462	9.3462	1.8000e-004	1.7000e-004	9.4017

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 21 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Rail	175140	9.4000e-004	8.5900e-003	7.2100e-003	5.0000e-005		6.5000e-004	6.5000e-004		6.5000e-004	6.5000e-004	0.0000	9.3462	9.3462	1.8000e-004	1.7000e-004	9.4017
Total		9.4000e-004	8.5900e-003	7.2100e-003	5.0000e-005		6.5000e-004	6.5000e-004		6.5000e-004	6.5000e-004	0.0000	9.3462	9.3462	1.8000e-004	1.7000e-004	9.4017

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	tons/yr										MT/yr					
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Rail	175140	9.4000e-004	8.5900e-003	7.2100e-003	5.0000e-005		6.5000e-004	6.5000e-004		6.5000e-004	6.5000e-004	0.0000	9.3462	9.3462	1.8000e-004	1.7000e-004	9.4017
Total		9.4000e-004	8.5900e-003	7.2100e-003	5.0000e-005		6.5000e-004	6.5000e-004		6.5000e-004	6.5000e-004	0.0000	9.3462	9.3462	1.8000e-004	1.7000e-004	9.4017

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 22 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

### 5.3 Energy by Land Use - Electricity

#### Unmitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Parking Lot	29680	9.4567	3.9000e-004	8.0000e-005	9.4905
Unrefrigerated Warehouse-No Rail	185390	59.0664	2.4400e-003	5.0000e-004	59.2807
Total		68.5260	2.8300e-003	5.8000e-004	68.7712

#### Mitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Parking Lot	29680	9.4567	3.9000e-004	8.0000e-005	9.4905
Unrefrigerated Warehouse-No Rail	185390	59.0664	2.4400e-003	5.0000e-004	59.2807
Total		68.5260	2.8300e-003	5.8000e-004	68.7712

### 6.0 Area Detail

#### 6.1 Mitigation Measures Area

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 23 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.1887	3.0000e-005	3.2900e-003	0.0000		1.0000e-005	1.0000e-005		1.0000e-005	1.0000e-005	0.0000	6.3700e-003	6.3700e-003	2.0000e-005	0.0000	6.7900e-003
Unmitigated	0.1887	3.0000e-005	3.2900e-003	0.0000		1.0000e-005	1.0000e-005		1.0000e-005	1.0000e-005	0.0000	6.3700e-003	6.3700e-003	2.0000e-005	0.0000	6.7900e-003

## 6.2 Area by SubCategory

### Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0218					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.1665					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping	3.1000e-004	3.0000e-005	3.2900e-003	0.0000		1.0000e-005	1.0000e-005		1.0000e-005	1.0000e-005	0.0000	6.3700e-003	6.3700e-003	2.0000e-005	0.0000	6.7900e-003
Total	0.1887	3.0000e-005	3.2900e-003	0.0000		1.0000e-005	1.0000e-005		1.0000e-005	1.0000e-005	0.0000	6.3700e-003	6.3700e-003	2.0000e-005	0.0000	6.7900e-003



APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 24 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

**6.2 Area by SubCategory**

**Mitigated**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	tons/yr										MT/yr					
Architectural Coating	0.0218					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.1665					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping	3.1000e-004	3.0000e-005	3.2900e-003	0.0000		1.0000e-005	1.0000e-005		1.0000e-005	1.0000e-005	0.0000	6.3700e-003	6.3700e-003	2.0000e-005	0.0000	6.7900e-003
Total	0.1887	3.0000e-005	3.2900e-003	0.0000		1.0000e-005	1.0000e-005		1.0000e-005	1.0000e-005	0.0000	6.3700e-003	6.3700e-003	2.0000e-005	0.0000	6.7900e-003

**7.0 Water Detail**

**7.1 Mitigation Measures Water**

Install Low Flow Bathroom Faucet  
Install Low Flow Kitchen Faucet  
Install Low Flow Toilet

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 25 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

	Total CO2	CH4	N2O	CO2e
Category	MT/yr			
Mitigated	39.8410	0.2849	7.0000e-003	48.0489
Unmitigated	48.0201	0.3375	8.2900e-003	56.9300

## 7.2 Water by Land Use

### Unmitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Parking Lot	0 / 0	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Rail	10.3045 / 0	48.0201	0.3375	8.2900e-003	56.9300
Total		48.0201	0.3375	8.2900e-003	56.9300

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 26 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

## 7.2 Water by Land Use

### Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Parking Lot	0 / 0	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Rail	8.697 / 0	38.8410	0.2849	7.0000e-003	48.0489
<b>Total</b>		<b>38.8410</b>	<b>0.2849</b>	<b>7.0000e-003</b>	<b>48.0489</b>

## 8.0 Waste Detail

### 8.1 Mitigation Measures Waste

#### Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	8.5033	0.5025	0.0000	21.0865
Unmitigated	8.5033	0.5025	0.0000	21.0865

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 27 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

## 8.2 Waste by Land Use

### Unmitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Parking Lot	0	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Rail	41.89	8.5033	0.5025	0.0000	21.0666
Total		8.5033	0.5025	0.0000	21.0666

### Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Parking Lot	0	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Rail	41.89	8.5033	0.5025	0.0000	21.0666
Total		8.5033	0.5025	0.0000	21.0666

## 9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	-----------	-------------	-------------	-----------

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 28 of 28

Date: 7/17/2019 1:55 PM

Knott Avenue Warehouse Addition - Orange County, Annual

## 10.0 Stationary Equipment

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### Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	------------	-------------	-------------	-----------

### Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
----------------	--------	----------------	-----------------	---------------	-----------

### User Defined Equipment

Equipment Type	Number
----------------	--------

## 11.0 Vegetation

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APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 1 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**Knott Avenue Warehouse Addition**  
**Orange County, Summer**

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Unrefrigerated Warehouse-No Rail	44.57	1000sqft	1.02	44,565.00	0
Parking Lot	212.00	Space	1.91	84,800.00	0

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	30
Climate Zone	8			Operational Year	2021
Utility Company	Southern California Edison				
CO2 Intensity (lb/MWhr)	702.44	CH4 Intensity (lb/MWhr)	0.029	N2O Intensity (lb/MWhr)	0.006

**1.3 User Entered Comments & Non-Default Data**

Project Characteristics -

Land Use -

Construction Phase - Construction times are estimated.

Construction Off-road Equipment Mitigation -

Mobile Land Use Mitigation -

Energy Mitigation -

Water Mitigation -

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 2 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	10.00	45.00
tblConstructionPhase	NumDays	220.00	87.00
tblConstructionPhase	NumDays	6.00	22.00
tblConstructionPhase	NumDays	10.00	21.00
tblConstructionPhase	NumDays	3.00	21.00
tblConstructionPhase	PhaseEndDate	10/14/2020	7/31/2020
tblConstructionPhase	PhaseEndDate	9/16/2020	4/30/2020
tblConstructionPhase	PhaseEndDate	11/13/2019	12/31/2019
tblConstructionPhase	PhaseEndDate	9/30/2020	5/31/2020
tblConstructionPhase	PhaseEndDate	11/5/2019	11/30/2019
tblConstructionPhase	PhaseStartDate	10/1/2020	6/1/2020
tblConstructionPhase	PhaseStartDate	11/14/2019	1/1/2020
tblConstructionPhase	PhaseStartDate	11/6/2019	12/1/2019
tblConstructionPhase	PhaseStartDate	9/17/2020	5/1/2020
tblGrading	AcresOfGrading	11.00	3.00
tblGrading	AcresOfGrading	31.50	4.50

**2.0 Emissions Summary**

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APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 3 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**2.1 Overall Construction (Maximum Daily Emission)**

**Unmitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2019	2.0699	22.7714	12.1997	0.0254	6.2785	1.0737	7.3522	3.3555	0.9878	4.3433	0.0000	2,516.632 0	2,516.632 0	0.7699	0.0000	2,635.880 7
2020	9.9890	19.7521	17.2422	0.0361	0.7378	0.9639	1.7014	0.1987	0.9235	1.1222	0.0000	3,446.882 0	3,446.882 0	0.5454	0.0000	3,459.982 4
Maximum	9.9890	22.7714	17.2422	0.0361	6.2785	1.0737	7.3522	3.3555	0.9878	4.3433	0.0000	3,446.882 0	3,446.882 0	0.7699	0.0000	3,459.982 4

**Mitigated Construction**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2019	2.0699	22.7714	12.1997	0.0254	2.5168	1.0737	3.5905	1.3267	0.9878	2.3145	0.0000	2,516.632 0	2,516.632 0	0.7699	0.0000	2,635.880 7
2020	9.9890	19.7521	17.2422	0.0361	0.7378	0.9639	1.7014	0.1987	0.9235	1.1222	0.0000	3,446.882 0	3,446.882 0	0.5454	0.0000	3,459.982 4
Maximum	9.9890	22.7714	17.2422	0.0361	2.5168	1.0737	3.5905	1.3267	0.9878	2.3145	0.0000	3,446.882 0	3,446.882 0	0.7699	0.0000	3,459.982 4

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	53.61	0.00	41.55	57.08	0.00	37.12	0.00	0.00	0.00	0.00	0.00	0.00



APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 4 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**2.2 Overall Operational**

**Unmitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	1.0345	2.4000e-004	0.0263	0.0000		9.0000e-005	9.0000e-005		9.0000e-005	9.0000e-005		0.0562	0.0562	1.5000e-004		0.0569
Energy	5.1700e-003	0.0470	0.0395	2.8000e-004		3.5800e-003	3.5800e-003		3.5800e-003	3.5800e-003		56.4514	56.4514	1.0800e-003	1.0300e-003	56.7869
Mobile	0.1305	0.5454	1.9713	7.8400e-003	0.6806	5.3600e-003	0.6860	0.1820	5.0100e-003	0.1870		774.8017	774.8017	0.0307		775.6899
Total	1.1702	0.5927	2.0371	7.9200e-003	0.6806	9.0600e-003	0.6897	0.1820	8.6800e-003	0.1907		831.3093	831.3093	0.0320	1.0300e-003	832.4167

**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	1.0345	2.4000e-004	0.0263	0.0000		9.0000e-005	9.0000e-005		9.0000e-005	9.0000e-005		0.0562	0.0562	1.5000e-004		0.0569
Energy	5.1700e-003	0.0470	0.0395	2.8000e-004		3.5800e-003	3.5800e-003		3.5800e-003	3.5800e-003		56.4514	56.4514	1.0800e-003	1.0300e-003	56.7869
Mobile	0.1305	0.5454	1.9713	7.8400e-003	0.6806	5.3600e-003	0.6860	0.1820	5.0100e-003	0.1870		774.8017	774.8017	0.0307		775.6899
Total	1.1702	0.5927	2.0371	7.9200e-003	0.6806	9.0600e-003	0.6897	0.1820	8.6800e-003	0.1907		831.3093	831.3093	0.0320	1.0300e-003	832.4167

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 5 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

### 3.0 Construction Detail

#### Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Site Preparation	Site Preparation	11/1/2019	11/30/2019	5	21	
2	Grading	Grading	12/1/2019	12/31/2019	5	22	
3	Building Construction	Building Construction	1/1/2020	4/30/2020	5	87	
4	Paving	Paving	5/1/2020	5/31/2020	5	21	
5	Architectural Coating	Architectural Coating	6/1/2020	7/31/2020	5	45	

Acres of Grading (Site Preparation Phase): 4.5

Acres of Grading (Grading Phase): 3

Acres of Paving: 1.91

Residential Indoor: 0; Residential Outdoor: 0; Non-Residential Indoor: 66,848; Non-Residential Outdoor: 22,283; Striped Parking Area: 5,088  
(Architectural Coating – sqft)

#### OffRoad Equipment

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 6 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Architectural Coating	Air Compressors	1	6.00	78	0.48
Paving	Cement and Mortar Mixers	1	8.00	9	0.56
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Scrapers	1	8.00	367	0.48
Building Construction	Cranes	1	8.00	231	0.29
Building Construction	Forklifts	2	7.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Paving	Pavers	1	8.00	130	0.42
Paving	Rollers	2	8.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Rubber Tired Dozers	1	8.00	247	0.40
Building Construction	Tractors/Loaders/Backhoes	1	6.00	97	0.37
Grading	Graders	1	8.00	187	0.41
Grading	Tractors/Loaders/Backhoes	2	7.00	97	0.37
Paving	Paving Equipment	1	8.00	132	0.36
Site Preparation	Tractors/Loaders/Backhoes	1	7.00	97	0.37
Building Construction	Welders	3	8.00	46	0.45

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Site Preparation	3	8.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	8	54.00	21.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Paving	6	15.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	11.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 7 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**3.1 Mitigation Measures Construction**

Water Exposed Area

**3.2 Site Preparation - 2019**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.2273	0.0000	0.2273	0.0245	0.0000	0.0245			0.0000			0.0000
Off-Road	1.7557	21.5386	11.9143	0.0245		0.8537	0.8537		0.7854	0.7854		2,426,540 8	2,426,540 8	0.7677		2,445,734 1
Total	1.7557	21.5386	11.9143	0.0245	0.2273	0.8537	1.0810	0.0245	0.7854	0.8099		2,426,540 8	2,426,540 8	0.7677		2,445,734 1

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 8 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**3.2 Site Preparation - 2019**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0330	0.0216	0.2854	9.0000e-004	0.0894	6.0000e-004	0.0900	0.0237	5.5000e-004	0.0243		90.0912	90.0912	2.2100e-003		90.1466
Total	0.0330	0.0216	0.2854	9.0000e-004	0.0894	6.0000e-004	0.0900	0.0237	5.5000e-004	0.0243		90.0912	90.0912	2.2100e-003		90.1466

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.0888	0.0000	0.0888	9.5700e-003	0.0000	9.5700e-003			0.0000			0.0000
Off-Road	1.7557	21.5386	11.9143	0.0245		0.8537	0.8537		0.7854	0.7854	0.0000	2,426.5408	2,426.5408	0.7677		2,445.7341
Total	1.7557	21.5386	11.9143	0.0245	0.0888	0.8537	0.9423	9.5700e-003	0.7854	0.7950	0.0000	2,426.5408	2,426.5408	0.7677		2,445.7341

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 9 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**3.2 Site Preparation - 2019**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0330	0.0216	0.2854	9.0000e-004	0.0894	6.0000e-004	0.0900	0.0237	5.5000e-004	0.0243		90.0912	90.0912	2.2109e-003		90.1466
Total	0.0330	0.0216	0.2854	9.0000e-004	0.0894	6.0000e-004	0.0900	0.0237	5.5000e-004	0.0243		90.0912	90.0912	2.2109e-003		90.1466

**3.3 Grading - 2019**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					6.1667	0.0000	6.1667	3.3258	0.0000	3.3258			0.0000			0.0000
Off-Road	2.0287	22.7444	10.1518	0.0206		1.0730	1.0730		0.9871	0.9871		2,041.2539	2,041.2539	0.6458		2,057.3997
Total	2.0287	22.7444	10.1518	0.0206	6.1667	1.0730	7.2397	3.3258	0.9871	4.3130		2,041.2539	2,041.2539	0.6458		2,057.3997

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 10 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**3.3 Grading - 2019**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0412	0.0270	0.3567	1.1300e-003	0.1118	7.5000e-004	0.1125	0.0298	6.9000e-004	0.0303		112.6140	112.6140	2.7700e-003		112.6833
Total	0.0412	0.0270	0.3567	1.1300e-003	0.1118	7.5000e-004	0.1125	0.0298	6.9000e-004	0.0303		112.6140	112.6140	2.7700e-003		112.6833

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					2.4050	0.0000	2.4050	1.2971	0.0000	1.2971			0.0000			0.0000
Off-Road	2.0287	22.7444	10.1518	0.0206		1.0730	1.0730		0.9871	0.9871	0.0000	2,041.2539	2,041.2539	0.6458		2,057.3997
Total	2.0287	22.7444	10.1518	0.0206	2.4050	1.0730	3.4780	1.2971	0.9871	2.2842	0.0000	2,041.2539	2,041.2539	0.6458		2,057.3997

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 11 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**3.3 Grading - 2019**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0412	0.0270	0.3567	1.1300e-003	0.1118	7.5000e-004	0.1125	0.0296	6.9000e-004	0.0303		112.6140	112.6140	2.7700e-003		112.6833
Total	0.0412	0.0270	0.3567	1.1300e-003	0.1118	7.5000e-004	0.1125	0.0296	6.9000e-004	0.0303		112.6140	112.6140	2.7700e-003		112.6833

**3.4 Building Construction - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	2.2879	17.4336	14.8972	0.0250		0.9482	0.9482		0.9089	0.9089		2,288.8877	2,288.8877	0.4646		2,300.5014
Total	2.2879	17.4336	14.8972	0.0250		0.9482	0.9482		0.9089	0.9089		2,288.8877	2,288.8877	0.4646		2,300.5014



APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 12 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**3.4 Building Construction - 2020**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0671	2.1877	0.6774	6.2300e-003	0.1342	0.0114	0.1456	0.0386	0.0109	0.0495		566.3708	566.3708	0.0461		570.5220
Worker	0.2075	0.1307	1.7676	5.9000e-003	0.6036	3.9000e-003	0.6076	0.1601	3.8800e-003	0.1638		588.6236	588.6236	0.0134		588.9560
Total	0.2746	2.3185	2.3450	0.0111	0.7376	0.0154	0.7532	0.1987	0.0146	0.2133		1,157.9943	1,157.9943	0.0595		1,159.4810

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	2.2879	17.4336	14.8972	0.0250		0.9482	0.9482		0.9089	0.9089	0.0000	2,288.8877	2,288.8877	0.4646		2,300.5014
Total	2.2879	17.4336	14.8972	0.0250		0.9482	0.9482		0.9089	0.9089	0.0000	2,288.8877	2,288.8877	0.4646		2,300.5014

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 13 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**3.4 Building Construction - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0671	2.1877	0.5774	5.2300e-003	0.1342	0.0114	0.1456	0.0386	0.0109	0.0495		609.3708	609.3708	0.0481		570.5220
Worker	0.2075	0.1307	1.7878	5.9000e-003	0.6038	3.9900e-003	0.6076	0.1801	3.8800e-003	0.1638		588.8238	588.8238	0.0134		588.9590
Total	0.2746	2.3185	2.3450	0.0111	0.7378	0.0154	0.7532	0.1987	0.0146	0.2133		1,157.9943	1,157.9943	0.0595		1,159.4810

**3.5 Paving - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.1547	11.5873	11.8076	0.0178		0.6565	0.6565		0.6051	0.6051		1,709.2180	1,709.2180	0.5417		1,722.7605
Paving	0.2383					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	1.3930	11.5873	11.8076	0.0178		0.6565	0.6565		0.6051	0.6051		1,709.2180	1,709.2180	0.5417		1,722.7605

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 14 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**3.5 Paving - 2020**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0576	0.0363	0.4910	1.6400e-003	0.1677	1.1100e-003	0.1688	0.0445	1.0200e-003	0.0455		163.5065	163.5065	3.7300e-003		163.5997
Total	0.0576	0.0363	0.4910	1.6400e-003	0.1677	1.1100e-003	0.1688	0.0445	1.0200e-003	0.0455		163.5065	163.5065	3.7300e-003		163.5997

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Off-Road	1.1547	11.5873	11.8076	0.0178		0.6565	0.6565		0.6051	0.6051	0.0000	1,709,218 0	1,709,218 0	0.5417		1,722,760 5
Paving	0.2383					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Total	1.3930	11.5873	11.8076	0.0178		0.6565	0.6565		0.6051	0.6051	0.0000	1,709,218 0	1,709,218 0	0.5417		1,722,760 5

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 15 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**3.5 Paving - 2020**

**Mitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0576	0.0363	0.4910	1.6400e-003	0.1677	1.1100e-003	0.1688	0.0445	1.0200e-003	0.0455		163.5065	163.5065	3.7300e-003		163.5997
Total	0.0576	0.0363	0.4910	1.6400e-003	0.1677	1.1100e-003	0.1688	0.0445	1.0200e-003	0.0455		163.5065	163.5065	3.7300e-003		163.5997

**3.6 Architectural Coating - 2020**

**Unmitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	9.7046					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2422	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109		281.4481	281.4481	0.0218		281.9928
Total	9.9467	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109		281.4481	281.4481	0.0218		281.9928

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 16 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**3.6 Architectural Coating - 2020**

**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0423	0.0266	0.3601	1.2000e-003	0.1230	8.1000e-004	0.1238	0.0326	7.5000e-004	0.0334		119.9048	119.9048	2.7300e-003		119.9731
Total	0.0423	0.0266	0.3601	1.2000e-003	0.1230	8.1000e-004	0.1238	0.0326	7.5000e-004	0.0334		119.9048	119.9048	2.7300e-003		119.9731

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Archit. Coating	9.7046					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.2422	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109	0.0000	281.4481	281.4481	0.0218		281.9928
Total	9.9467	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109	0.0000	281.4481	281.4481	0.0218		281.9928

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 17 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

### 3.6 Architectural Coating - 2020

#### Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0423	0.0266	0.3601	1.2000e-003	0.1230	8.1000e-004	0.1238	0.0326	7.5000e-004	0.0334		119.9048	119.9048	2.7300e-003		119.9731
Total	0.0423	0.0266	0.3601	1.2000e-003	0.1230	8.1000e-004	0.1238	0.0326	7.5000e-004	0.0334		119.9048	119.9048	2.7300e-003		119.9731

### 4.0 Operational Detail - Mobile

#### 4.1 Mitigation Measures Mobile

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 18 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.1305	0.5454	1.9713	7.8400e-003	0.6808	5.3900e-003	0.6860	0.1920	6.0100e-003	0.1870		774.8017	774.8017	0.0307		775.5999
Unmitigated	0.1305	0.5454	1.9713	7.8400e-003	0.6808	5.3900e-003	0.6860	0.1920	6.0100e-003	0.1870		774.8017	774.8017	0.0307		775.5999

#### 4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Parking Lot	0.00	0.00	0.00		
Unrefrigerated Warehouse-No Rail	74.87	74.87	74.87	320,868	320,868
<b>Total</b>	<b>74.87</b>	<b>74.87</b>	<b>74.87</b>	<b>320,868</b>	<b>320,868</b>

#### 4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Parking Lot	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0
Unrefrigerated Warehouse-No Rail	16.60	8.40	6.90	59.00	0.00	41.00	92	5	3

#### 4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Parking Lot	0.558976	0.043534	0.209821	0.113949	0.016111	0.005791	0.025447	0.016654	0.001713	0.001553	0.004896	0.000590	0.000966
Unrefrigerated Warehouse-No Rail	0.558976	0.043534	0.209821	0.113949	0.016111	0.005791	0.025447	0.016654	0.001713	0.001553	0.004896	0.000590	0.000966

APPENDICES • CITY OF GARDEN GROVE  
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Page 19 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

## 5.0 Energy Detail

Historical Energy Use: N

### 5.1 Mitigation Measures Energy

Install High Efficiency Lighting

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	5.1700e-003	0.0470	0.0395	2.8000e-004		3.5800e-003	3.5800e-003		3.5800e-003	3.5800e-003		56.4514	56.4514	1.0800e-003	1.0300e-003	56.7869
NaturalGas Unmitigated	5.1700e-003	0.0470	0.0395	2.8000e-004		3.5800e-003	3.5800e-003		3.5800e-003	3.5800e-003		56.4514	56.4514	1.0800e-003	1.0300e-003	56.7869



APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 20 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

**5.2 Energy by Land Use - NaturalGas**

**Unmitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Rail	479,837	6.1700e-003	0.0470	0.0395	2.8000e-004		3.5800e-003	3.5800e-003		3.5800e-003	3.5800e-003		56.4514	56.4514	1.0800e-003	1.0300e-003	56.7869
<b>Total</b>		<b>6.1700e-003</b>	<b>0.0470</b>	<b>0.0395</b>	<b>2.8000e-004</b>		<b>3.5800e-003</b>	<b>3.5800e-003</b>		<b>3.5800e-003</b>	<b>3.5800e-003</b>		<b>56.4514</b>	<b>56.4514</b>	<b>1.0800e-003</b>	<b>1.0300e-003</b>	<b>56.7869</b>

**Mitigated**

	NaturalGas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Rail	479,837	6.1700e-003	0.0470	0.0395	2.8000e-004		3.5800e-003	3.5800e-003		3.5800e-003	3.5800e-003		56.4514	56.4514	1.0800e-003	1.0300e-003	56.7869
<b>Total</b>		<b>6.1700e-003</b>	<b>0.0470</b>	<b>0.0395</b>	<b>2.8000e-004</b>		<b>3.5800e-003</b>	<b>3.5800e-003</b>		<b>3.5800e-003</b>	<b>3.5800e-003</b>		<b>56.4514</b>	<b>56.4514</b>	<b>1.0800e-003</b>	<b>1.0300e-003</b>	<b>56.7869</b>

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 21 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	1.0345	2.4000e-004	0.0263	0.0000		9.0000e-005	9.0000e-005		9.0000e-005	9.0000e-005		0.0562	0.0562	1.5000e-004		0.0599
Unmitigated	1.0345	2.4000e-004	0.0263	0.0000		9.0000e-005	9.0000e-005		9.0000e-005	9.0000e-005		0.0562	0.0562	1.5000e-004		0.0599

## 6.2 Area by SubCategory

### Unmitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1197					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.9124					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Landscaping	2.4600e-003	2.4000e-004	0.0263	0.0000		9.0000e-005	9.0000e-005		9.0000e-005	9.0000e-005		0.0562	0.0562	1.5000e-004		0.0599
Total	1.0345	2.4000e-004	0.0263	0.0000		9.0000e-005	9.0000e-005		9.0000e-005	9.0000e-005		0.0562	0.0562	1.5000e-004		0.0599

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 22 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

## 6.2 Area by SubCategory

### Mitigated

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1197					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	0.9124					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Landscaping	2.4400e-003	2.4000e-004	0.0263	0.0000		9.0000e-005	9.0000e-005		9.0000e-005	9.0000e-005		0.0562	0.0562	1.5000e-004		0.0569
Total	1.0345	2.4000e-004	0.0263	0.0000		9.0000e-005	9.0000e-005		9.0000e-005	9.0000e-005		0.0562	0.0562	1.5000e-004		0.0569

## 7.0 Water Detail

### 7.1 Mitigation Measures Water

Install Low Flow Bathroom Faucet

Install Low Flow Kitchen Faucet

Install Low Flow Toilet

## 8.0 Waste Detail

### 8.1 Mitigation Measures Waste

## 9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	-----------	-------------	-------------	-----------

APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

CalEEMod Version: CalEEMod.2016.3.2

Page 23 of 23

Date: 7/17/2019 1:52 PM

Knott Avenue Warehouse Addition - Orange County, Summer

### 10.0 Stationary Equipment

---

#### Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	------------	-------------	-------------	-----------

#### Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
----------------	--------	----------------	-----------------	---------------	-----------

#### User Defined Equipment

Equipment Type	Number
----------------	--------

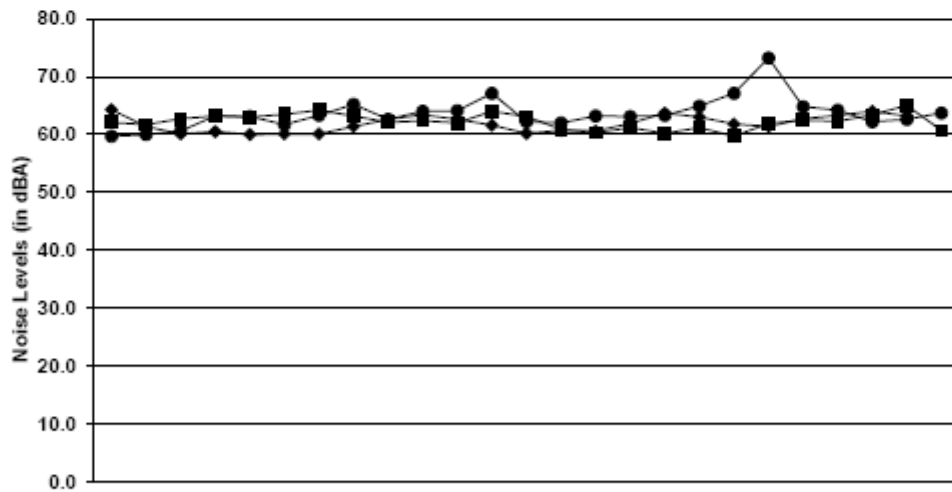
### 11.0 Vegetation

---

# **APPENDIX C**

# **NOISE WORKSHEETS**

Actual Noise Levels During Measurement				Noise Measurement Results in Leq%				
1-25	26-50	51-75	76-100	L%	1-25	26-50	51-75	76-100
63.0	64.3	62.1	59.7	L <sub>99</sub>	71.2	64.3	65.0	73.2
62.6	61.4	61.7	60.0		65.8	64.3	64.2	67.1
63.4	60.1	62.7	60.6	L <sub>90</sub>	64.0	64.0	64.0	67.1
60.6	60.5	63.2	63.2		63.5	63.7	63.5	65.2
61.2	60.0	63.0	63.1		63.4	63.4	63.4	64.9
61.6	60.1	63.5	61.7		63.4	63.3	63.2	64.8
62.3	60.1	64.2	63.3		63.2	63.2	63.2	64.2
62.0	61.4	63.2	65.2		63.2	63.0	63.1	64.1
64.0	62.6	62.1	62.6		63.1	62.7	63.0	64.0
63.4	63.4	62.4	64.0		63.1	62.6	62.7	63.7
62.5	62.6	62.0	64.1		63.1	62.6	62.5	63.3
63.2	61.6	64.0	67.1	L <sub>50</sub>	63.0	61.9	62.4	63.3
63.1	60.2	63.1	62.2		62.9	61.8	62.3	63.2
61.4	60.7	60.9	62.0		62.9	61.6	62.1	63.2
60.8	60.6	60.3	63.2		62.8	61.4	62.1	63.1
62.8	61.9	61.2	63.1		62.6	61.4	62.0	63.1
63.1	63.7	60.2	63.3		62.5	61.4	61.9	62.6
62.9	63.0	61.2	64.9		62.3	60.7	61.7	62.6
61.9	61.8	59.7	67.1		62.0	60.6	61.2	62.2
63.5	61.4	61.9	73.2	L <sub>25</sub>	61.9	60.5	61.2	62.2
63.2	62.7	62.5	64.8		61.6	60.2	60.9	62.0
63.1	63.3	62.3	64.2		61.4	60.1	60.7	61.7
62.9	64.0	63.4	62.2	L <sub>10</sub>	61.2	60.1	60.3	60.6
65.8	63.2	65.0	62.6		60.8	60.1	60.2	60.0
71.2	64.3	60.7	63.7		60.6	60.0	59.7	59.7



### Noise Measurements along the west side of the project site

Source: Blodgett Baylosis Environmental Planning

73.2	99%
71.2	
67.1	
67.1	
65.8	
65.2	
65.0	
64.9	
64.8	90%
64.3	
64.3	
64.2	
64.2	
64.1	
64.0	
64.0	
64.0	
64.0	
63.7	

APPENDICES • CITY OF GARDEN GROVE  
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63.7	
63.5	
63.5	
63.4	
63.4	
63.4	
63.4	75%
63.3	
63.3	
63.3	
63.2	
63.2	
63.2	
63.2	
63.2	
63.2	
63.2	
63.2	
63.1	
63.1	
63.1	
63.1	
63.1	
63.1	
63.0	
63.0	
63.0	
62.9	
62.9	
62.8	
62.7	
62.7	
62.6	50%
62.6	
62.6	
62.6	
62.6	
62.5	
62.5	
62.4	
62.3	
62.3	
62.2	
62.2	
62.1	
62.1	
62.0	
62.0	
62.0	
61.9	
61.9	
61.9	
61.8	
61.7	
61.7	
61.6	
61.6	
61.4	
61.4	
61.4	



APPENDICES • CITY OF GARDEN GROVE  
PROPOSED WAREHOUSE IMPROVEMENT PROJECT • 12821 KNOTT STREET

61.4
61.2
61.2
61.2
60.9
60.8
60.7
60.7
60.6
60.6
60.6
60.5
60.3
60.2
60.2
60.1
60.1
60.1
60.0
60.0
59.7
59.7

6272.0  
62.72

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# **APPENDIX D**

# **TRAFFIC STUDY**



# TRAFFIC IMPACT STUDY

## INDUSTRIAL WAREHOUSE DEVELOPMENT

### 12821 KNOTT STREET

### GARDEN GROVE, CALIFORNIA

#### TABLE OF CONTENTS

TITLE	PAGE
PREPARER'S CERTIFICATION .....	iii
EXECUTIVE SUMMARY .....	iv
INTRODUCTION.....	1
REPORT METHODOLOGY.....	2
Study Approach.....	2
Level of Service Criteria.....	2
EXISTING ROADWAY SYSTEM AND TRAFFIC VOLUMES .....	5
Existing Circulation Network .....	5
Existing Traffic Volumes .....	9
EXISTING 2019 TRAFFIC CONDITIONS .....	9
OPENING YEAR 2021 PRE-PROJECT CONDITIONS .....	13
PROPOSED PROJECT.....	17
Project Description .....	17
Project Trip Generation .....	19
Trip Distribution and Assignment.....	19
2021 CUMULATIVE CONDITIONS WITH PROJECT TRAFFIC.....	23
2021 Post-Project Cumulative Traffic Volumes With Project.....	23
PROJECT IMPACT AND MITIGATION MEASURES.....	26
PARKING DEMAND ANALYSIS.....	30
CONCLUSION .....	30

TABLE OF CONTENTS (Contd.)

TABLES

NO.	TITLE	PAGE
1.	Level of Service Definitions.....	4
2.	Level of Service Criteria.....	5
3.	Existing Conditions (2019) Level of Service Summary.....	9
4.	Trip Generation by Related Projects.....	14
5.	Future 2021 Pre-project Conditions Level of Service Summary.....	16
6.	Trip Generation by 12821 Knott Street Warehouse Project .....	20
7.	Future 2021 Level of Service Summary With Project.....	25
8.	Future 2021 Level of Service Summary With and Without Project.....	27

FIGURES

NO.	TITLE	PAGE
1.	Vicinity Map.....	6
2.	Aerial View of Circulation network .....	7
3.	Existing Lane Configuration at Key Intersections .....	10
4.	Existing 2019 Traffic Volumes at Key Intersections.....	12
5.	Related Project Location and Traffic Volumes.....	14
6.	Future 2021 Pre-Project Traffic Volumes.....	15
7.	Project Site Plan.....	18
8.	Percentages of Project Related Trip Distribution .....	21
9.	Distribution of Project Related Traffic .....	22
10.	Future 2021 Post-project Cumulative Traffic Volumes .....	24
11.	Project Traffic at Driveways .....	29

TECHNICAL APPENDIX

PREPARER'S CERTIFICATION

**TRAFFIC IMPACT STUDY**  
**INDUSTRIAL WAREHOUSE DEVELOPMENT**  
**12821 KNOTT STREET**  
**GARDEN GROVE, CALIFORNIA**

This is to certify that the above titled traffic study has been prepared under the supervision of Patrick B. Lang, P.E, a Professional Traffic Engineer, registered in the State of California.



\_\_\_\_\_  
Patrick B. Lang, P.E,  
Registration #: TR-875

\_\_\_\_\_  
10-8-2019  
Date

\_\_\_\_\_  
Professional Engineer's Stamp

# TRAFFIC IMPACT STUDY

## INDUSTRIAL WAREHOUSE DEVELOPMENT

### 12821 KNOTT STREET

#### GARDEN GROVE, CALIFORNIA

### EXECUTIVE SUMMARY

The purpose of this traffic impact analysis is to evaluate the impacts on traffic circulation system due to the proposed Development of 12821 Knott Street Industrial Warehouse in the City of Garden Grove, California. The combined floor area of the project's proposed buildings will be 165,171 square feet (including proposed 45,335 square feet new building addition to existing 119,836 square feet NextLevel Sports Goods building) of which a total of 20,000 square feet will be for ancillary office uses. The project site is located on the west side of Knott Street, adjacent to the westbound on-ramp to SR-22 freeway.

The project site consists of 7.83 acres of commercial land. Access to the proposed project will be provided by two existing driveways located on the west side of Knott Street. The project will provide a total of 181 parking spaces in addition to a total of 32 spaces to be used for truck docking/loading and parking.

The following are the key objectives of the study:

- Documentation of existing 2019 traffic conditions in the vicinity of the site.
- Determination of Project Opening Year (2021) traffic conditions and level of service (LOS) without and with the project.
- Determination of project related impacts to the circulation system, and
- Identification of mitigation measures to reduce any significant impacts to a level of insignificance.

The study included evaluation of the following eight key intersections in the general vicinity of the site:

- Knott Street and Stanford Avenue (Signalized)
- Knott Street and SR-22 Westbound On-ramp (Signalized)
- Knott Street and Lampson Avenue (Signalized)
- Knott Street and Garden Grove Boulevard (Signalized)
- Garden Grove Boulevard and SR-22 Westbound Off-ramp (Signalized)
- Garden Grove Boulevard and SR-22 Eastbound Off-ramp (Signalized)



- Knott Street and Northerly Project Driveway (Unsignalized)
- Knott Street and Southerly Project Driveway (Unsignalized)

The 12821 Knott Street Industrial Warehouse project is estimated to generate a net total of approximately 324 new passenger car equivalent (PCE) trips per day, with 36 trips during the AM peak hour (28 inbound and 8 outbound), and 42 trips during the PM peak hour (11 inbound and 31 outbound).

Surface parking will consist of 181 parking spaces and will adequately satisfy project's parking requirement of 165 spaces per parking code of the City. Of the total, 4 parking spaces will be ADA-compliant, and 17 spaces will be designated for electrical vehicle charging and parking purposes.

Based on the results of the traffic impact analysis, the proposed 12821 Knott Street Warehouse project would not significantly impact any of the key intersections analyzed in the surrounding roadway system. Except for the intersection of Knott Street and Garden Grove Boulevard, all the study intersections would continue to operate at an acceptable level of service (i.e., at LOS A through D) during the AM and PM peak hours. The intersection of Knott Street and Garden Grove Boulevard will operate at a deficient LOS F during the AM peak hours. However, the project's off-site traffic impact would not be considered significant at any of the study intersections based on increase in operational delay (or V/C ratio) and level of service expected after the project. Therefore, no off-site intersection mitigation measures would be necessary for the development of this project.

The low turn volume at the at the existing northerly and southerly project driveways is not expected to cause any queuing at the driveways. Adequate sight distance is available from the driveways along the north and south directions on Knott Street.

The southerly project driveway on Knott Street should be striped for right turn in and out movement only, with a right-arrow pavement marking. A right-turn arrow sign along with a Stop sign should also be posted at this driveway for exiting vehicles.

# **TRAFFIC IMPACT STUDY**

## **INDUSTRIAL WAREHOUSE DEVELOPMENT**

### **12821 KNOTT STREET**

#### **GARDEN GROVE, CALIFORNIA**

## **INTRODUCTION**

The purpose of this traffic impact analysis is to evaluate the impacts on traffic circulation system due to the proposed Development of 12821 Knott Street Industrial Warehouse in the City of Garden Grove, California. The combined floor area of the project's proposed buildings will be 165,171 square feet (including proposed 45,335 square feet new building addition to existing 119,836 square feet NextLevel Sports Goods building) of which a total of 20,000 square feet will be for ancillary office uses. The project site is located on the west side of Knott Street, adjacent to the westbound on-ramp to SR-22 freeway.

The project site consists of 7.83 acres of commercial land. Access to the proposed project will be provided by two existing driveways located on the west side of Knott Street. The project will provide a total of 181 parking spaces in addition to a total of 32 spaces to be used for truck docking/loading and parking.

The following are the key objectives of the study:

- Documentation of existing 2015-9 traffic conditions in the vicinity of the site.
- Determination of Project Opening Year (2021) traffic conditions and level of service (LOS) without and with the project.
- Determination of project related impacts to the circulation system, and
- Identification of mitigation measures to reduce any significant impacts to a level of insignificance.

The report provides data regarding existing operational characteristics of traffic in the general vicinity of the project, as well as an analysis of the proposed project's impacts to these existing and anticipated future traffic conditions. The report identifies and quantifies the impacts at key intersections and attempts to address the most appropriate and reasonable mitigation strategies at any impacted intersections which are identified to be operating at a deficient level of service.

This report investigates existing 2019 and anticipated future 2021 opening year traffic operating conditions. The study has been prepared per City of Garden Grove's Traffic Impact Study Guidelines.

## REPORT METHODOLOGY

### STUDY APPROACH

This report approaches the task of identifying and quantifying the anticipated impacts to the circulation system with a structured, "building block" methodology. The first step is to inventory and quantify existing conditions. Upon this foundation of fact, a travel forecast procedure, based on physical and operational characteristics of road network and manual observation of peak hour traffic movements, is structured for the entire project area and validated manually, by adjusting any traffic flow inconsistency, to produce reliable output, verifiable with the existing data. With the project traffic calculated and distributed onto the study area, at the anticipated opening year of the project in 2021, the travel forecast methodology is utilized to assess the project's traffic impacts at that time. The methodology utilizes a growth factor for existing traffic (based upon regional guidelines), traffic from any other projects in the project vicinity, as well as the traffic anticipated to be introduced from the proposed project to determine estimated cumulative traffic volume and level-of-service at intersections for the future target year.

The trip generation estimate is based on the 10<sup>th</sup> edition of Institute of Transportation Engineers (ITE)'s "Trip Generation" manual. Research and interviews have been conducted with local and regional agencies (namely, community development department of the City of Garden Grove) in order to identify and characterize the most probable trip distribution patterns within the study area.

Project impacts are identified for the future year 2021 conditions. At those intersections operating deficiently (e.g., at a level worse than LOS D) and significantly impacted by the proposed project, a mitigation measure is identified and applied, and a before-and-after mitigation analysis conducted.

### LEVEL OF SERVICE CRITERIA

Roadway operations and the relationship between capacity and traffic volumes are generally expressed in terms of levels of service (LOS). Levels of service are defined as LOS A through F. These levels recognize that, while an absolute limit exists as to the amount of traffic traveling through a given intersection (the absolute capacity), the conditions that motorists experience deteriorate rapidly as traffic approaches the absolute capacity. Under such conditions, congestion as well as delay is experienced. There is generally instability in the traffic flow, which means that relatively small incidents (e.g., momentary engine stall) can cause considerable fluctuations in speeds and delays. This near-capacity situation is labeled LOS E. Beyond LOS E, capacity is exceeded, and

arriving traffic will exceed the ability of the intersection to accommodate it. An upstream queue will form and continue to expand in length until the demand volume reduces.

A complete description of the meaning of level of service can be found in the Highway Research Board's Special Report 209 titled *Highway Capacity Manual*. The manual establishes the definitions for levels of service A through F. Brief descriptions of the six levels of service, as extracted from the manual, are listed in **Table 1**. The thresholds of level of service for signalized and unsignalized intersections are shown in **Table 2**.

LOS D is the minimum threshold at all key intersections in the urbanized areas. The traffic study guidelines require that traffic mitigation measures be identified to provide for operations at the minimum threshold levels.

For the study area intersections (except those under sole jurisdiction of the City of Garden Grove), the SYNCHRO computer software has been utilized to perform intersection levels of service (LOS) analysis. The 2010 Highway Capacity Manual (HCM) operational delay method was used to determine level of service (LOS) for signalized intersections. Levels of service are presented for the entire intersection, consistent with the local and regional agency policies.

In HCM analysis, a lane capacity volume of 1,700 vehicles per hour per through lane, and 1,600 vehicles per hour per left-turn or right-turn lane was used. The peak hour factor for intersections, as calculated from traffic counts, was used to increase hourly totals. This ensures that peak 15-minute traffic volumes are used in level p service analysis.

While the level of service concept and analysis methodology provides an indication of the performance of the entire intersection, the single letter grade A through F cannot describe specific operational deficiencies at intersections. Progression, queue formation, and left-turn storage are examples of the operational issues that affect the performance of an intersection, but do not factor into the strict calculation of level of service. However, the SYNCHRO software does provide an output that quantifies operational features at intersections, such as vehicle clearance, queue formation, and left-turn storage requirements. In addition, it provides a volume to capacity (V/C) ratio that is more meaningful when identifying a project's impact and developing mitigation measures. Therefore, this V/C ratio information is also included in addition to delay information in describing an intersection's operational performance under various scenarios.

For the intersections under sole jurisdiction of the City of Garden Grove, the Intersection Capacity Utilization (ICU) procedure has been utilized to determine intersection levels of service. Levels of service are presented for the entire intersection, consistent with the local and regional agency policies.

**TABLE 1  
 LEVEL OF SERVICE DEFINITIONS**

LOS	Description
A	No approach phase is fully utilized by traffic and no vehicle waits longer than one red indication. Typically, the approach appears quite open, turns are made easily and nearly all drivers find freedom of operation.
B	This service level represents stable operation, where an occasional approach phase is fully utilized and a substantial number are approaching full use. Many drivers begin to feel restricted within platoons of vehicles.
C	This level still represents stable operating conditions. Occasionally, drivers have to wait through more than one red signal indication, and backups may develop behind turning vehicles. Most drivers feel somewhat restricted.
D	This level encompasses a zone of increasing restriction approaching instability at the intersection. Delays to approaching vehicles may be substantial during short peaks within the peak period; however, enough cycles with lower demand occur to permit periodic clearance of developing queues, thus preventing excessive backups.
E	Capacity occurs at the upper end of this service level. It represents the most vehicles that any particular intersection can accommodate. Full utilization of every signal cycle is seldom attained no matter how great the demand.
F	This level describes forced flow operations at low speeds, where volumes exceed capacity. These conditions usually result from queues of vehicles backing up from restriction downstream. Speeds are reduced substantially and stoppages may occur for short or long periods of time due to congestion. In the extreme case, both speed and volume can drop to zero.

**TABLE 2  
LEVEL OF SERVICE CRITERIA**

Level of Service	Two-Way or All-Way Stop Controlled Intersection		Signalized Intersection Average Delay per Vehicle (sec)	
	Average Delay per Vehicle (sec)	Volume to Capacity (V/C Ratio)	Average Delay per Vehicle (sec)	Volume to Capacity (V/C Ratio)
A	0 - 10	0 – 0.60	< or = 10	0 – 0.60
B	> 10 - 15	> 0.60 – 0.70	> 10 - 20	> 0.60 – 0.70
C	> 15 - 25	> 0.70 - 0.80	> 20 - 35	> 0.70 - 0.80
D	> 25 - 35	> 0.80 – 0.90	> 35 - 55	> 0.80 – 0.90
E	> 35 - 50	> 0.90 – 1.00	> 55 - 80	> 0.90 – 1.00
F	> 50	> 1.00	> 80 or a V/C ratio equal or greater than 1.0	> 1.00

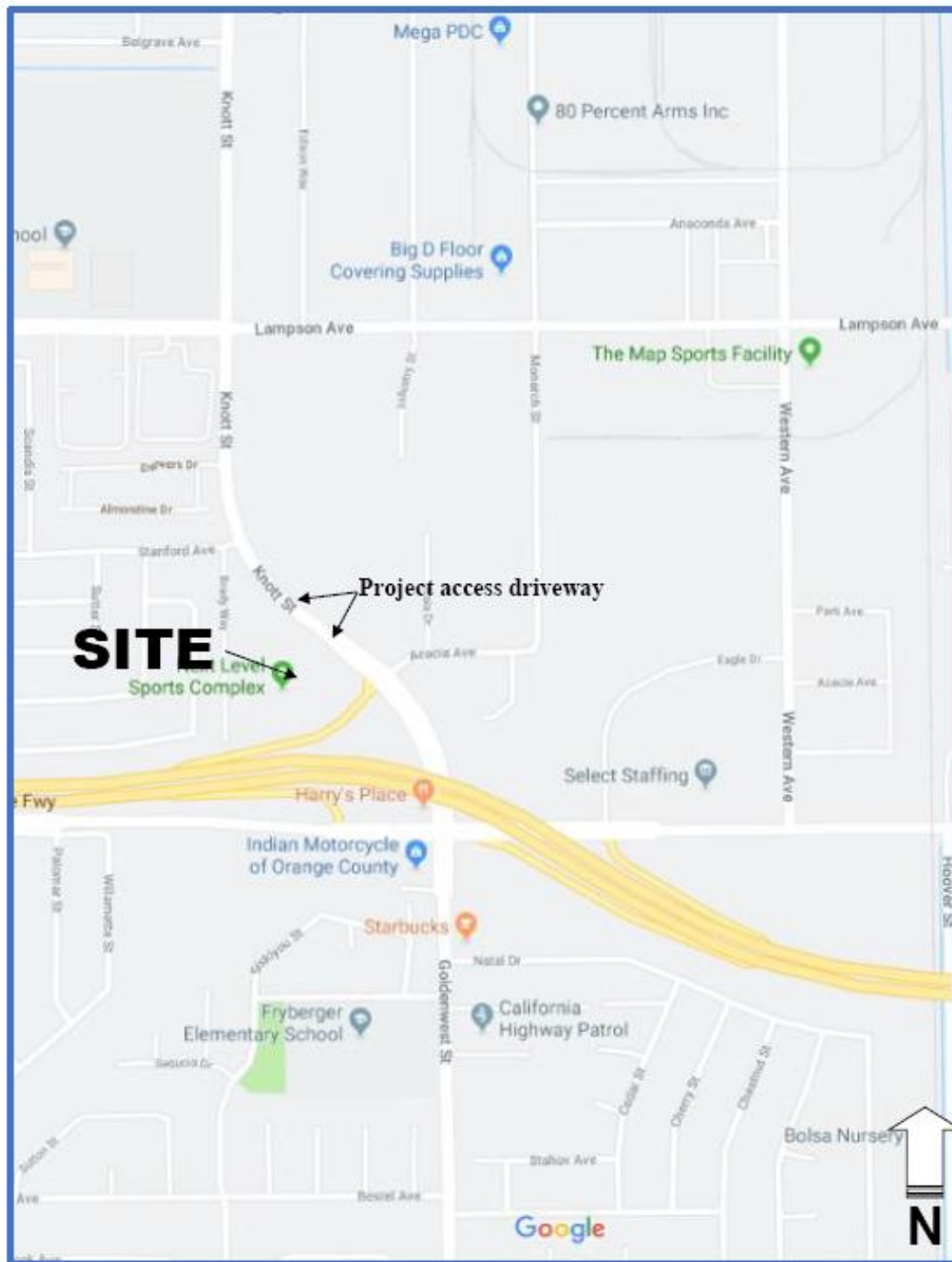
## EXISTING ROADWAY SYSTEM AND TRAFFIC VOLUMES

### EXISTING CIRCULATION NETWORK

In order to assess future operating conditions both with and without the proposed project, existing traffic conditions within the study area were evaluated. **Figure 1**, Vicinity Map, illustrates the existing circulation network within the study area as well as the location of the proposed project. **Figure 2** shows an aerial view of the circulation network. Major east-west regional access to the site is provided by Lampson Avenue, Garden Grove Boulevard and the Garden Grove Freeway (SR-22). Major north-south regional access is provided by Knott Street.

The project would provide two access driveways on Knott Street – the northerly driveway will be full-access driveway while the southerly driveway will for right-turn in and right-turn out movements only. The following paragraphs provide a brief description of the existing roadways which comprise the circulation network of the study area, providing the majority of both regional and local access to the project.

**FIGURE 1: VICINITY MAP**



Garden Grove 12821 Knott St Industrial Warehouse: Traffic Impact Analysis (TIA) Report  
October 8, 2019

Page 6



**FIGURE 2: AERIAL VIEW OF CIRCULATION NETWORK**



Garden Grove 12821 Knott St Industrial Warehouse: Traffic Impact Analysis (TIA) Report  
October 8, 2019

Page 7



**KNOTT STREET.** Knott Street is a north-south major arterial street in the vicinity of the project, with two travel lanes in each direction. Directional travel is separated by striped two-way turn lane along the center as well as raised median islands near the major intersections. The street is approximately 90 feet wide and posted with a speed limit of 40 miles per hour. Most of the key intersections along Knott Street, including the intersections at Garden Grove Boulevard, Stanford Street and Lampson Avenue, are signalized. Exclusive left-turn lanes are provided at major intersections. On-street parking is not permitted along the sides of the street. Estimated average daily volume on Valley Boulevard in the vicinity is approximately 25,970 vehicles per day.

**LAMPSON AVENUE.** Lampson Avenue is a major east-west arterial street with two travel lanes in each direction. Directional travel is separated by striped two-way turn lanes as well as raised median islands along the center. The street is approximately 60 feet wide and posted with a speed limit of 40 miles per hour. Most of the key intersections along Lampson Avenue are signalized. Parking is permitted along the sides of the street. The average daily volume on Lampson Avenue is approximately 14,460 vehicles per day.

**GARDEN GROVE BOULEVARD.** Garden Grove Boulevard is a major east-west arterial street in the project area, with two travel lanes in each direction. Directional travel is separated by striped two-way turn lanes as well as raised median islands along the center. The street is approximately 76 feet wide and posted with a speed limit of 45 miles per hour. Most intersections of Garden Grove Boulevard are signalized. Parking is not permitted along the sides of the street. The average daily volume on Garden Grove Boulevard is approximately 30,580 vehicles per day.

## **EXISTING TRAFFIC VOLUMES**

For the purpose of evaluating existing operating conditions as well as future operating conditions with and without the proposed project, the study area was carefully selected in accordance with local traffic study guidelines. Manual turning movement counts for the selected intersections were collected in the field for the morning and evening peak periods during the month of September 2019. The intersections were counted during the peak hours of 7:00 to 9:00 AM and 4:00 to 6:00 PM. It was determined that the following key intersections would be analyzed in the study:

- Knott Street and Stanford Avenue (Signalized)
- Knott Street and SR-22 Westbound On-ramp (Signalized)
- Knott Street and Lampson Avenue (Signalized)
- Knott Street and Garden Grove Boulevard (Signalized)
- Garden Grove Boulevard and SR-22 Westbound Off-ramp (Signalized)
- Garden Grove Boulevard and SR-22 Eastbound Off-ramp (Signalized)
- Knott Street and Northerly Project Driveway (Unsignalized)
- Knott Street and Southerly Project Driveway (Unsignalized)

These intersections have been selected to study project's potential impacts based on estimated contribution of traffic from project within a two-mile radius of the site.

Existing lane configurations at the key intersections are shown in **Figure 3**.

Existing turning movement counts for AM and PM peak hour conditions are shown in **Figure 4**. Detailed turning movement counts are included in the Technical Appendix of this report.

## EXISTING 2019 TRAFFIC CONDITIONS

Year 2019 existing traffic conditions were evaluated using the 2010 Highway Capacity Manual (HCM) operational delay method of level of service (LOS) analysis for signalized intersections with partial jurisdiction of State highways. The Synchro traffic analysis software was used in these analyses. For City's intersections, the Intersection Capacity Utilization method was used for level of service (LOS) analysis. **Table 3** presents existing condition intersection level of service (LOS) analysis summary. Detailed calculations relating to the study intersections are included in the Technical Appendix of this report.

Based on the results of this analysis, except for the intersection of Knott Street and Garden Grove Boulevard, all of the study intersections are operating at an acceptable LOS D or better during the AM and PM peak hours, as shown in **Table 3**.

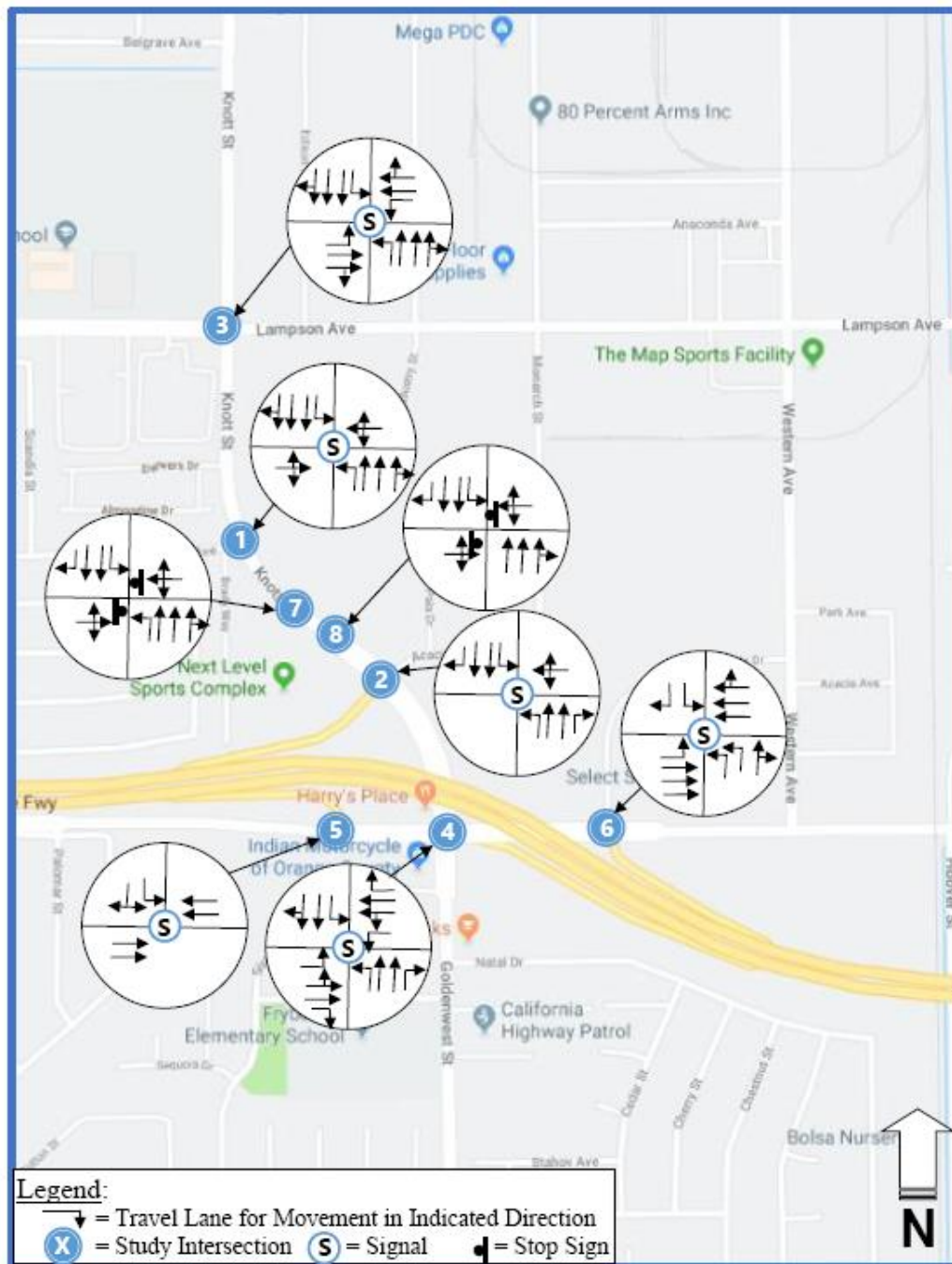
**TABLE 3**  
**EXISTING CONDITIONS (2019) LEVEL OF SERVICE SUMMARY**

9

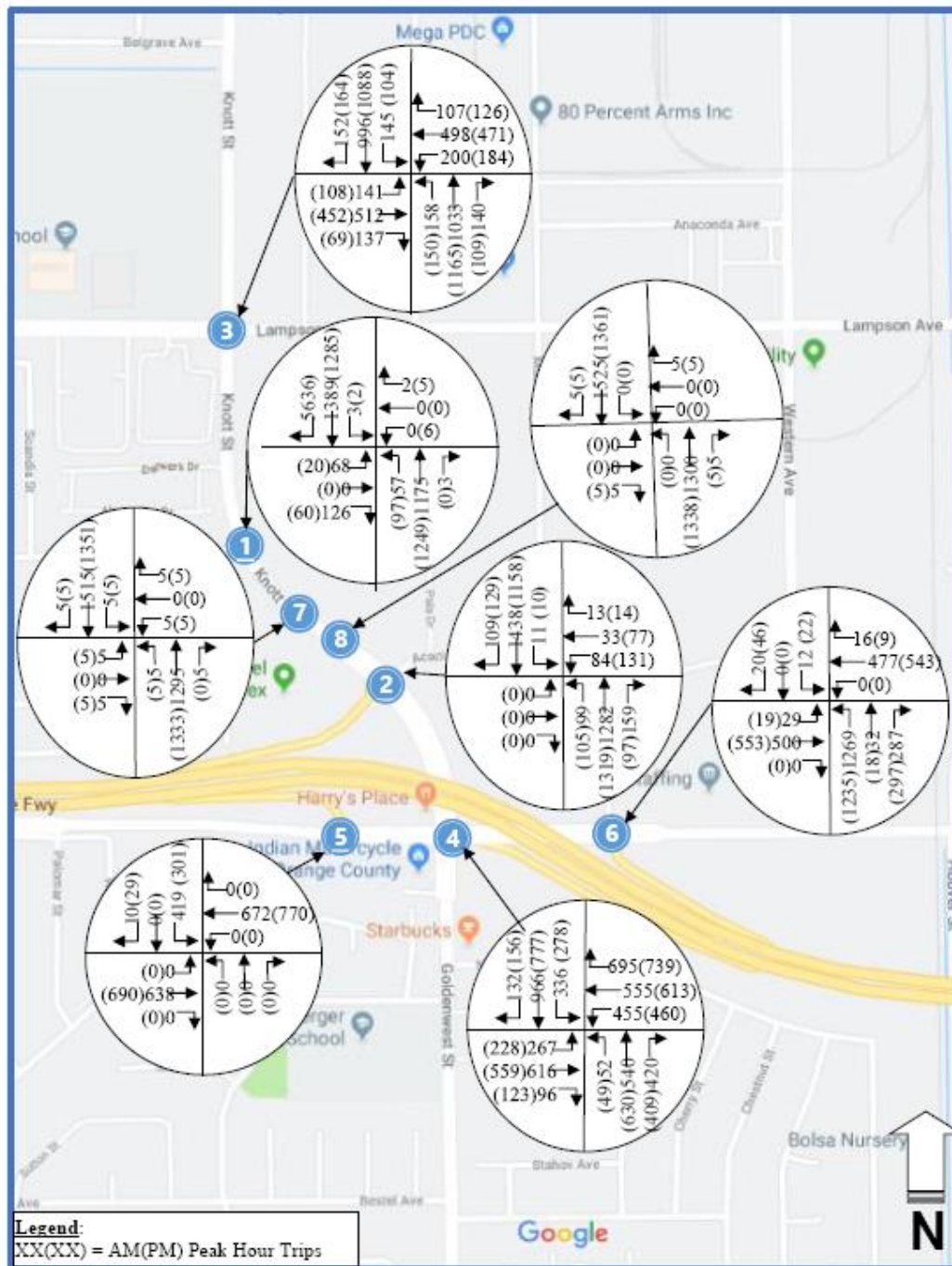
Intersection	Peak Hour	Existing 2019 Conditions	
		LOS	Delay, Sec or V/C Ratio
1. Knott Street and Stanford Avenue (Signalized)*	AM	A	0.558
	PM	A	0.486
2. Knott Street and SR-22 W/B On-ramp (Signalized)	AM	B	11.6
	PM	B	13.6
3. Knott Street and Lampson Avenue (Signalized)*	AM	C	0.766
	PM	C	0.732
4. Knott Street and Garden Grove Bl (Signalized)	AM	F	83.7
	PM	D	52.4
5. Garden Grove Bl and SR-22 E/B Off-ramp (Signalized)	AM	B	10.5
	PM	B	10.7
6. Garden Grove Bl and SR-22 W/B Off-ramp (Signalized)	AM	C	26.9
	PM	C	24.0
7. Knott Street and Northerly Project (Unsignalized)*	AM	A	0.589
	PM	A	0.538
8. Knott Street and Southerly Project (Unsignalized)*	AM	A	0.583
	PM	A	0.532

\* LOS and V/C ratio determined using ICU Method

**FIGURE 3: EXISTING LANE CONFIGURATION AT KEY INTERSECTIONS**



**FIGURE 4: EXISTING 2019 TRAFFIC VOLUMES AT KEY INTERSECTIONS**





## OPENING YEAR 2021 PRE-PROJECT CONDITIONS

A 1.0 percent per year annual traffic growth rate was applied to existing traffic volumes to create a 2021 base condition (i.e., a factor of 1.02 was applied to 2019 volumes to obtain 2021 base traffic volumes due to ambient growth). This annual traffic growth rate accounts for the population growth within the study area and traffic from any other minor projects to be developed in the study area.

Per City's records, there are four (4) other related projects located within two-mile radius of the project that will contribute to cumulative traffic volumes with the development of this project. The list of these related projects has been obtained from the City's planning division's online "Open Planning Cases" map.

The location of the related projects is shown in **Figure 5**.

Trip generation estimates for the related projects were developed by using nationally recognized and recommended rates contained in "Trip Generation" manual, 10th edition, published by the Institute of Transportation Engineers (ITE).

**Table 4** shows a summary of trip generation estimates for the related project. It is estimated that the related project will generate approximately 680 trips per average day (340 inbound and 340 outbound). The average weekday net new peak hour trips will be approximately 71 trips during the AM peak hour (39 inbound and 32 outbound), and 63 trips during the PM peak hour (37 inbound and 26 outbound).

**Figure 5** also shows related project's trips distributed at the study intersections.

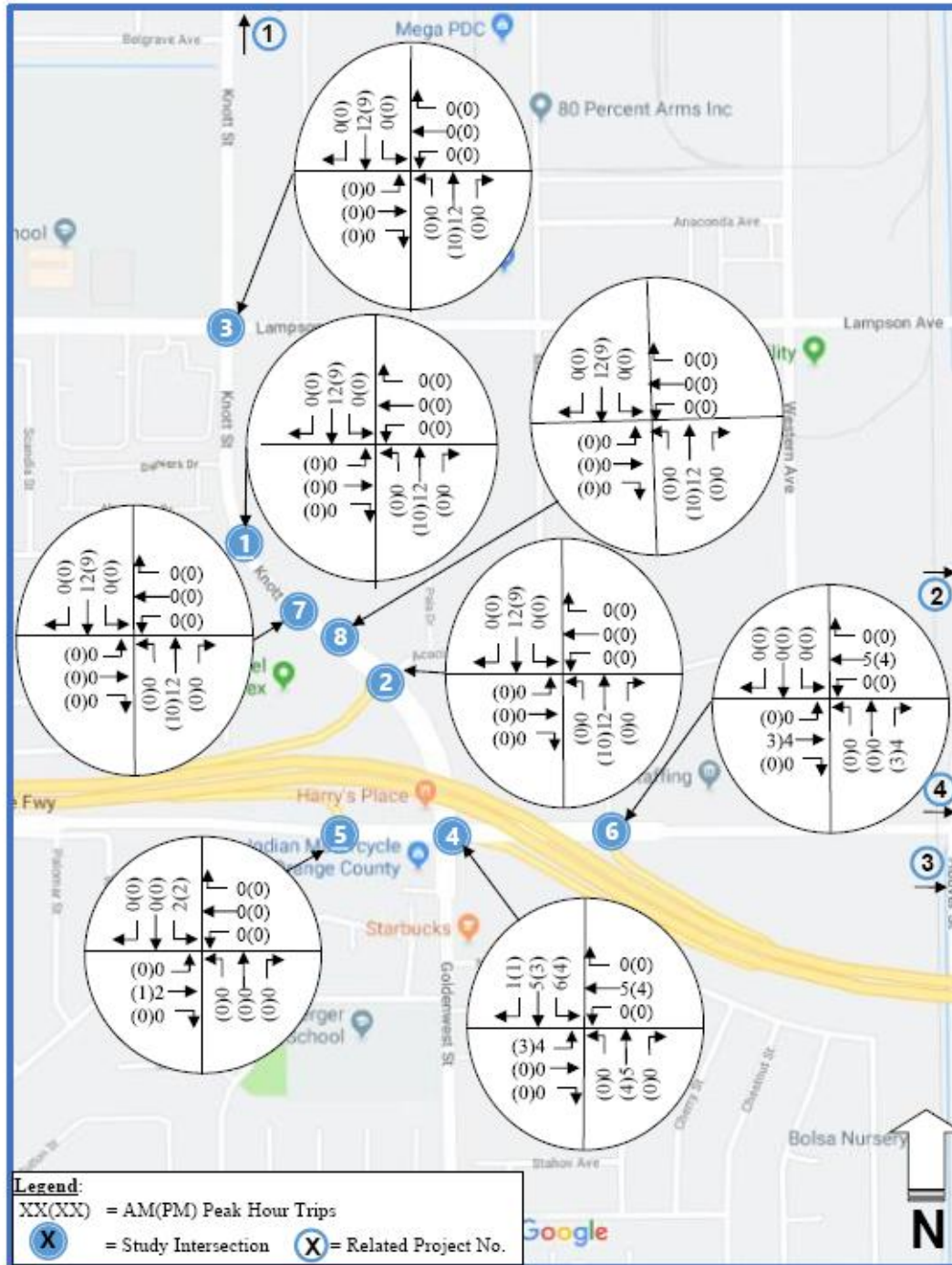
The projected peak hour traffic volumes from this related project were added to existing traffic volumes with ambient growth at the study intersections to represent a 2021 pre-project traffic condition for the AM and PM peak hours. **Figure 6** shows future 2021 pre-project traffic volumes at the study intersections.

This pre-project traffic condition was evaluated using the 2010 Highway Capacity Manual (HCM) operational delay method of level of service (LOS) analysis. For the intersections under the sole jurisdiction of the City of Garden Grove, the Intersection Capacity Utilization (ICU) method of level of service (LOS) was used. The LOS and delay or V/C ratios for the study intersections under 2021 pre-project conditions (without project) are shown in **Table 5**.

Detailed calculations relating to the study intersections are included in the Technical Appendix of this report.

As the results indicate, except for the intersection of Knott Street and Garden Grove Boulevard, all the study intersections will continue to operate at a Level of Service (LOS) D or better (i.e., within the range of acceptable thresholds of LOS A through D) during the AM and PM peak hours.

**FIGURE 5: RELATED PROJECTS LOCATION AND DISTRIBUTION OF TRIPS**



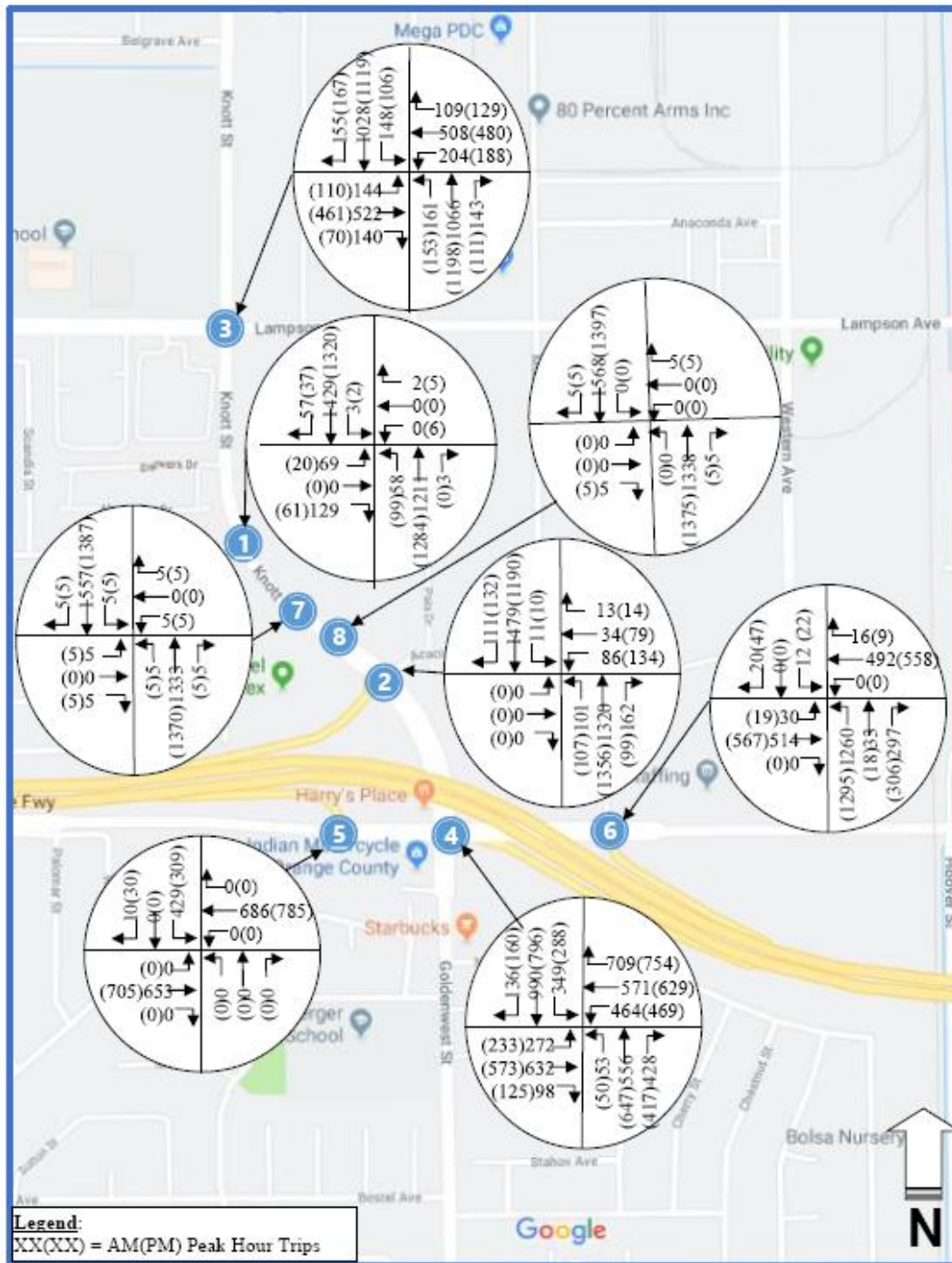
**TABLE 4  
 TRIP GENERATION BY RELATED PROJECTS**

Land Use (ITE Code)	Size & Unit	Trip Generation Rate							Average Traffic Volume						
		Daily Total	AM Peak Hour			PM Peak Hour			Daily Total	AM Peak Hour			PM Peak Hour		
			Total	%IN	%OUT	Total	%IN	%OUT		IN	OUT	Total	IN	OUT	Total
Related Project 1: 12072 Knott St, Garden Grove, CA – Increase of enrollment at Existing Learning Center															
520 Elem. School	34 Students	1.29	0.45	55%	45%	0.28	45%	55%	44	8	7	15	4	5	9
Related Project 2: 12931 Louise St, Garden Grove, CA – Development of 4 Apartment Units in two stories															
220 M-Fam Apts	4 DU	7.32	0.46	23%	77%	0.56	63%	37%	30	1	1	2	1	1	2
Related Project 3: 8562 Garden Grove Bl, Garden Grove, CA – 4,500 square feet Yigai Korean Restaurant															
931 Qual. Restmnt	4.500 KSF	112.2	10.00	55%	45%	9.78	61%	39%	506	25	20	45	27	17	44
Related Project 4: 8851 Garden Grove Bl, Garden Grove, CA – 882 square feet Sushi Warrior Restaurant															
931 Qual. Restmnt	0.882 KSF	112.2	10.00	55%	45%	9.78	61%	39%	100	5	4	9	5	3	8
Total Trips									680	39	32	71	37	26	63

Note: All rates are average rates.  
 DU = Dwelling Units  
 KSF Kilo (1,000) Square Feet

[Ref: Institute of Transportation Engineer's (ITE) "Trip Generation", 10th Edition, 2017]

**FIGURE 6: FUTURE 2021 PRE-PROJECT TRAFFIC VOLUMES**





**TABLE 5**  
**2021 PRE-PROJECT CONDITIONS LEVEL OF SERVICE SUMMARY**

Intersection	Peak Hour	Future 2021 Conditions Without Project	
		LOS	Delay, Sec or V/C
1. Knott Street and Stanford Avenue (Signalized)*	AM	A	0.570
	PM	A	0.495
2. Knott Street and SR-22 W/B On-ramp (Signalized)	AM	B	12.1
	PM	B	14.1
3. Knott Street and Lampson Avenue (Signalized)*	AM	C	0.782
	PM	C	0.747
4. Knott Street and Garden Grove Bl (Signalized)	AM	F	84.6
	PM	D	54.1
5. Garden Grove Bl and SR-22 E/B Off-ramp (Signalized)	AM	B	11.5
	PM	B	10.8
6. Garden Grove Bl and SR-22 W/B Off-ramp (Signalized)	AM	C	27.6
	PM	C	24.3
7. Knott Street and Northerly Project (Unsignalized)*	AM	A	0.603
	PM	A	0.549
8. Knott Street and Southerly Project (Unsignalized)*	AM	A	0.596
	PM	A	0.543

\* LOS and V/C ratio determined using ICU Method

## PROPOSED PROJECT

### PROJECT DESCRIPTION

The purpose of this traffic impact analysis is to evaluate the impacts on traffic circulation system due to the proposed Development of 12821 Knott Street Industrial Warehouse in the City of Garden Grove, California. The combined floor area of the project's proposed buildings will be 165,171 square feet (including proposed 45,335 square feet new building addition to existing 119,836 square feet NextLevel Sports Goods building) of which a total of 20,000 square feet will be for ancillary office uses. The project site is located on the west side of Knott Street, adjacent to the westbound on-ramp to SR-22 freeway.

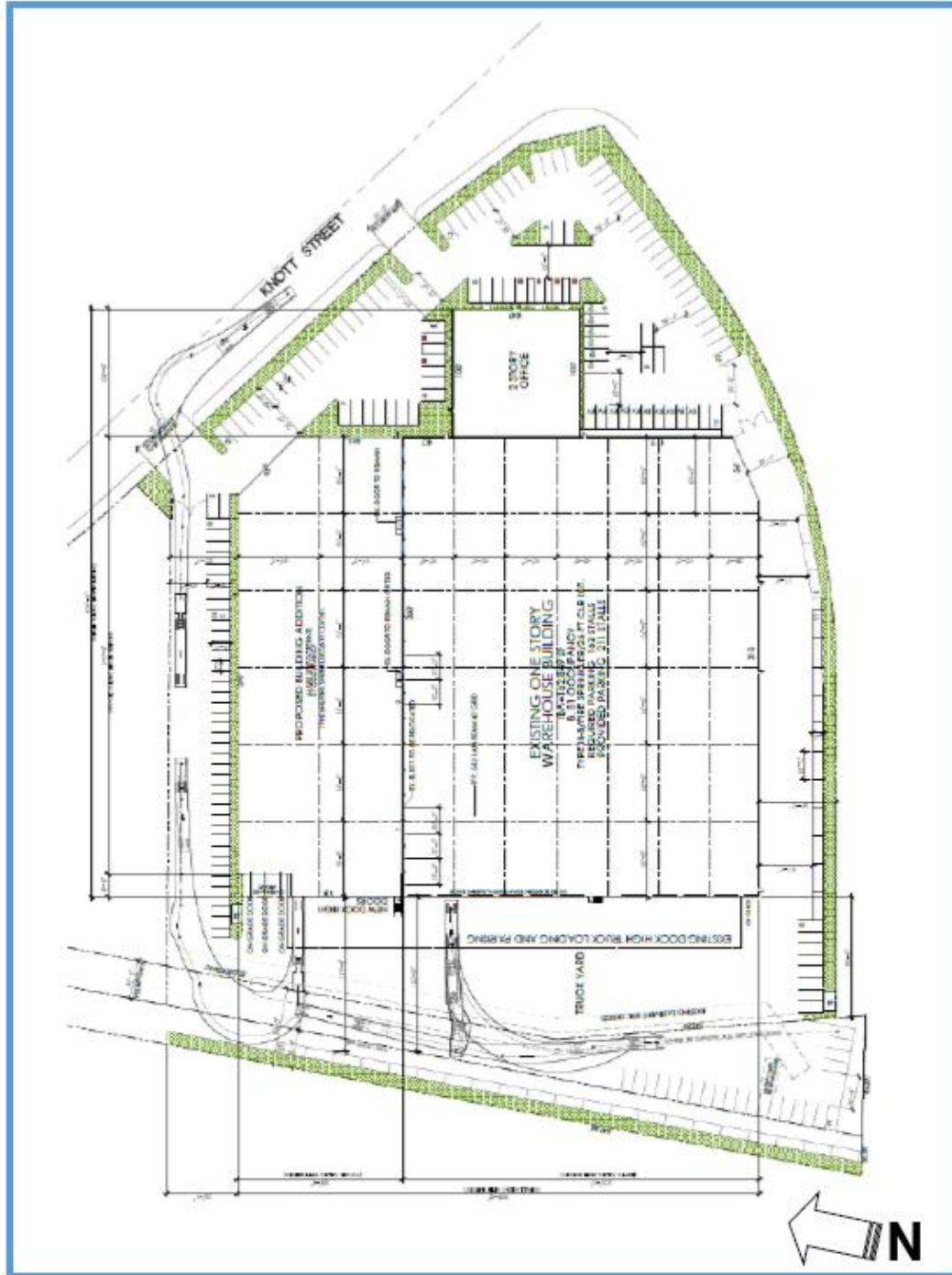
The project site consists of 7.83 acres of commercial land. Access to the proposed project will be provided by two existing driveways located on the west side of Knott Street. The project will provide a total of 181 parking spaces in addition to a total of 32 spaces to be used for truck docking/loading and parking.

Vehicular access (personal vehicles and trucks) will be provided by two existing driveways on Knott Street. The northerly driveway will be 40 feet wide and will provide full access for vehicles and trucks. The southerly driveway will be 26 feet wide and will provide access by right-turn in and right-turn out only movements for personal vehicles. The driveways will accommodate two lanes, one lane for ingress and one lane for egress. The internal drive aisles will connect the two driveways.

The project will provide a total of 181 parking spaces in addition to a total of 32 spaces to be used for truck docking/loading and parking.

**Figure 7** shows the proposed site plan for the project.

**FIGURE 7: PROJECT SITE PLAN**



Garden Grove 12821 Knott St Industrial Warehouse: Traffic Impact Analysis (TIA) Report  
October 8, 2019

Page 18

## PROJECT TRIP GENERATION

In order to accurately assess future traffic conditions with the proposed project, trip generation estimates were developed for the project. Trip generation rates for the project are based on the nationally recognized recommendations contained in "Trip Generation" manual, 9th edition, published by the Institute of Transportation Engineers (ITE). ITE also provides information on percentage of truck traffic associated with this type of land use. Approximately 20% of all vehicular trips generated by a warehouse are assumed to be truck trips. A truck trip is generally equivalent to 2.5 passenger car trips on an average. Therefore, a 2.5 factor was applied to the number of truck trips to estimate passenger car equivalent (PCE) trips generated by the trucks.

**Table 6** shows a summary of trip generation estimates for the project. It is estimated that the project will generate approximately 374 net PCE trips per average day (187 inbound and 187 outbound). The average weekday net new peak hour PCE trips will be approximately 36 trips during the AM peak hour (28 inbound and 8 outbound), and 42 trips during the PM peak hour (11 inbound and 31 outbound).

## TRIP DISTRIBUTION AND ASSIGNMENT

Arrival and departure distribution patterns for project-generated traffic were estimated based upon a review of circulation patterns within the study area network and regional traffic generation and attraction characteristics.

**Figure 8** depicts the regional trip distribution percentages to and from the site.

**Figure 9** depicts project traffic volumes at key circulation locations during the AM and PM peak hours.

**TABLE 6**  
**12821 KNOTT STREET WAREHOUSE PROJECT**

ITE Code/ Land Use	Size & Unit	Trip Generation Rate <sup>1</sup>							Average Traffic Volume						
		Daily Total	AM Peak Hour			PM Peak Hour			Daily Total	AM Peak Hour			PM Peak Hour		
			Total	%IN	%OUT	Total	%IN	%OUT		IN	OUT	Total	IN	OUT	Total
Total Vehicle Trip Generation															
150 Warehouse	165,171 KSF	1.74	0.17	77%	23%	0.19	27%	73%	288	22	6	28	8	23	31
Vehicle Mix <sup>2</sup> and Passenger Car Equivalent (PCE) Trips															
Vehicle Mix	Trip %	Vehicle Trips							PCE trips						
		Daily Total	AM Peak Hour			PM Peak Hour			Daily Total	AM Peak Hour			PM Peak Hour		
			IN	OUT	Total	IN	OUT	Total		IN	OUT	Total	IN	OUT	Total
Car (PCE=1.0)	80.00%	230	18	5	23	6	18	24	230	18	5	23	6	18	24
2/3/4-axle Truck (PCE=2.5)	20%	58	4	1	5	2	5	7	144	10	3	13	5	13	18
TOTAL TRIPS IN PCE:									374	28	8	36	11	31	42

Note: All trip rates are average rates per Institute of Transportation Engineers (ITE)'s publication manual "Trip Generation", 10<sup>th</sup> Edition, 2017.

<sup>1</sup> Trip rates for Warehouse (ITE Code 150) from Institute of Transportation Engineers (ITE), "Trip Generation" manual, 10th Edition, 2017

<sup>2</sup> Vehicle mix percentages for Heavy Warehouse (ITE Code 150) from Institute of Transportation Engineers (ITE "Generation" manual, 10th Edition, 2017

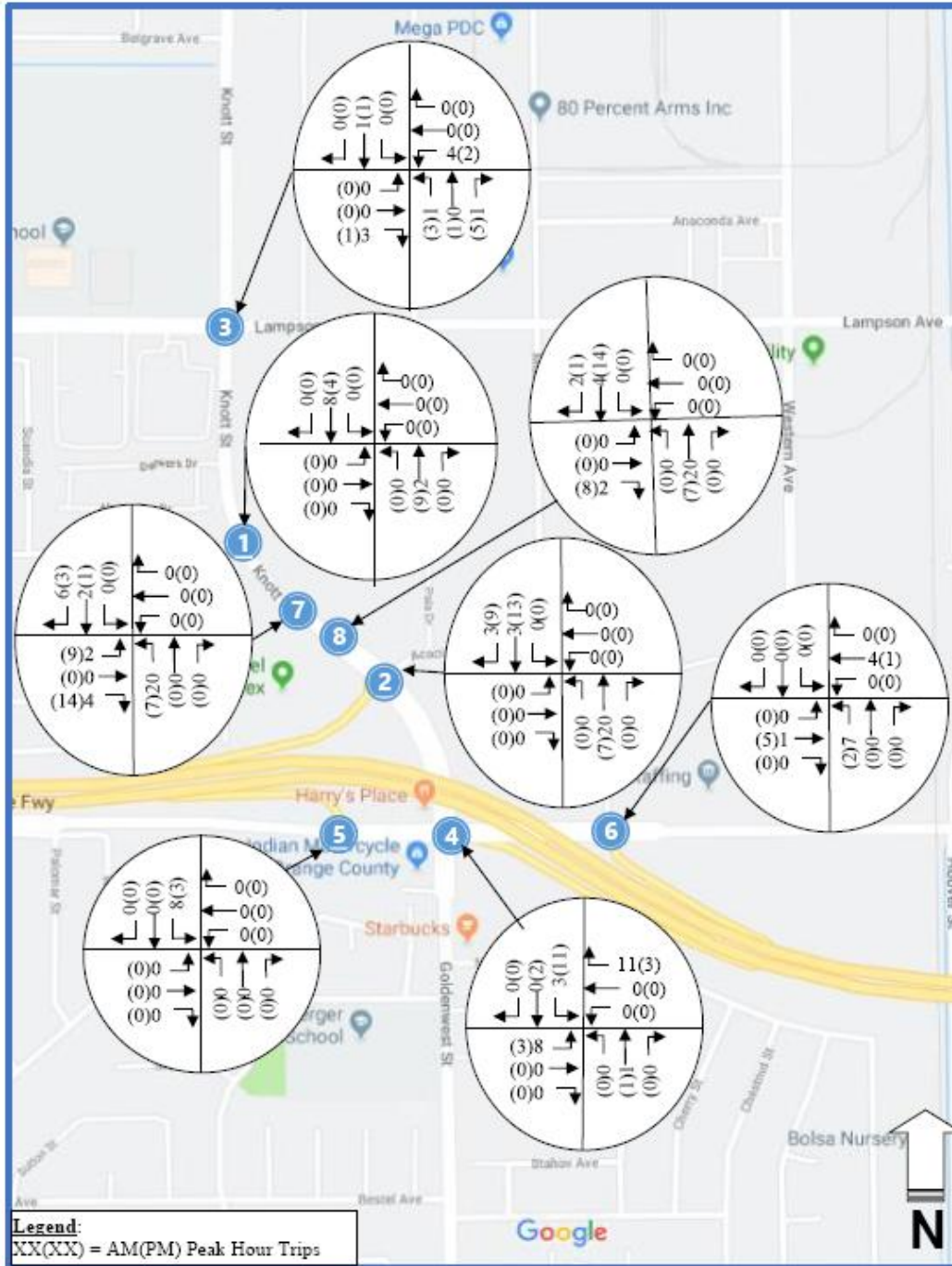
**FIGURE 8: PERCENTAGES OF PROJECT RELATED TRIPS**



Garden Grove 12821 Knott St Industrial Warehouse: Traffic Impact Analysis (TIA) Report  
October 8, 2019

Page 21

**FIGURE 9: DISTRIBUTION OF PROJECT TRAFFIC**





## 2021 CUMULATIVE CONDITIONS WITH PROJECT TRAFFIC

### 2021 POST-PROJECT CUMULATIVE TRAFFIC VOLUMES WITH PROJECT

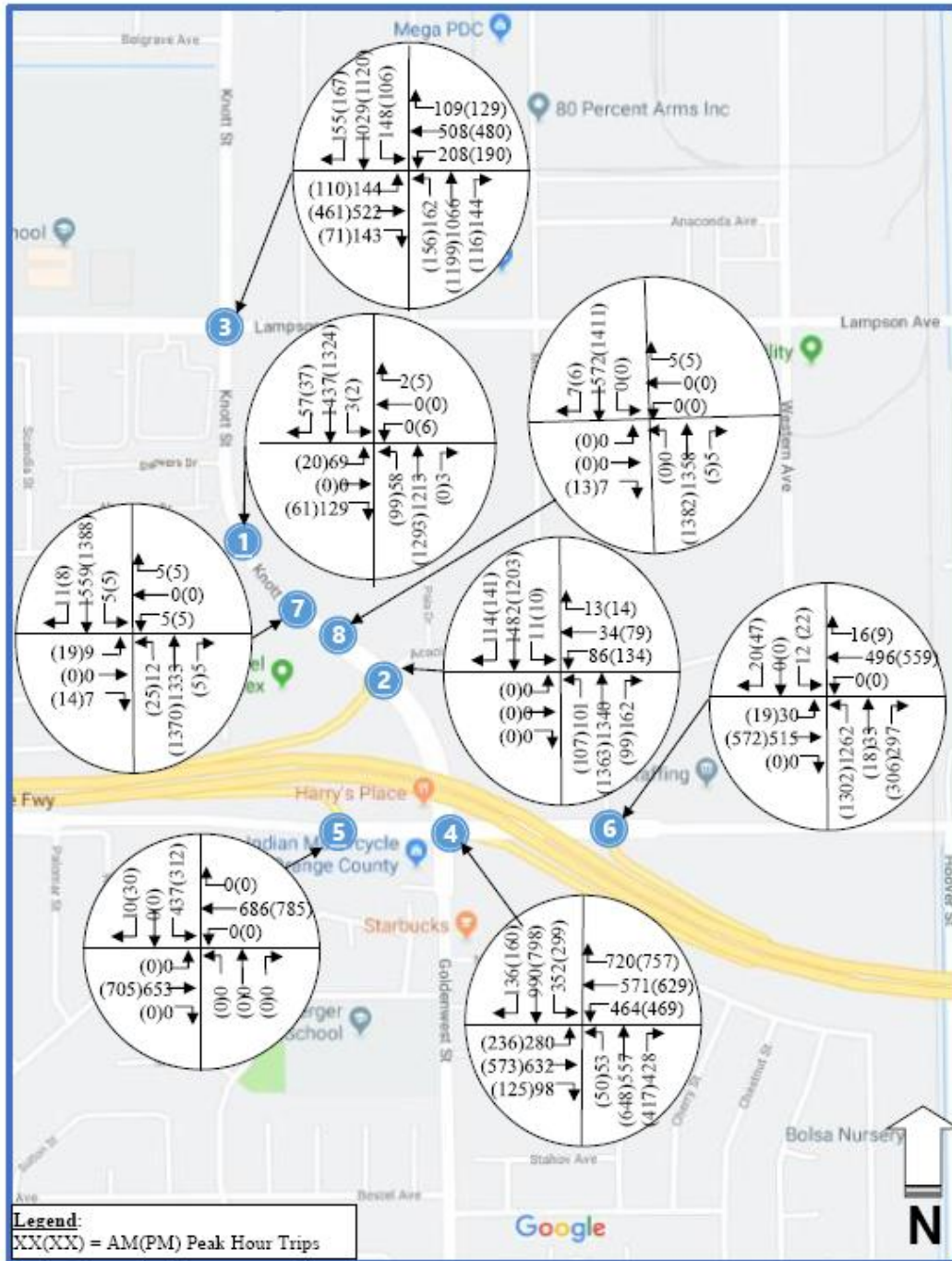
The 2021 cumulative post-project traffic volumes were estimated by adding project related traffic volumes to the 2021 pre-project traffic volumes with 1.0% per year ambient growth and related project traffic. **Figure 10** shows Year 2021 post-project cumulative volumes for AM and PM peak hours.

Year 2021 post-project cumulative (i.e., existing plus ambient traffic plus related project plus project traffic) conditions were evaluated using the 2010 Highway Capacity Manual (HCM) operational delay method of level of service (LOS) analysis for signalized intersections. For the intersections under the sole jurisdiction of the City of Garden Grove, the Intersection Capacity Utilization (ICU) method of level of service (LOS) was used. The LOS and delay or V/C ratios for the study intersections under 2021 post-project cumulative conditions (with project) are summarized in **Table 7**. Detailed calculations relating to the study intersections, performed with Synchro traffic analysis software or using Intersection Capacity Utilization (ICU) methodology, are included in the Technical Appendix of this report.

The results indicate that, except for the intersection of Knott Street and Garden Grove Boulevard, all the study intersections will continue to operate at a Level of Service (LOS) D or better (i.e., within the range of acceptable thresholds of LOS A through D) during the AM and PM peak hours under existing plus project traffic conditions.



**FIGURE 10: FUTURE 2021 POST-PROJECT CUMULATIVE TRAFFIC VOLUMES**



**TABLE 7  
 FUTURE 2021 LEVEL OF SERVICE SUMMARY WITH PROJECT**

Intersection	Peak Hour	Future 2021 Conditions With Project	
		LOS	Delay, Sec or V/C Ratio
1. Knott Street and Stanford Avenue (Signalized)*	AM	A	0.571
	PM	A	0.496
2. Knott Street and SR-22 W/B On-ramp (Signalized)	AM	B	12.2
	PM	B	14.3
3. Knott Street and Lampson Avenue (Signalized)*	AM	C	0.786
	PM	C	0.751
4. Knott Street and Garden Grove Bl (Signalized)	AM	F	84.7
	PM	D	54.3
5. Garden Grove Bl and SR-22 E/B Off-ramp (Signalized)	AM	B	11.5
	PM	B	10.8
6. Garden Grove Bl and SR-22 W/B Off-ramp (Signalized)	AM	C	27.7
	PM	C	25.1
7. Knott Street and Northerly Project (Unsignalized)*	AM	A	0.613
	PM	A	0.562
8. Knott Street and Southerly Project (Unsignalized)*	AM	A	0.596
	PM	A	0.549

\* LOS and V/C ratio determined using ICU Method

## PROJECT IMPACT AND MITIGATION MEASURES

As indicated in the previous section, except for the intersection of Knott Street and Garden Grove Boulevard, all of the study intersections would operate at an acceptable level of service (i.e., within the range of acceptable thresholds of LOS A through LOS D) during the AM or the PM peak hours with 2021 post-project cumulative traffic volumes with project. The intersection of Knott Street and Garden Grove Boulevard will operate at a deficient LOS F during the AM peak hours. However, the project's off-site traffic impact would not be considered significant at any of the study intersections based on operational delay (or V/C ratio) and level of service expected after the project. A project's traffic impact is determined to be significant if the project generated traffic volume causes the intersection to deteriorate to LOS E and F. The intersection of Knott Street and Garden Grove Boulevard operates at a deficient LOS F during the AM peak hours under existing 2019 as well as 2021 pre-project traffic conditions.

The project's off-site traffic impact would not be considered significant at any of these intersections based on delay and level of service expected after the project. A project's impact on the circulation system is determined by comparing the level of service (LOS) and delays (or V/C ratios) at key intersections under the future pre-project conditions and future post-project conditions. A LOS level D or better is acceptable for urban area intersections. A level of service worse than D (i.e., LOS E or F) is considered deficient and unacceptable. A project's traffic impact is determined to be significant if the LOS is deteriorated below D due to the project or the increase in delay is 6 seconds or more at LOS C, or 4 seconds or more at LOS D, or 2.5 seconds or more at LOS E or F, as defined by one of the largest Cities in the region, the City of Los Angeles, as follows:

### Significant Transportation Impact Thresholds for Transportation Infrastructure Projects

LEVEL OF SERVICE	FINAL V/C RATIO	PROJ-RELATED INCREASE IN V/C
C	> 20 - 35	equal to or greater than 6.0 seconds
D	> 35 - 55	equal to or greater than 4.0 seconds
E	> 55 - 80	equal to or greater than 2.5 seconds
F	> 80	equal to or greater than 2.5 seconds

(Ref: City of Los Angeles Transportation Impact Study Guidelines, December 2016,

<https://ladot.lacity.org/sites/g/files/wph266/f/COLA-TISGuidelines-010517.pdf>)

In Intersection Capacity Utilization (ICU) method, a project's traffic impact is determined to be significant if the increase in V/C ratio is 0.04 or more at LOS C, or 0.02 or more at LOS D, or 0.01 or more at LOS E and F.

The results of future traffic (with and without Project) scenarios' LOS analysis have been summarized in **Table 8** to compare Project's traffic impact at key intersections.

**TABLE 8**  
**FUTURE 2021 LEVEL OF SERVICE SUMMARY WITH AND WITHOUT PROJECT**

Intersection	Peak Hour	Future 2021 Conditions				Increase in Delay in sec (or V/C Ratio) by Project,
		Without Project		With Project		
		LOS	Delay, Sec or V/C Ratio	LOS	Delay, Sec or V/C Ratio	
1. Knott Street and Stanford Avenue (Signalized)*	AM	A	0.570	A	0.571	0.001
	PM	A	0.495	A	0.496	0.001
2. Knott Street and SR-22 W/B On-ramp (Signalized)	AM	B	12.1	B	12.2	0.1
	PM	B	14.1	B	14.3	0.2
3. Knott Street and Lampson Avenue (Signalized)*	AM	C	0.782	C	0.786	0.004
	PM	C	0.747	C	0.751	0.004
4. Knott Street and Garden Grove Bl (Signalized)	AM	F	84.6	F	84.7	0.1
	PM	D	54.1	D	54.3	0.2
5. Garden Grove Bl and SR-22 E/B Off-ramp (Signalized)	AM	B	11.5	B	11.5	0.0
	PM	B	10.8	B	10.8	0.0
6. Garden Grove Bl and SR-22 W/B Off-ramp (Signalized)	AM	C	27.6	C	27.7	0.1
	PM	C	24.3	C	25.1	0.8
7. Knott Street and Northerly Project (Unsignalized)*	AM	A	0.603	A	0.613	0.010
	PM	A	0.549	A	0.562	0.013
8. Knott Street and Southerly Project (Unsignalized)*	AM	A	0.596	A	0.596	0.000
	PM	A	0.543	A	0.549	0.006

\* LOS and V/C ratio determined using ICU Method

As shown in **Table 8**, the project traffic would not cause any of the study intersections to deteriorate to LOS E or F and would not exceed the significance thresholds of project-related impacts.

Since the project's traffic impacts would not be significant at any of the off-site intersections, no off-site intersection mitigation measures would be necessary for the development of this project.

### **SITE ACCESS ANALYSIS**

The project will provide two access driveways to surface parking area off Knott Street. The existing northerly driveway is 40 feet wide and will provide ingress and egress for both passenger cars and trucks with 1 lane in each direction. The existing southerly driveway is 26 feet wide and will provide ingress and egress for both passenger cars only with 1 lane in each direction. However, this driveway will be restricted for right-turn-in and right-turn out only movements. Both of these driveways will be Stop-controlled for exit on to Knott Street.

**Figure 11** shows project traffic volumes at the driveways.

A maximum of 20 vehicles will enter the northerly driveway from the south by making a left-turn movement during the peak hour. A maximum of 15 vehicles will exit the site during the peak hour through this driveway to travel north by making a left-turn movement.

A maximum of 6 vehicles will enter the northerly driveway from north by making a right-turn movement during the peak hour. A maximum of 14 vehicles will exit the site during the peak hour through this driveway to travel south by making a right-turn movement.

A maximum of 2 vehicles will enter the southerly driveway from north by making a right-turn movement during the peak hour. A maximum of 8 vehicles will exit the site during the peak hour through this driveway to travel south by making a right-turn movement.

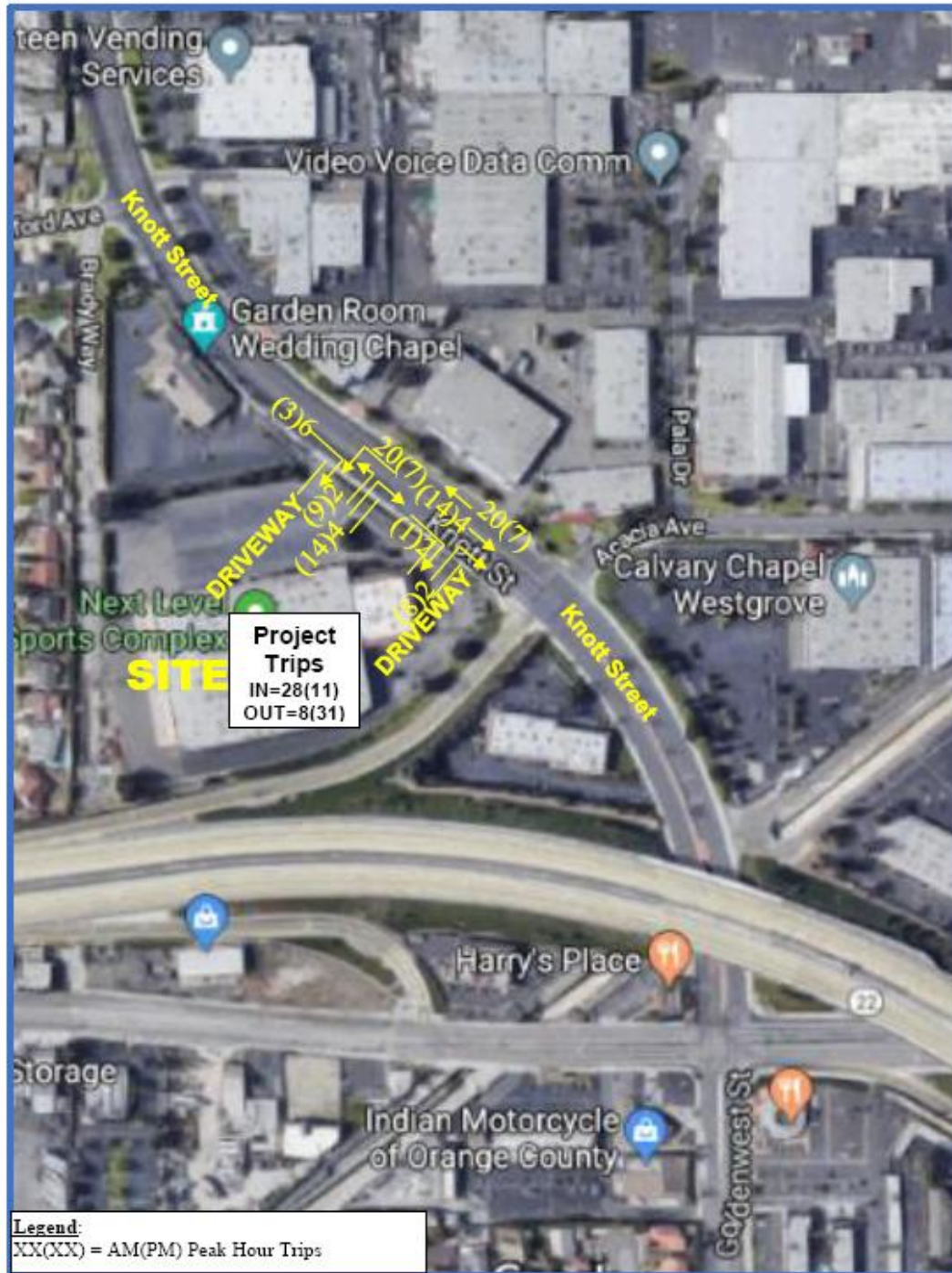
The low turn volume at the driveways is not expected to cause any queuing at the driveways.

Adequate sight distance is available from the driveways along the north and south directions on Knott Street.

The southerly driveway on Knott Street should be striped for right turn in and out movement only, with a right-arrow pavement marking. A right-turn arrow sign along with a Stop sign should also be posted at this driveway for exiting vehicles.



**FIGURE 11: PROJECT TRAFFIC AT DRIVEWAYS**



## PARKING DEMAND ANALYSIS

Adequate parking spaces will be provided on-site for the proposed 12821 Knott Street Warehouse project in accordance with the parking code requirements of the City of Garden Grove. The City's parking codes require 1 space for each one thousand square feet of warehouse uses. Accordingly, for the proposed 165,171 gross square feet warehouse project, the required space would be a total of 166.

The project's site plan indicates that the surface parking will consist of 181 parking spaces. The 181 parking spaces will adequately satisfy project's parking requirement of 166 spaces per parking code of the City. Of the total, 4 parking spaces will be ADA-compliant, and 17 spaces will be designated for electrical vehicle charging and parking purposes.

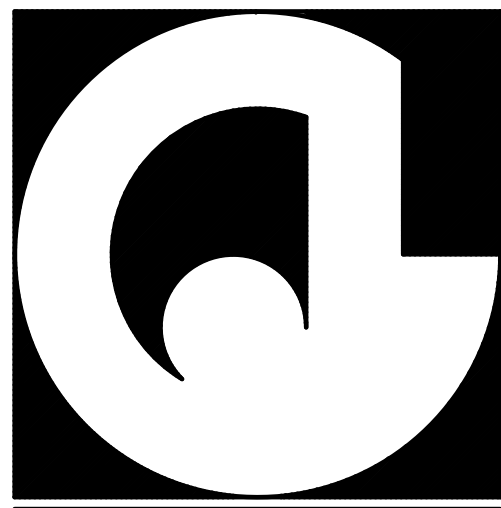
## CONCLUSION

Based on the results of the traffic impact analysis, the proposed 12821 Knott Street Warehouse project would not significantly impact any of the key intersections analyzed in the surrounding roadway system. Except for the intersection of Knott Street and Garden Grove Boulevard, all the study intersections would continue to operate at an acceptable level of service (i.e., at LOS A through D) during the AM and PM peak hours. The intersection of Knott Street and Garden Grove Boulevard will operate at a deficient LOS F during the AM peak hours. However, the project's off-site traffic impact would not be considered significant at any of the study intersections based on increase in operational delay (or V/C ratio) and level of service expected after the project. Therefore, no off-site intersection mitigation measures would be necessary for the development of this project.

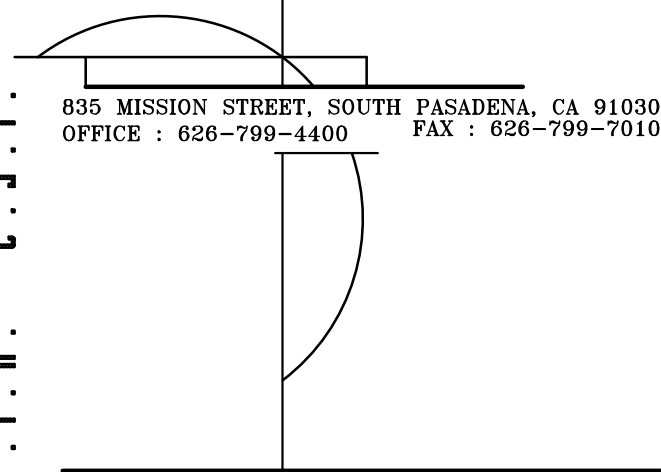
The low turn volume at the at the existing northerly and southerly project driveways is not expected to cause any queuing at the driveways. Adequate sight distance is available from the driveways along the north and south directions on Knott Street.

The southerly project driveway on Knott Street should be striped for right turn in and out movement only, with a right-arrow pavement marking. A right-turn arrow sign along with a Stop sign should also be posted at this driveway for exiting vehicles.





ARCHITECTURE . ENGINEERING



PROJECT NAME & SITE ADDRESS:

NEW BUILDING

12821 KNOTT ST.  
GARDEN GROVE, CA 92841

DEVELOPER :

Drawing Content :

EXISTING  
FACILITIES PLAN



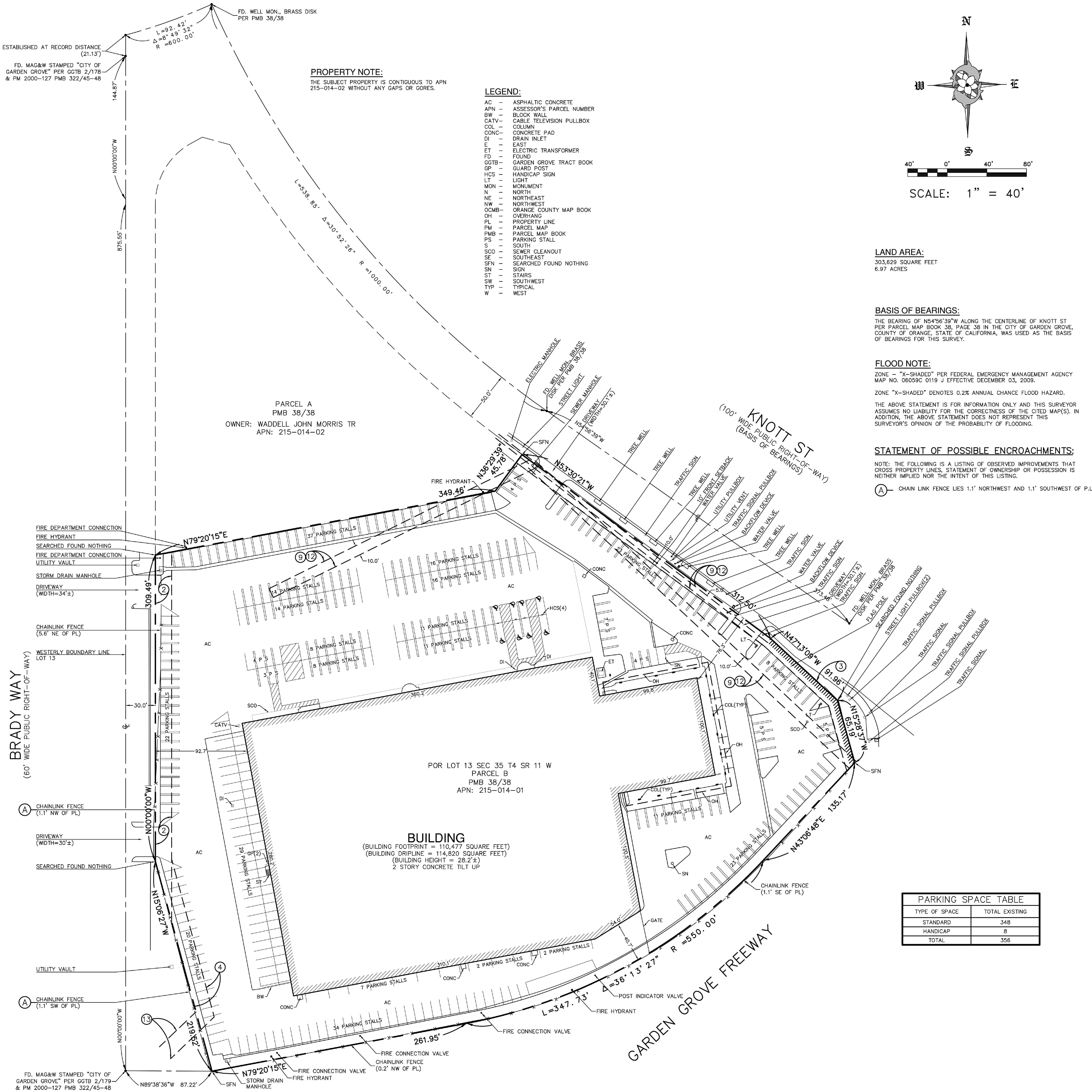
Revisions : Date :

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Designer : M.J.  
Manager : M.J.  
Date : 11-2018  
Job No : 2018-202  
Scale : AS NOTED  
Drawing No :

T-1

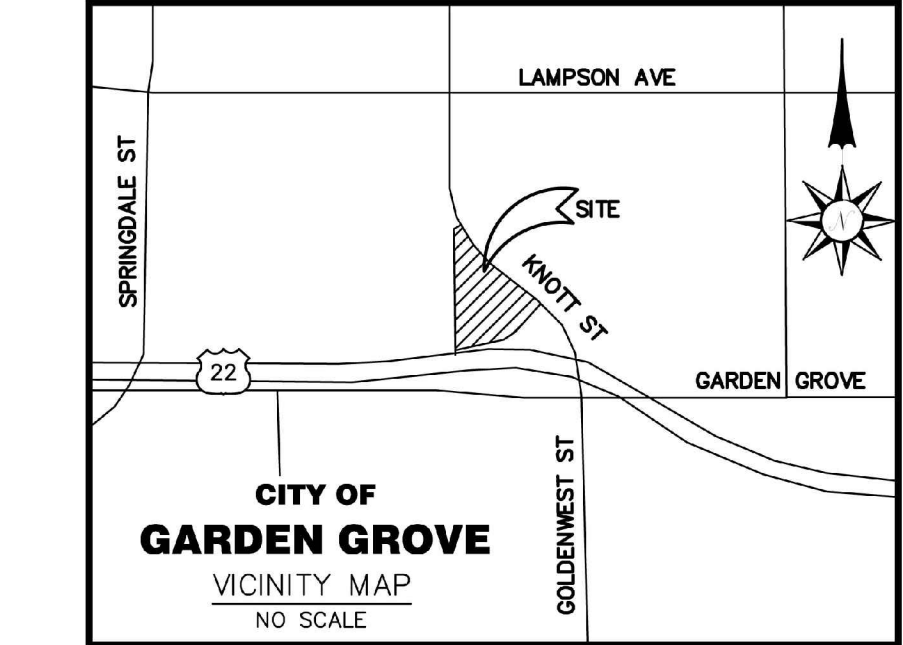
SHEET : OF : PR-1



**LEGAL DESCRIPTION:**  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDEN GROVE IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
THAT PORTION OF LOT 13 IN SECTION 35, TOWNSHIP 4 SOUTH, RANGE 11 WEST, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP OF A RESURVEY OF THE J.W. BIXBY AND CO.'S SUBDIVISION OF A PART OF THE RANCHO LOS ALAMOS, FILED IN BOOK 2, PAGE 43 OF RECORD OF SURVEYS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:  
PARCEL B AS SHOWN ON A MAP FILED IN BOOK 38, PAGE 38 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.  
EXCEPTING THEREFROM, ALL MINERALS, OILS, GASES AND OTHER HYDROCARBONS, BY WHATEVER NAME KNOWN, THAT MAY BE WITHIN OR UNDER SAID LAND, WITHOUT, HOWEVER, THE RIGHT TO DRILL, DIG, OR MINE THROUGH THE SURFACE THEREOF, AS RESERVED IN THE DEED FROM THE STATE OF CALIFORNIA, RECORDED APRIL 10, 1970 IN BOOK 9260, PAGE 563 OFICIAL RECORDS.  
APN: 215-014-01

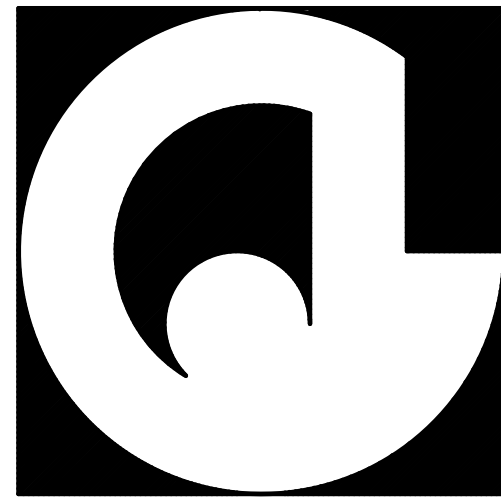
**ITEMS CORRESPONDING TO SCHEDULE "B":**  
BY: FIDELITY NATIONAL TITLE COMPANY COMMITMENT NO.: 997-30014786-B-JV1  
4400 MACARTHUR BLVD., SUITE 200, TITLE OFFICER: JUSTIN VANDERVEEN (MA)  
NEWPORT BEACH, CA 92660 DATED: SEPTEMBER 25, 2018  
PHONE: (949) 622-5000  
THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP, COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS, THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
  2. EASEMENT(S) FOR PIPE LINES, POLE LINES AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDING DATE: MARCH 24, 1921 RECORDING NO. BOOK 386, PAGE 386, OF DEEDS THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
  3. THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT RECORDING DATE APRIL 10, 1970 RECORDING NO. BOOK 9260, PAGE 563, OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.
  4. EASEMENT(S) FOR THE CONVEYANCE OF OIL, WITH THE RIGHT TO CONVEY SAME TO OTHERS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDING DATE APRIL 10, 1970 RECORDING NO. BOOK 9260, PAGE 563, OF OFICIAL RECORDS, SAID EASEMENT WAS OBTAINED TO STANDARD OIL COMPANY BY OILCLAIM DEED RECORDED FEBRUARY 15, 1971 IN BOOK 2548, PAGE 381 OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.
  5. THE EFFECT OF A DOCUMENT ENTITLED "ORDINANCE NO. 1107", EXECUTED BY THE CITY OF GARDEN GROVE, RECORDED JUNE 22, 1970 IN BOOK 9323, PAGE 795 OF OFICIAL RECORDS, REFERENCE BEING MADE TO THE RECORD THEREOF FOR FULL AND FURTHER PARTICULARS, DOCUMENTS AFFECTING SAID ORDINANCE WERE RECORDED JUNE 22, 1970 IN BOOK 9323, PAGE 797 AND 798, AND MAY 28, 1971 IN BOOK 9658, PAGES 261, 263 AND 267, ALL OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  6. COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN BOOK 9323, PAGE 808 OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  7. COVENANTS, CONDITIONS AND RESTRICTIONS AS RECORDING DATE JUNE 22, 1970 RECORDED IN BOOK 9323, PAGE 814 OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  8. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: PUBLIC UTILITIES RECORDING NO. BOOK 9633, PAGE 148, OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION CANNOT BE DETERMINED AND IS NOT PLOTTED HEREON.
  9. EASEMENT(S) FOR SANITARY SEWERS RECORDING AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDING DATE MAY 24, 1971 RECORDING NO. BOOK 9650, PAGE 852, OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
  10. COVENANTS, CONDITIONS AND RESTRICTIONS RECORDING DATE MAY 28, 1971 RECORDING NO. BOOK 9658, PAGE 271, OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE, AND IS NOT PLOTTED HEREON.
  11. COVENANTS, CONDITIONS AND RESTRICTIONS RECORDING DATE MAY 28, 1971 RECORDING NO. BOOK 9658, PAGE 276, OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  12. EASEMENT(S) FOR PROPOSED SEWERS AND RIGHTS INCIDENTAL THERETO, AS Delineated ON OR AS OFFERED FOR DEDICATION ON RECORDING NO. BOOK 38, PAGE 38, OF PARCEL MAPS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
  13. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED JOINT USE AGREEMENT AND OILCLAIM RECORDING DATE: MAY 11, 1973 RECORDING NO. BOOK 10692, PAGE 730, OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS SHOWN HEREON.
  14. A NOTICE ENTITLED: NOTICE OF AGREEMENT WITH CONDITIONS OF APPROVAL AND DISCRETIONARY PERMIT APPROVAL RECORDING DATE JANUARY 23, 2012 RECORDING NO. 201200034026, OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  15. ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY CAN NOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
  16. MATTERS CONTAINED IN A CERTAIN DOCUMENT DATED JULY 10, 2018 AS RECORDED JULY 13, 2018 AS RECORDED NO. 2018000258244, OF OFICIAL RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- ITEMS #5 SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT, NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

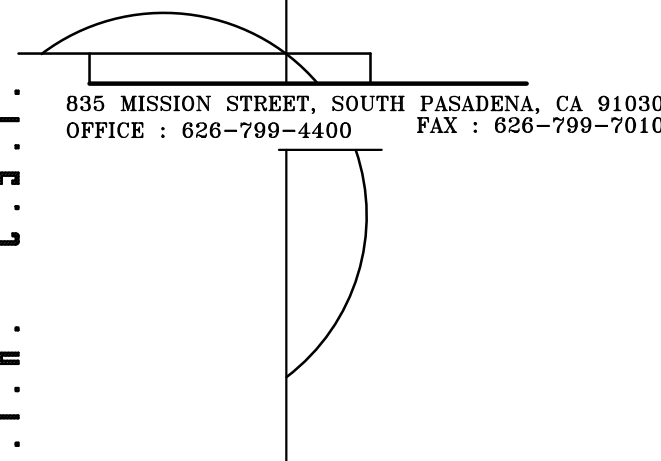


PARKING SPACE TABLE		
TYPE OF SPACE	TOTAL EXISTING	
STANDARD	348	
HANDICAP	8	
TOTAL	356	





ARCHITECTURE . ENGINEERING



PROJECT NAME & SITE ADDRESS:

NEW BUILDING

12821 KNOTT ST.  
GARDEN GROVE, CA 92841

DEVELOPER :

Drawing Content :

SITE PLAN



Revisions : Date :

Designer : M.J.  
Manager : M.J.  
Date : 11-2018  
Job No : 2018-202  
Scale : AS NOTED  
Drawing No :

A-1

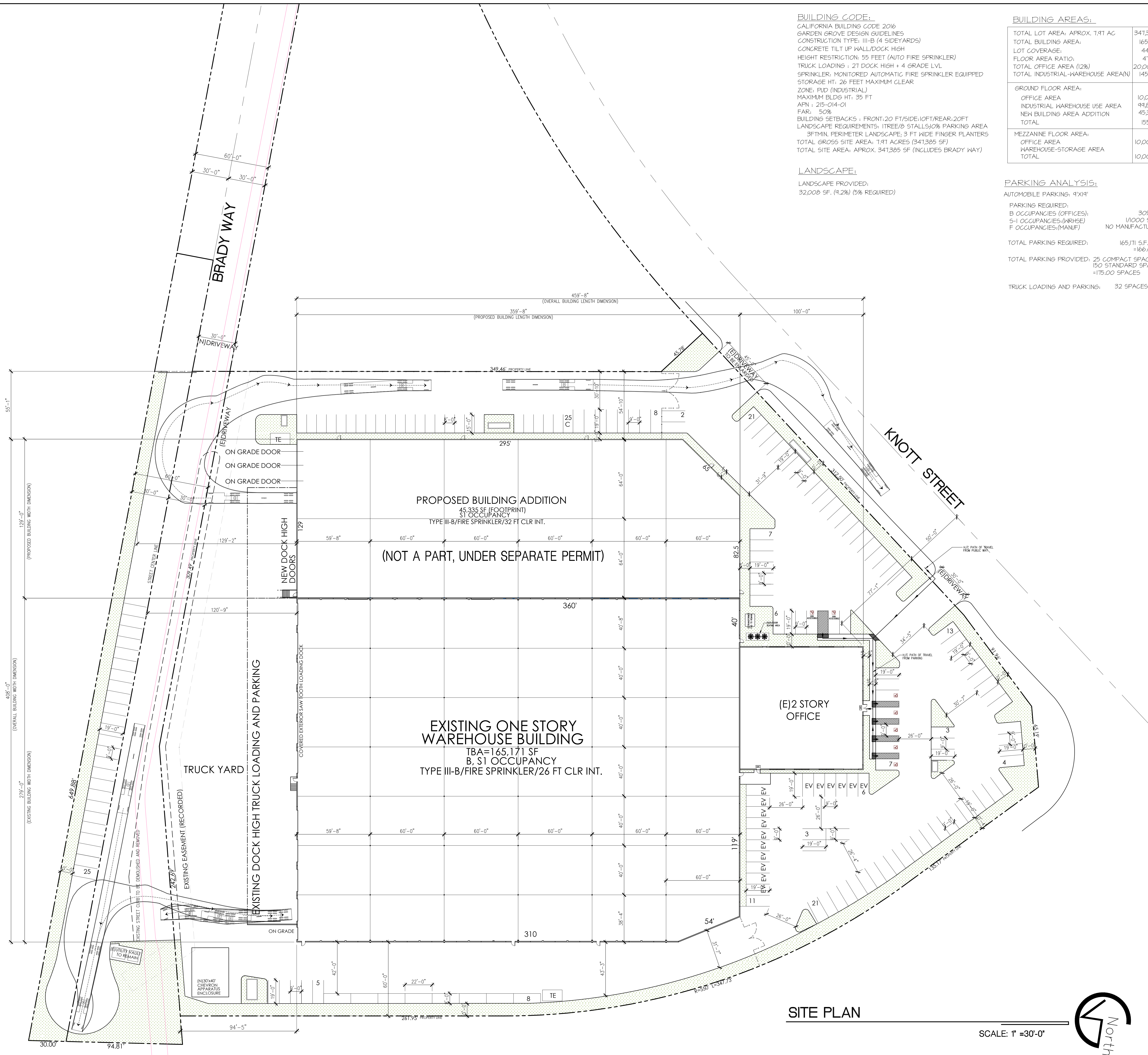
SHEET : OF : PR-1

**BUILDING CODE:**  
CALIFORNIA BUILDING CODE 2016  
GARDEN GROVE DESIGN GUIDELINES  
CONSTRUCTION TYPE: III-B (4 SIDYARDS)  
CONCRETE TILT UP WALL/DOCK HIGH  
HEIGHT RESTRICTION: 55 FEET (AUTO FIRE SPRINKLER)  
TRUCK LOADING : 27 DOCK HIGH + 4 GRADE LVL  
SPRINKLER, MONITORED AUTOMATIC FIRE SPRINKLER EQUIPPED  
STORAGE HT. 26 FEET MAXIMUM CLEAR  
ZONE: IUD (INDUSTRIAL)  
MAXIMUM BLDG HT: 35 FT  
APN : 215-014-01  
FAR: 50%  
BUILDING SETBACKS : FRONT:20 FT/SIDE:10FT/REAR:20FT  
LANDSCAPE REQUIREMENTS: 1TREE/0 STALLS/0% PARKING AREA  
3FTMIN. PERIMETER LANDSCAPE, 3 FT WIDE FINGER PLANTERS  
TOTAL GROSS SITE AREA: 1.91 ACRES (341,385 SF)  
TOTAL SITE AREA: APROX. 341,385 SF (INCLUDES BRADY WAY)

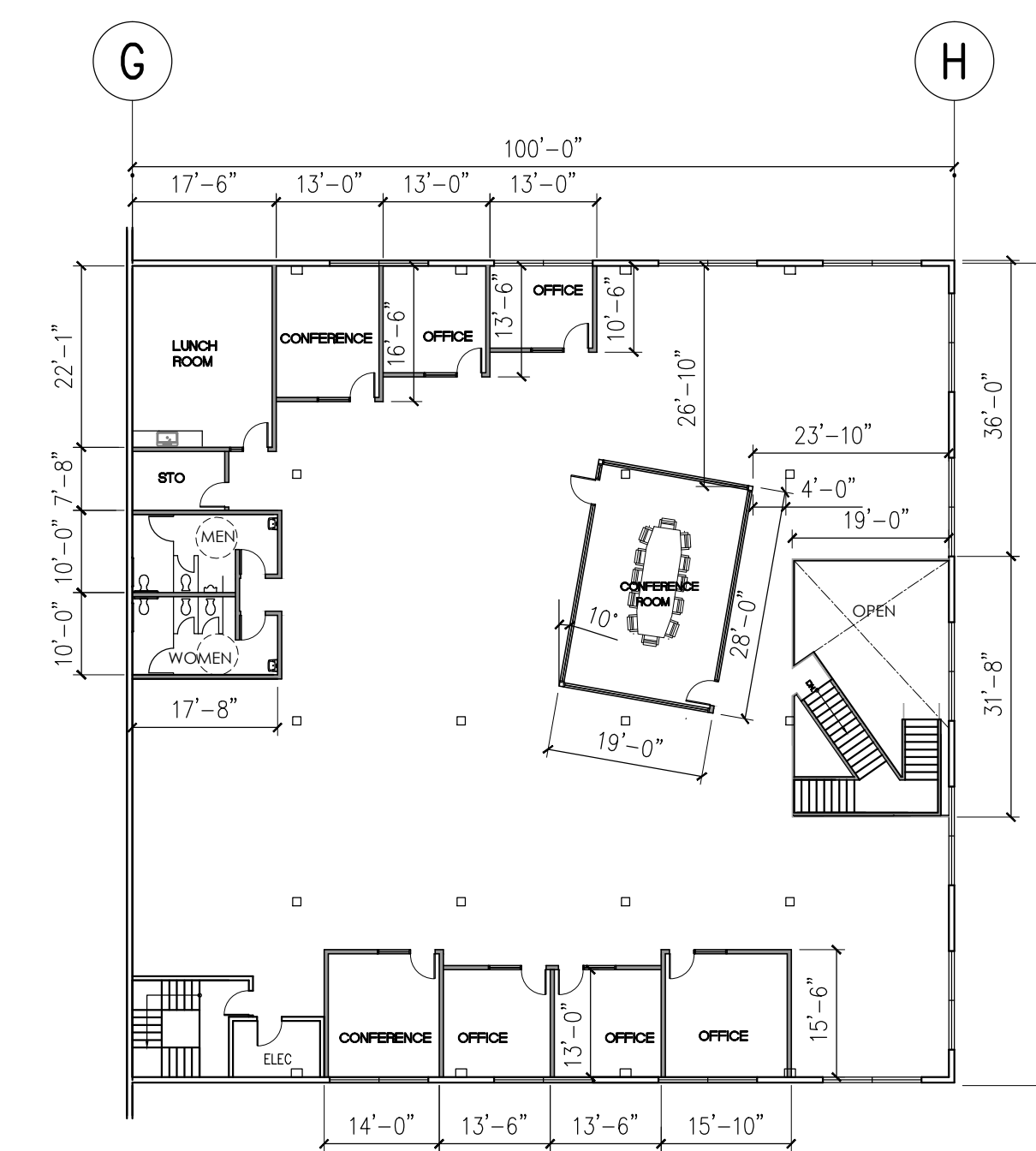
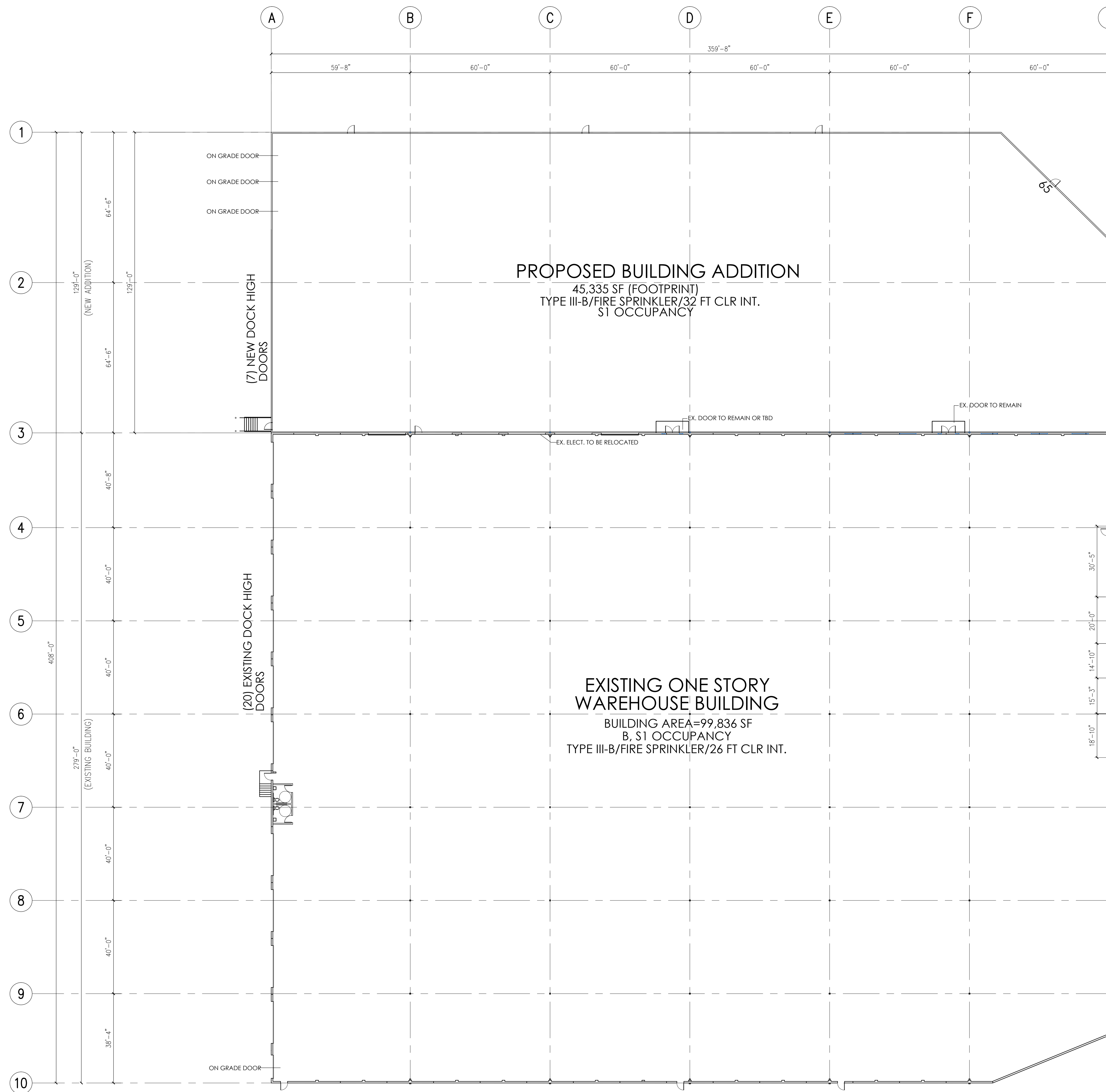
**LANDSCAPE:**  
LANDSCAPE PROVIDED:  
32,008 SF. (4.2%) (5% REQUIRED)

<b>BUILDING AREAS:</b>	
TOTAL LOT AREA: APROX. 1.91 AC	341,385 S.F.
TOTAL BUILDING AREA:	165,171 S.F.
LOT COVERAGE:	44.66 %
FLOOR AREA RATIO:	47.54 %
TOTAL OFFICE AREA (12%)	20,000 S.F.
TOTAL INDUSTRIAL-WAREHOUSE AREA(N)	145,171 S.F.
<b>GROUND FLOOR AREA:</b>	
OFFICE AREA	10,000 S.F.
INDUSTRIAL WAREHOUSE USE AREA	94,836 S.F.
NEW BUILDING AREA ADDITION	45,335 S.F.
TOTAL	155,171 S.F.
<b>MEZZANINE FLOOR AREA:</b>	
OFFICE AREA	10,000 S.F.
WAREHOUSE-STORAGE AREA	0 S.F.
TOTAL	10,000 S.F.

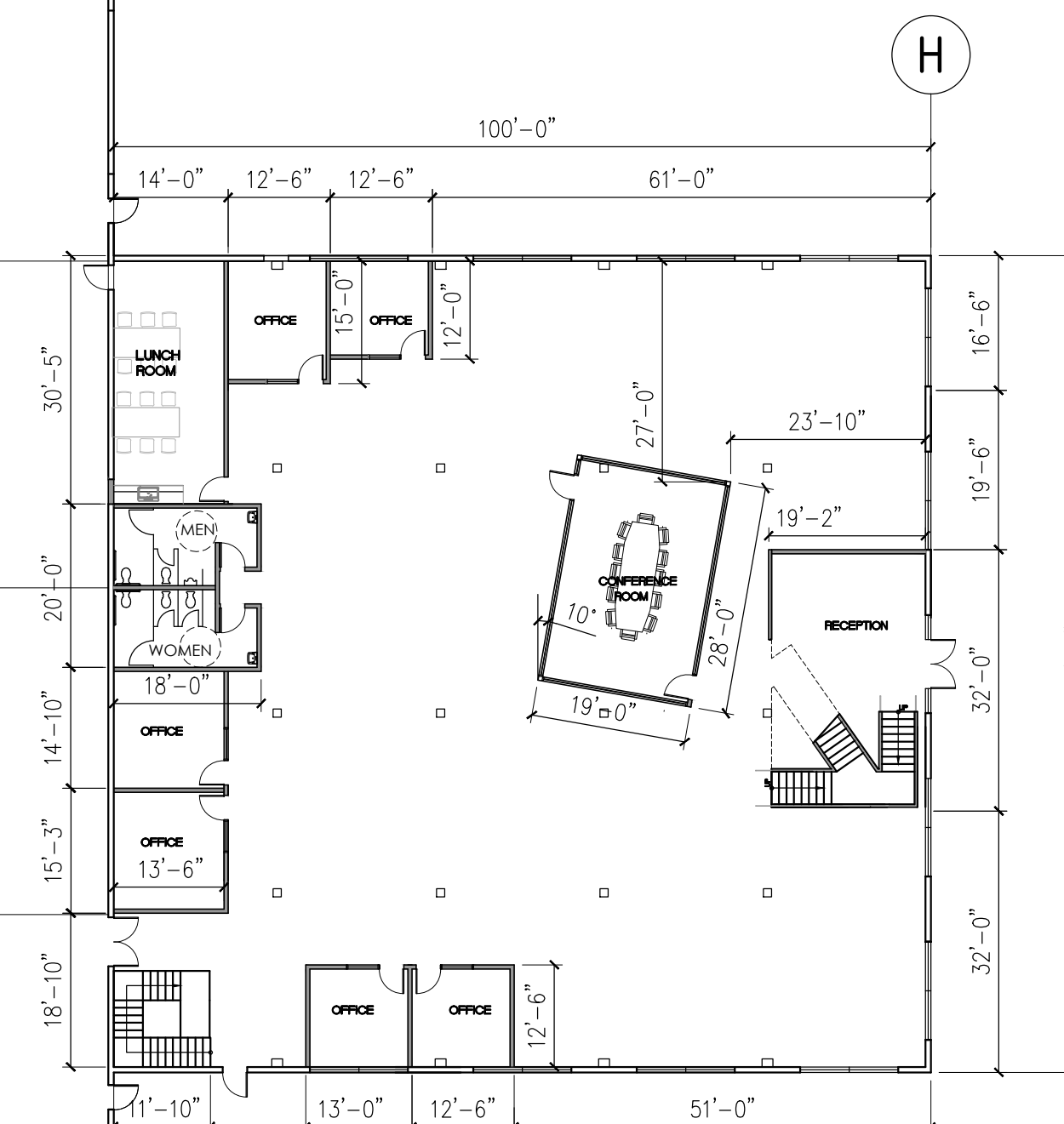
**PARKING ANALYSIS:**  
AUTOMOBILE PARKING: 9'X19'  
PARKING REQUIRED:  
B OCCUPANCIES (OFFICES): 30% LESS=1/1000  
S-1 OCCUPANCIES (WHSE) 1/1000 SF GROSS AREA  
F OCCUPANCIES (MANUF) NO MANUFACTURING ACTIVITIES  
TOTAL PARKING REQUIRED: 165,171 S.F. / 1,000 SF.  
=166.00 SPACES  
TOTAL PARKING PROVIDED: 25 COMPACT SPACES (MAX 20% OF REQUIRED)  
150 STANDARD SPACES  
=175.00 SPACES  
TRUCK LOADING AND PARKING: 32 SPACES (TOTAL)







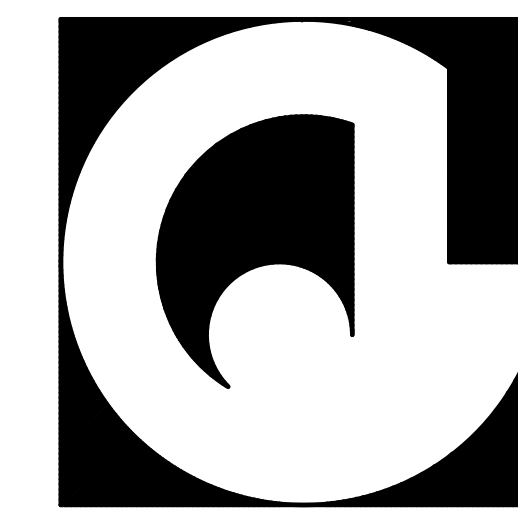
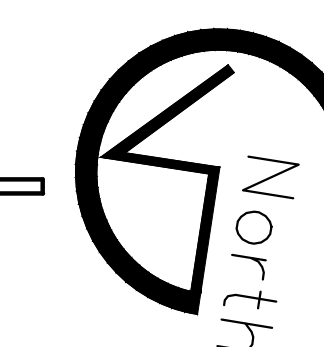
2 STORY OFFICE  
SECOND FLOOR (PROPOSED)



2 STORY OFFICE  
FIRST FLOOR (PROPOSED)

PROPOSED FLOOR PLAN

SCALE: 1" = 20'-0"



ARCHITECTURE . ENGINEERING

835 MISSION STREET, SOUTH PASADENA, CA 91030  
OFFICE : 626-798-4400 FAX : 626-798-7010

PROJECT NAME & SITE ADDRESS:

NEW BUILDING

12821 KNOTT ST.  
GARDEN GROVE, CA 92841

DEVELOPER :

Drawing Content :

FLOOR PLAN



Revisions : Date :

1	

Designer : M.J.  
Manager : M.J.  
Date : 11-2018  
Job No : 2018-202  
Scale : AS NOTED

Drawing No :

A-2

SHEET : OF : PR-1

- 1 BUILDING COLOR #1  
PAINT OVER CONC. WALL  
PPG PAINT  
WILLOW SPRINGS (PPG1007-1)
- 2 BUILDING COLOR #2  
PAINT OVER METAL PANELS  
SHERWIN WILLIAMS PAINT  
PEWTER CAST (SW 7673)
- 3 BUILDING COLOR #3  
PAINT OVER LONGBOARD  
METAL SIDINGS  
SHERWIN WILLIAMS PAINT  
SOFTWARE (SW 7074)
- 4 BUILDING COLOR #4  
PAINT OVER LONGBOARD  
METAL SIDINGS  
SHERWIN WILLIAMS PAINT  
PEWTER CAST (SW 7673)
- 5 BUILDING COLOR #5  
PAINT OVER METAL CANOPY  
BEHR PAINT  
INFINITE DEEP SEA (S500-7)
- 6 TEMPERED GLASS  
SOLARBAN GLASS  
AZURIA TINT OR EQ.  
VITRO ARCHITECTURAL GLASS
- 7 SPANDREL GLASS  
COLOR TO MATCH  
AZURIA TINT OR EQ.



SCALE: 1" = 20'-0"



SCALE: 1" = 20'-0"



SCALE: 1" = 20'-0"



SCALE: 1" = 20'-0"



835 MISSION STREET, SOUTH PASADENA, CA 91030  
OFFICE : 626-799-4400 FAX : 626-799-7010

**PROJECT NAME & SITE ADDRESS:**

NEW BUILDING

12821 KNOTT ST.  
GARDEN GROVE, CA 92841

DEVELOPER

Drawing Content :

## PROPOSED ELEVATIONS



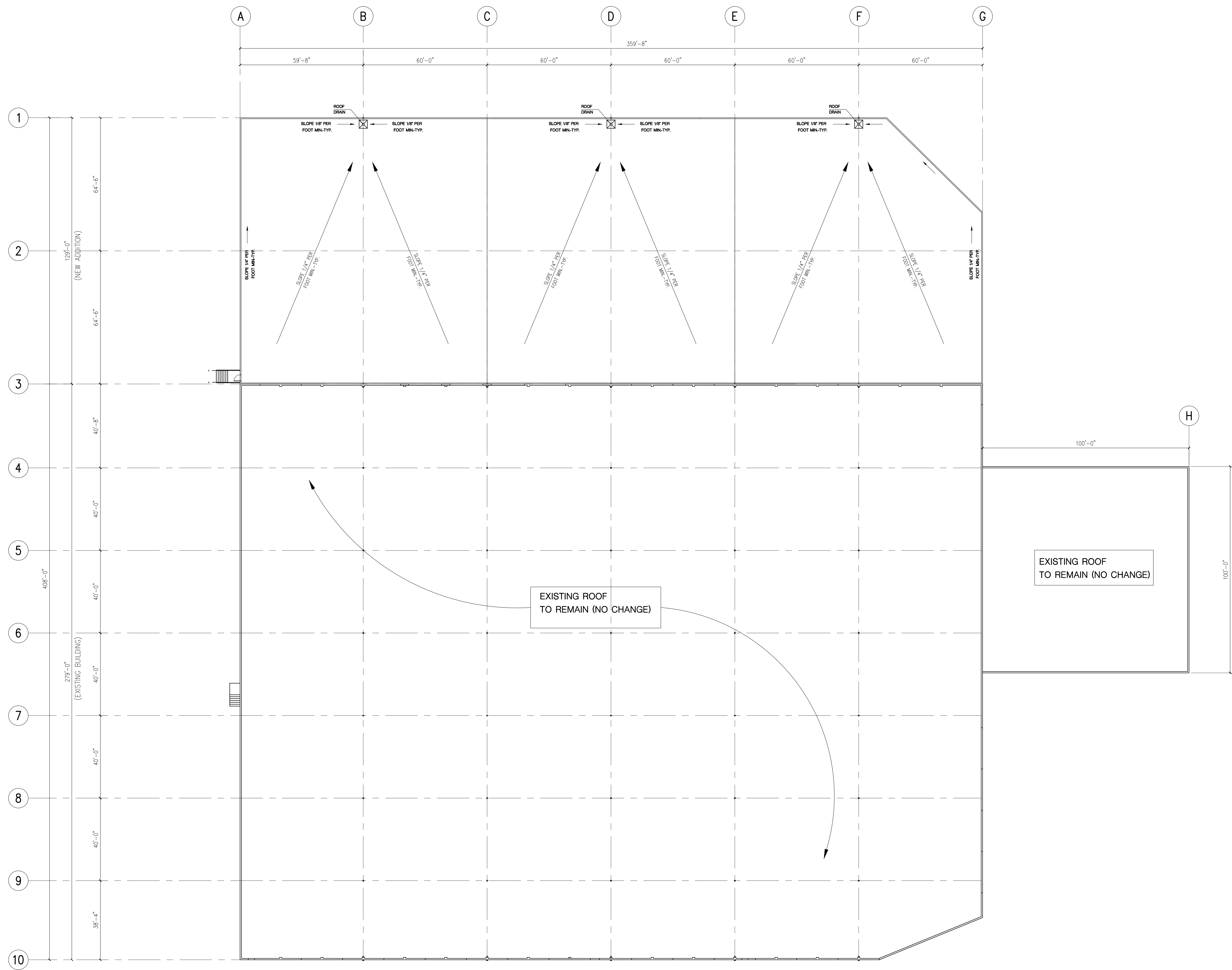
Date	Page

Designer :	M.J.
Manager :	M.J.
Date :	11-2018
Job No :	2018-202
Scale :	AS NOTED

Drawing No :

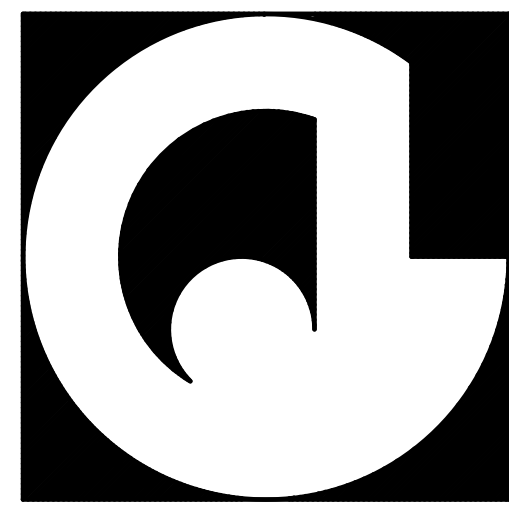
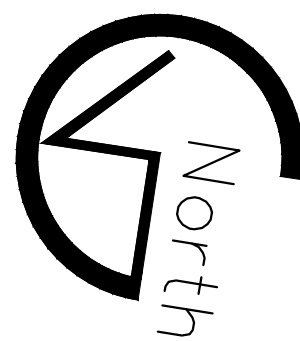
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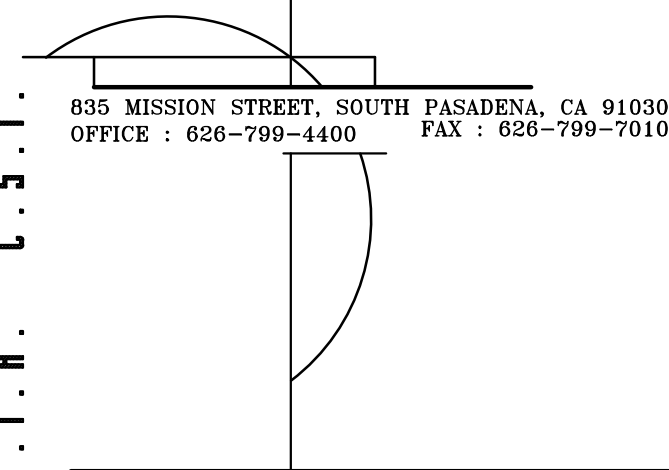


PROPOSED ROOF PLAN

SCALE: 1" = 20'-0"



ARCHITECTURE . ENGINEERING



PROJECT NAME & SITE ADDRESS:

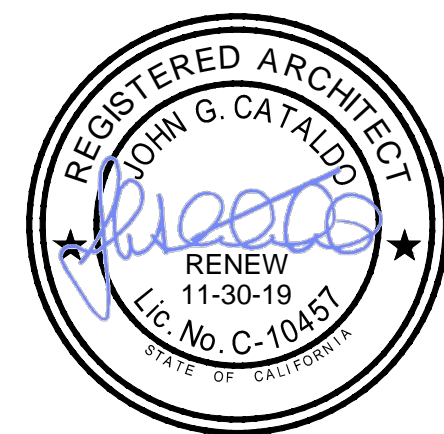
NEW BUILDING

12821 KNOTT ST.  
GARDEN GROVE, CA 92841

DEVELOPER :

Drawing Content :

ROOF PLAN



Revisions : Date :

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Designer : M.J.  
Manager : M.J.  
Date : 11-2018  
Job No : 2018-202  
Scale : AS NOTED

Drawing No :

A-2.1

SHEET : OF : PR-1



GENERAL GRADING NOTES

24 HOUR ADVANCE NOTICE IS REQUIRED PRIOR TO THE START OF ANY WORK (714) 741-5887

1. ALL WORK SHALL CONFORM TO THE CITY OF GARDEN GROVE LATEST ORDINANCE NO.2835 STANDARD PLANS AND SPECIFICATIONS, THE 2013 STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, THE CITY OF GARDEN GROVE ORDINANCE NO. 2590 THE 2013 CALIFORNIA BUILDING CODE, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK) 2012 EDITION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND NOTIFY THE CITY OF GARDEN GROVE WATER DEPARTMENT AND ALL OTHER UTILITY COMPANIES A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL PHASES OF CONSTRUCTION WITH THE VARIOUS UTILITY COMPANIES INVOLVED.
3. SUBMITTAL DOCUMENT REQUIREMENTS SHALL AT A MINIMUM, CONFORM TO ALL REQUIREMENTS OF SECTIONS 107 AND 110 OF THE CALIFORNIA BUILDING CODE, INCLUDING THE FOLLOWING:
- a. GRADING PLAN WITH SITE PLAN SHOWING TO SCALE THE SIZE AND LOCATION OF NEW CONSTRUCTION AND EXISTING STRUCTURES ON THE SITE AND ADJACENT TO THE SITE A MINIMUM OF THIRTY FEET (30') FROM THE PROPERTY BOUNDARY;
- b. HORIZONTAL AND VERTICAL DISTANCES AND ELEVATIONS IN RELATION TO THE PROPERTY LOT LINES AND NEAREST CITY BENCHMARKS FOR TOPOGRAPHIC CONTROL. (TEMPORARY BENCH MARKS SHALL NOT BE USED FOR TOPOGRAPHIC CONTROL);
- c. EXISTING STREET GRADES AND PROPOSED DESIGN GRADES FOR ALL PROJECT FRONTAGES AND ADJACENT ACCESS IMPROVEMENTS.
- d. ALL SITE/GRADING PLANS SHALL BE BASED UPON AN ACCURATE BOUNDARY LINE SURVEY WITH MONUMENT AND HORIZONTAL/VERTICAL CONTROL DISPOSITION SHOWN ON THE PLANS,(SECTION 107.2.5 CALIFORNIA BUILDING CODE);
- e. DEMOLITION WORK FOR IMPROVEMENTS TO BE REMOVED AND/OR PROTECTED IN PLACE;
- f. ANY PHASING OF IMPROVEMENTS AS ALLOWED BY THE CITY.
4. THE CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT FOR ALL WORK WITHIN THE STREET RIGHT-OF-WAY. TEMPORARY A.C. PAVING SHALL BE PLACED WHERE SIDEWALK REMOVALS EXTEND LONGER THAN (24) TWENTY-FOUR HOURS AS DIRECTED BY THE CITY INSPECTOR.
5. DUST SHALL BE CONTROLLED BY WATERING AND IF FULL CONFORMANCE WITH THE REQUIREMENTS OF THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT GUIDELINES.
6. SANITARY FACILITIES SHALL BE MAINTAINED ON SITE. FACILITIES SHALL BE LOCATED SUCH THAT SPILLS SHALL BE CONTAINED AND AT NO TIME ENTER A PUBLIC OR PRIVATE STORM DRAIN.
7. PRIOR TO THE POURING OF ANY FOUNDATION MATERIALS, THE PAD ELEVATION AND THE BUILDING CORNERS MUST BE VERIFIED IN WRITING TO THE BUILDING SECTION BY THE REGISTERED CIVIL ENGINEER OR THE LICENSED LAND SURVEYOR IN CONFORMANCE WITH SECTION 1612 OF THE CALIFORNIA BUILDING CODE.
8. NO FILL SHALL BE PLACED UNTIL THE BUILDING OFFICIAL AND THE SOILS ENGINEER APPROVE PREPARATION OF GROUND.
9. FILLS SHALL BE COMPACTED THROUGHOUT TO 90% DENSITY AS DETERMINED BY A.S.T.M. D1557, A.S.T.M. D1556 (SAND CONE), AND/OR A.S.T.M. D2922, (NUCLEAR). SAND CONE METHOD MUST REPRESENT NO MORE THAN 20% OF TESTING. DRIVE TUBE TESTING IS NOT PERMITTED.
10. FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL HAVE NOT LESS THAN 90% COMPACTION OUT TO THE FINISH SURFACE.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THE UTILITIES OF EVERY NATURE WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR TOTAL COST OF REPAIR OR REPLACEMENT OF SAID UTILITIES DAMAGED BY OPERATIONS.
12. A CONSTRUCTION DEMOLITION PLAN AND SCHEDULE SHALL BE PREPARED IN CONFORMANCE WITH CHAPTER 33 OF THE CALIFORNIA BUILDING CODE.
13. THE CONTRACTOR SHALL MAKE PROVISIONS TO HAVE ALL EXISTING ON-SITE SEWER, WATER, GAS, ELECTRIC, IRRIGATION OR TELEPHONE LINES REMOVED, ABANDONED, OR RELOCATED IF THEY ARE INTERFERING WITH THE PROPOSED CONSTRUCTION.
14. THE CONTRACTOR SHALL REMOVE, CAP, AND ABANDON ALL EXISTING ON-SITE WATER WELLS, CESSPOOLS, OR SEPTIC TANKS ENCOUNTERED DURING GRADING IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM PLUMBING CODE, THE DEPARTMENT OF HEALTH AND THE CITY MUNICIPAL CODE.
15. ANY BROKEN OR DAMAGED IMPROVEMENTS ON ADJACENT PRIVATE PROPERTY OR PUBLIC RIGHT-OF-WAY SHALL BE REPLACED OR REPAIRED IN KIND AS DIRECTED BY THE CITY ENGINEER.
16. TEMPORARY TRAFFIC CONTROL AND PEDESTRIAN ACCESS AND PROTECTION DURING CONSTRUCTION SHALL CONFORM TO THE DEPARTMENT OF PUBLIC WORKS AND DEVELOPMENT'S LATEST "PUBLIC CONVENIENCE AND TRAFFIC CONTROL SPECIFICATION" SHEET, AND THE "WATCH MANUAL" AS PUBLISHED BY THE APWA, CHAPTER 33 OF THE CALIFORNIA BUILDING CODE AND THE REQUIREMENTS OF THE CITY ENGINEER.
17. ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED, RELOCATED, OR REMOVED TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
18. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER PRIOR TO THE REMOVAL, PARTIAL REMOVAL OR TRIMMING OF TREES OVERHANGING OR LYING PARTIALLY OR FULLY WITHIN EXISTING RIGHT-OF-WAY.
19. THE SOILS REPORT PREPARED BY TERRACON, DATED SEPTEMBER 30 2015, AND ALL RECOMMENDATIONS CONTAINED THEREIN, SHALL BE MADE A PART OF THESE PLANS. SOILS REPORTS AND TESTING SHALL BE DONE BY A CIVIL OR GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA.
20. PRIOR TO THE IMPORTATION OF ANY SOIL MATERIAL TO THIS SITE, AN INVESTIGATION SHALL BE MADE AND A REPORT FILED WITH THE BUILDING OFFICIAL. USE OF THE SOIL WILL NOT BE PERMITTED IF IT IS DETERMINED BY THE TEST RESULTS THAT THE EXPANSION INDEX IS IN EXCESS OF TWENTY (20). AN "R" VALUE TEST SHALL ALSO BE PERFORMED ON IMPORT SOIL AND RESULTS SUBMITTED TO THE GRADING ENGINEER. IMPORT SOIL SHALL BE CLEAN AND FREE OF ANY DEBRIS. FAILURE TO CONFORM TO THESE REQUIREMENTS SHALL BE CAUSE FOR REMOVAL AND REPLACEMENT OF SAID SOIL.
21. STATEMENT OF QUANTITIES – INCLUDING ALL REMEDIAL GRADING AS RECOMMENDED IN THE SOILS REPORT;
- CUT 368 CUBIC YARDS (GROSS)
- FILL 186 CUBIC YARDS (GROSS)
22. ALL EARTHWORK AND OTHER QUANTITIES ARE ESTIMATED FOR BONDING AND PLAN CHECK FEE PURPOSES ONLY – NOT FOR BIDDING PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE ACCURACY OF THE ESTIMATE.
23. WATER METER AND SERVICE TO BE INSTALLED BY CITY FORCES UPON PAYMENT OF APPLICABLE FEES.

IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA

# PRECISE GRADING PLANS

12821 KNOTT STREET  
GARDEN GROVE, CA 92841

24. PRIOR TO PLACEMENT OF PARKING LOT STRUCTURAL SECTION, DEVELOPER SHALL COMPACT SUB-GRADE TO 90% MIN. RELATIVE COMPACTION. AGGREGATE BASE SHALL BE CLASS II 3/4" COMPACTED TO 90% RELATIVE COMPACTION. THE DEVELOPER'S GEOTECHNICAL ENGINEER SHALL SUBMIT COMPACTION TESTS TO THE CITY PER ASTM D1557 (METHOD C FOR AGGREGATE BASE). ASPHALT CONCRETE SHALL BE CLASS C2 DENSE MEDIUM ASPHALT CONCRETE MIX PER TABLE 203-6.4.3(A) (THE "GREENBOOK" 2012 EDITION CONFORMING TO PAGE 70-10.)
25. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A SIX (6) FOOT HIGH CHAIN LINK FENCE TO SECURE THE PROJECT PERIMETER. THE FENCE SHALL BE REMOVED UPON CONSTRUCTION OF PERMANENT PERIMETER FENCING AND/OR COMPLETION OF THE PROJECT.
26. CONCRETE FORM ELEVATIONS FOR CURB AND DRAINAGE GUTTERS ARE TO BE VERIFIED FOR PLAN GRADE BY A LICENSED SURVEYOR PRIOR TO CONCRETE POUR. ANY DEVIATIONS FROM THESE APPROVED PLANS SHALL REQUIRE APPROVAL BY THE CITY ENGINEER OR CORRECTED PRIOR TO PLACEMENT OF CONCRETE BY SUBMITTAL OF A REQUEST FOR REVISION TO THE APPROVED PLAN.
27. UPON COMPLETION OF ALL WORK, THE REGISTERED CIVIL ENGINEER OF RECORD SHALL CERTIFY IN WRITING THAT THE PROJECT IS IN COMPLIANCE WITH THE LINES, GRADES, AND ELEVATIONS ON THE APPROVED GRADING PLAN. IF THE BUILDING IS IN A FLOOD ZONE HAZARD AREA, THE CIVIL ENGINEER SHALL SUPPLY ADDITIONAL CERTIFICATIONS VERIFYING THAT THE LOWEST FINISH FLOOR ELEVATION(S) COMPLY WITH THE FEMA FLOOD HAZARD ELEVATIONS AS REQUIRED UNDER 1612A OF THE CALIFORNIA BUILDING CODE. (CERTIFICATION FORMS SHALL BE OBTAINED FROM THE CITY AND WET-SIGNED BY THE ENGINEER OF RECORD).
28. ALL CONCRETE FOR CURBS, GUTTERS, AND SIDEWALKS SHALL BE 2500 PSI AT 28 DAYS. CATCH BASINS AND TRUCK WELLS SHALL BE 3000 PSI AT 28 DAYS.
29. PROVIDE THE FOLLOWING SIGNING AND STRIPING. EACH PARKING SPACE RESERVED FOR PERSONS WITH PHYSICAL DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON A DARK BLUE BACKGROUND. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND WHEN IN THE PATH OF TRAVEL, SHALL BE POSTED AT A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE FINISHED GRADE. SIGNS MAY ALSO BE CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT OF 36 INCHES FROM THE PARKING SPACE FINISHED GRADE, GROUND OR SIDEWALK. PARKING STALL LAYOUT SHALL CONFORM TO TITLE 24 2013 CALIFORNIA BUILDING CODE, CHAPTERS 11A AND 11B, AND THE DEPARTMENT OF JUSTICE STANDARDS, LATEST EDITION.
30. AN ADDITIONAL SIGN SHALL ALSO BE POSTED, IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL BE NOT LESS THAN 17 INCHES X 22 INCHES IN SIZE WITH LETTERING NOT LESS THAN 1 INCH IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING:
31. "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED HANDICAPPED SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY DISABLED PERSONS MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLE MAY BE RECLAIMED BY TELEPHONING (714) 741-5704.
- \*VERIFY NUMBER WITH POLICE DEPARTMENT PRIOR TO FABRICATION OF SIGNS.
32. IN ADDITION TO THE ABOVE-REQUIRED SIGNS, THE SURFACE OF EACH PARKING SPACE SHALL HAVE A SURFACE IDENTIFICATION OF EITHER OF THE FOLLOWING:
- a. OUTLINE THE STALL IN BLUE AND PROVIDE A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE (OR OTHER CONTRASTING COLOR).
- b. PROVIDE A 36 INCHES X 36 INCHES PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON A BLUE BACKGROUND. SYMBOL SHALL BE LOCATED SUCH THAT IT IS VISIBLE TO A TRAFFIC ENFORCEMENT OFFICER WHEN THE VEHICLE IS PARKED.
- c. ALL COMPACT PARKING STALLS SHALL BE INDIVIDUALLY STRIPED AND MARKED ON THE PARKING SPACE SURFACE. ALL PARKING STALLS SHALL BE HAIRPIN STRIPED. ALL CURBS NOT ASSOCIATED WITH A PARKING STALL SHALL BE PAINTED RED.
33. ALL CURB RAMPS SHALL HAVE A GROOVED BORDER 12 INCHES WIDE, AT THE LEVEL SURFACE OR LANDING OF THE SIDEWALK ALONG THE TOP OF THE RISE AND EACH SIDE APPROXIMATELY SPACED 3/4 INCHES ON CENTER OF THE GROOVES. ALL CURB RAMPS CONSTRUCTED BETWEEN THE FACE OF THE CURB AND THE STREET RIGHT OF WAY SHALL HAVE A GROOVED BORDER AT THE LEVEL SURFACE OR LANDING OF THE SIDEWALK. RAMPS SHALL BE SHOWN ON THESE APPROVED PLANS AND IN CONFORMANCE WITH TITLE 24, 2013 CALIFORNIA BUILDING CODE, CHAPTER 11A AND 11B , AND THE DEPARTMENT OF JUSTICE STANDARDS, LATEST EDITION.
34. FOR EXTERIOR WALKWAYS AND PATHS OF TRAVEL, OBJECTS PROJECTING FROM WALLS (FOR EXAMPLE, TELEPHONES) WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4 INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27 INCHES ABOVE THE FINISHED FLOOR MAY NOT PROTRUDE ANY AMOUNT.
35. FREESTANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12 INCHES MAXIMUM FROM 27 INCHES TO 80 INCHES ABOVE THE GROUND OR FINISHED FLOOR. PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE. ANY OBSTRUCTION OVERHANGING A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKING SURFACE AS MEASURED TO THE BOTTOM OF THE OBSTRUCTION.
36. WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES OR OTHER CIRCULATION SPACES SHALL HAVE 80 INCHES MINIMUM CLEAR HEADROOM. ABRUPT CHANGES IN LEVEL, EXCEPT BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY, EXCEEDING 4 INCHES IN A VERTICAL DIMENSION, SUCH AS AT PLANTERS OR FOUNTAINS LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS, OR OTHER PEDESTRIAN WAYS SHALL BE IDENTIFIED BY CURBS PROJECTING AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE TO WARN THE BLIND OF A POTENTIAL DROP-OFF.
37. WHEN A GUARDRAIL OR HANDRAIL IS PROVIDED, NO CURB IS REQUIRED WHEN A GUIDE RAIL IS PROVIDED CENTERED 3 INCHES PLUS OR MINUS ONE INCH ABOVE THE SURFACE OF THE WALK OR SIDEWALK. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF TITLE 24, 2013 CALIFORNIA BUILDING CODE, CHAPTER 11A AND 11B AND THE DEPARTMENT OF JUSTICE STANDARDS, LATEST EDITION.
38. ALL HANDICAP PARKING STALLS SHALL CONFORM TO THE DETAIL(S) SHOWN ON THE PLANS, AND TITLE 24, 2013 CALIFORNIA BUILDING CODE CHAPTER 11A AND 11B, AND THE DEPARTMENT OF JUSTICE STANDARDS, LATEST EDITION.
39. DRAINAGE SHALL BE CHECKED BY FLOODING OF PAVED AREAS AND CONCRETE GUTTERS. ANY CONCRETE AREAS HOLDING WATER SHALL BE REMOVED AND REPLACED. ANY PAVEMENT AREAS HOLDING WATER SHALL BE REMOVED AND REPLACED OR GROUND TO A UNIFORM DEPTH OF 1" AND CAPPED TO THE SATISFACTION OF THE CITY ENGINEER.
40. LANDSCAPE TREATMENT AND GROUND CONTOURING AS PER THE APPROVED LANDSCAPE PLAN, INCLUDING LIGHTING STANDARDS, SHALL BE SHOWN ON THE GRADING PLAN. LOCATION OF TREES SHALL ALSO BE SHOWN.
41. THE DEVELOPER SHALL SWEEP ALL STREETS IN THE AREA OF THE CONSTRUCTION SITE ON A DAILY BASIS AS REQUIRED BY THE CITY ENGINEER. WASHING DOWN OF ANY STREET SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER AFTER ALL DEBRIS AND SILT HAVE BEEN REMOVED. FAILURE TO COMPLY WITH THIS SECTION SHALL BE CAUSE FOR IMMEDIATE SUSPENSION OF ALL WORK ON THE DEVELOPMENT AS WELL AS SUSPENSION OF ALL PERMITS APPROVED TO DATE.
42. ALL WORK SHALL BE IN CONFORMANCE WITH THE LATEST NPDES PERMIT AND CITY OF GARDEN GROVE LOCAL IMPLEMENTATION PLAN (LIP) AND ADOPTED LOW IMPACT DEVELOPMENT (LID) REQUIREMENTS. COPIES OF APPROVED EROSION CONTROL PLANS AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHERE REQUIRED, SHALL BE AT THE CONSTRUCTION SITE AT ALL TIMES AND MADE AVAILABLE UPON REQUEST FOR REVIEW AND IMPLEMENTATION.
43. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL IMPORTED AND EXPORTED SOIL IS FREE OF THE RED IMPORTED FIRE ANT (RIFA).
44. ALL ON-SITE CATCH BASINS SHALL BE STENCILED NOTIFYING THE PUBLIC THAT NO DUMPING IS PERMITTED AND THAT ALL FLOWS DRAIN TO THE OCEAN. THE CONTRACTOR SHALL OBTAIN THE LATEST STENCIL FROM THE CITY STREETS DIVISION~714.741.5278.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF GARDEN GROVE IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 13 IN SECTION 35, TOWNSHIP 4 SOUTH, RANGE 11 WEST, IN THE CITY OF GARDEN GROVE, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP OF A RESURVEY OF THE J.W. BIXBY AND CO.'S SUBDIVISION OF A PART OF THE RANCHO LOS ALAMITOS, FILED IN BOOK 2, PAGE 43 OF RECORD OF SURVEYS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL B AS SHOWN ON A MAP FILED IN BOOK 38, PAGE 38 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM, ALL MINERALS, OILS, GASES AND OTHER HYDROCARBONS, BY WHATSOEVER NAME KNOWN, THAT MAYBE WITHIN OR UNDER SAID LAND, WITHOUT, HOWEVER, THE RIGHT TO DRILL, DIG, OR MINE THROUGH THE SURFACE THEREOF, AS RESERVED IN THE DEED FROM THE STATE OF CALIFORNIA, RECORDED APRIL 10, 1970 IN BOOK 9280, PAGE 563 OFFICIAL RECORDS.

BENCHMARK INFORMATION

THE CONTOURS AND ELEVATIONS SHOWN HEREON ARE BASED ON THE FOLLOWING BENCHMARK:

BM No.: 1H-113-70 ELEV.: 45.447' (COUNTY OF ORANGE BENCHMARK)

DATUM: NAVD 88

DESCRIPTION: DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "1H-113-70", SET IN THE SOUTHEASTERLY CORNER OF A 3.5 FT. BY 8.5 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHWESTERLY CORNER OF THE INTERSECTION OF KNOTT AVENUE AND STANFORD AVENUE, 33.5 FT. WESTERLY OF THE CENTERLINE OF KNOTT AND 72.5 FT. SOUTHERLY OF THE CENTERLINE OF STANFORD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

CONTOUR INTERVAL=1'

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY LINE OF PARCEL B AS SHOWN ON PARCEL MAP FILED IN PARCEL MAP BOOK 38, PAGE 38, RECORDS OF ORANGE COUNTY, CALIFORNIA, BEING NORTH 79°20'15" WEST.

UNDERGROUND UTILITIES + STRUCTURES

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN IN THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO THESE LINES OR STRUCTURES.

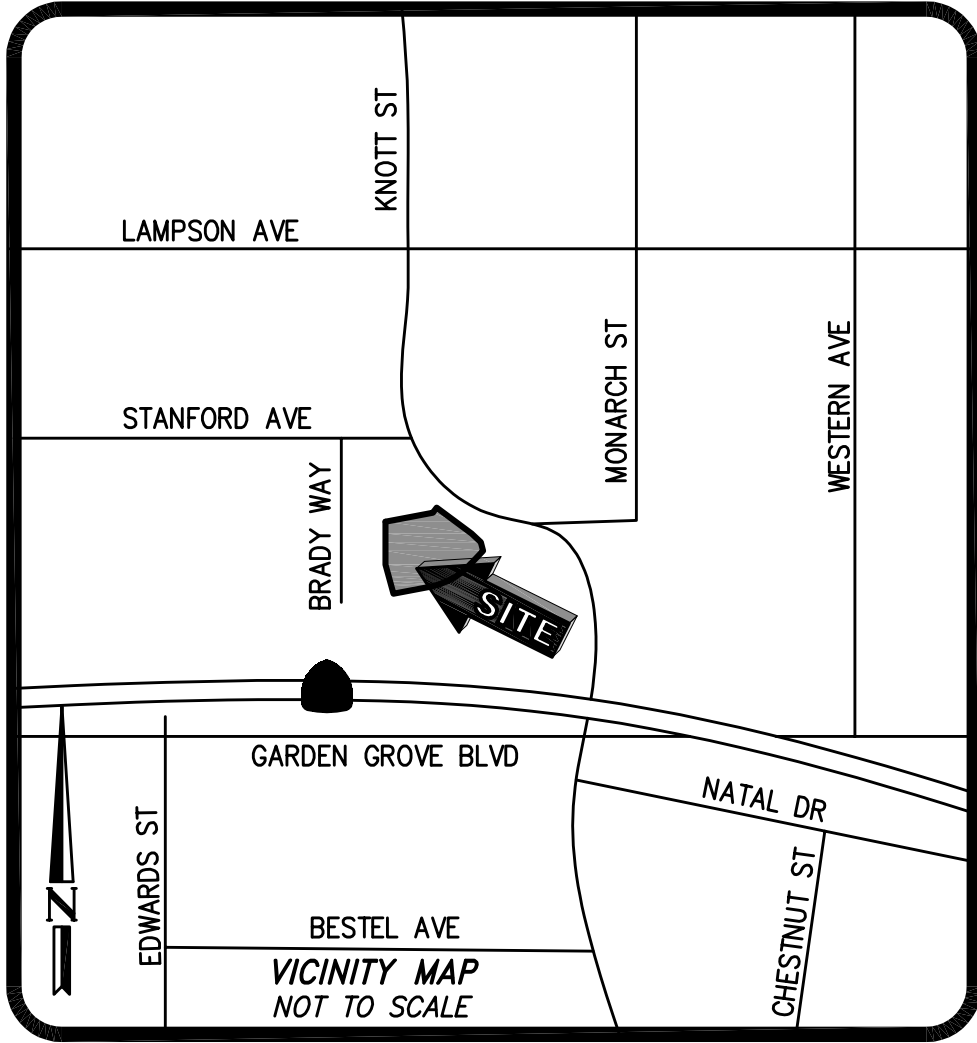
\*CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.\*

ABBREVIATIONS

BW	BACK OF WALK	LA	LANDSCAPE AREA
CF	CURB FACE	LP	LOW POINT
CL	CENTERLINE	MH	MANHOLE
DCV=X,XXX CF	DESIGN CAPTURE VOLUME (CUBIC FEET)	NAP	NOT A PART
DDC	DOUBLE DETECTOR CHECK VALVE	PCC	PORTLAND CONCRETE CEMENT
DI	DRAIN INLET	PL	PROPERTY LINE
DW	DOMESTIC WATER	PUE	PUBLIC UTILITY EASEMENT
EXIST.	EXISTING	R	RIDGE LINE
EG	EXIST. GROUND	RET.	RETAINING WALL
EV	ELECTRIC VEHICLE PARKING	RPPB	REDUCE PRESSURE BACKFLOW PREVENTER
FH	FIRE HYDRANT	RW	RIGHT OF WAY
FF	FINISH FLOOR	SD	STORM DRAIN
FG	FINISH GRADE	SPPWC	STANDARD PLANS FOR PUBLIC WORKS
FL	FLOWLINE	SS	SANITARY SEWER
FS	FINISH SURFACE	TC	TOP OF CURB
FW	FIRE WATER	TF	TOP OF FOOTING
GB	GRADE BREAK	TG	TOP OF GRATE
HOPE	HIGH-DENSITY POLYETHYLENE	TP	TYPICAL
HP	HIGH POINT	WM	WATER METER
INV	INVERT		

LEGEND

	BOUNDARY LINE		FIRE HYDRANT		STREET LIGHT
	CENTERLINE		GUY ANCHOR		TREE
	CURB LINE		LIGHT POLE		TRAFFIC SIGNAL WITH ARM
	CURB AND GUTTER		PALM TREE		TRAFFIC SIGNAL ON POLE
	FLOW LINE		POWER POLE		UNKNOWN MANHOLE
	SAWCUT LINE		SIGN		UNKNOWN VALVE
	RATE OF GRADE				
	PROPOSED ELEVATIONS				
	EXISTING ELEVATIONS				



SHEET INDEX

- 1 TITLE SHEET
- 2 DETAILS
- 3 DEMOLITION PLAN
- 4 PRECISE GRADING PLAN
- 5 PRECISE GRADING PLAN
- 6 PRECISE GRADING PLAN
- 7 UTILITY AND STORM DRAIN PLAN
- 8 STORM DRAIN DETAILS
- 9 STORM DRAIN DETAILS
- 10 EROSION CONTROL PLAN

PRELIMINARY EARTHWORK QUANTITY ESTIMATE

	CUT (CY)	FILL (CY)
RAW	3900	250
TOTALS	3900	250
NET =	3650 CY EXPORT	

THE ABOVE QUANTITIES DO NOT REFLECT OR ANY SPECIAL CONDITIONS THAT MAY BE SPECIFIED IN THE PRELIMINARY SOILS REPORT AND ARE FOR REFERENCE AND FEE PURPOSES ONLY. SINCE THE ENGINEER CANNOT CONTROL THE EXACT METHOD OR MEANS USED BY THE CONTRACTOR DURING GRADING OPERATION, NOR CAN THE ENGINEER GUARANTEE THE EXACT SOIL CONDITION OVER THE ENTIRE SITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL EARTHWORK QUANTITIES FOR BIDDING, CONTRACT, AND CONSTRUCTION PURPOSES. IF IT APPEARS THERE WILL BE AN EXCESS OR SHORTAGE OF MATERIAL, THE CONTRACTOR MAY NOTIFY THE ENGINEER TO DETERMINE IF POSSIBLE GRADE ADJUSTMENTS CAN BE MADE TO ALLEVIATE SAID MATERIAL EXCESS OR SHORTAGE.

UTILITIES

CABLE

TIME WARNER CABLE  
560 S PROMENADE AVE, SUITE 102  
CORONA, CA 92879  
(714) 903-4000

GAS

SOUTHERN CALIFORNIA GAS COMPANY  
12631 MONARCH STREET  
GARDEN GROVE, CA 92841  
(800) 427-2200

TELEPHONE

AT&T  
3939 E. CORONADO, 2ND FLOOR  
ANAHEIM, CA 92807  
(717)618-9141

SEWER

GARDEN GROVE SANITARY DISTRICT  
13802 NEWHOPE STREET  
GARDEN GROVE, CA 92843  
(714) 741-5395

SCE

SOUTHERN CALIFORNIA EDISON COMPANY  
(800) 611-1911

WATER

GARDEN GROVE WATER SERVICES DIVISION  
13802 NEWHOPE STREET  
GARDEN GROVE, CA 92843  
(714) 741-5395

CONTACTS

ENGINEER

DRC ENGINEERING, INC.  
160 SOUTH OLD SPRINGS ROAD, STE 210  
ANAHEIM, CA 92808  
(714) 685-6860  
CONTACT: GREG COOKE

OWNER/DEVELOPER

REXFORD INDUSTRIAL REALTY, INC.  
11620 WILSHIRE BLVD., #1000  
LOS ANGELES, CALIFORNIA 90024  
(310) 966-1680  
CONTACT: BRUCE HERBKERSMAN

SOILS ENGINEER

EARTH SYSTEMS PACIFIC  
2122 EAST WALNUT STREET, SUITE 200  
PASADENA, CALIFORNIA 91107  
(626) 356-0955  
CONTACT: ANTHONY P. MAZZEI, P.E., G.E.




Know what's below.  
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DESIGNED BY: GRC	DRAWN BY: MS	CHECKED BY: GRC	STREET AND STORM DRAIN CONSTRUCTION SHEET DRAWING NUMBER A-1120.3, SHEET 3 OF 6;				PREPARED BY:	160 S. Old Springs Road Suite 210 Anaheim Hills, CA 92808 714-685-6860	OWNER: REXFORD INDUSTRIAL REALTY, INC. 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92868 (714) 602-1743	ARCHITECT: JOHN G. CATALDO & ASSOCIATES 835 MISSION STREET SOUTH PASADENA, CA 91030 (626) 799-4400	PLANS PREPARED FOR: REXFORD INDUSTRIAL REALTY, INC. 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92868 (714) 602-1743	CITY OF GARDEN GROVE PRECISE GRADING PLAN TITLE SHEET 12821 KNOTT STREET GARDEN GROVE, CA 92841	DRAWING NUMBER --
APPROVED BY:			PUBLIC WORKS SANITARY DISTRICT MAP; SEWER ATLAS STREET-DRAWING #NW 81;				 Engineering, Inc. Civil Engineering/Land Surveying/Land Planning						
EXP. DATE: 6/30/2020 RCE # 77291			WATER SERVICES DIVISION-WATER ATLAS SHEET - GRID/DRAWING NUMBER G-11, G-12, H-12	DATE	BY		DESCRIPTION REVISIONS	APP'D					
			REFERENCE PLAN					GREGORY R. COOKE					SHEET 1 of 10



CONSTRUCTION NOTES	QUANTITY
1 CONSTRUCT 6" CONCRETE CURB ONLY TYPE A-6 PER CITY OF GARDEN GROVE STD. B-112.	1,722 LF
2 CONSTRUCT 6" CONCRETE CURB AND 18" GUTTER PER CITY OF GARDEN GROVE STD. B-113.	71 LF
3 CONSTRUCT 4" CURB ONLY PER DETAIL ON SHEET 2.	94 LF
4 CONSTRUCT 0" CURB ONLY PER DETAIL ON SHEET 2.	132 LF
5 CONSTRUCT CURB TRANSITION PER DETAIL ON SHEET 2.. CURB HEIGHT PER PLAN.	54 LF
6 CONSTRUCT ADA RAMP PER DETAILS ON SHEET 6.	3 EA
7 CONSTRUCT ADA RAMP AND PORTION OF ALLEY APRON PER CITY OF GARDEN GROVE STD. B-118.	225 SF
8 INSTALL DETECTABLE WALKING SURFACE TRUNCATED DOMES PER DETAIL ON SHEET 2.	200 SF
9 CONSTRUCT 12" WIDE CONCRETE STEPOUT PER DETAIL ON SHEET 2.	370 SF
10 INSTALL FULL DEPTH AC TO MATCH EXISTING CONDITION.	110 SF
11 INSTALL 3" AC OVER 4" AB PER SOILS REPORT.	43,750 SF
12 INSTALL 5" P.C.C. OVER 7" AB PER SOILS REPORT.	68,955 SF
13 GRIND 0.2' AND OVERLAY 0.2' MINIMUM.	17,250 SF
14 CONSTRUCT 4" THICK P.C.C. SIDEWALK PER ARCHITECT'S PLANS.	1,915 SF
15 CONSTRUCT 3' WIDE V-GUTTER PER DETAIL ON SHEET 2.	370 LF
16 CONSTRUCT PRECAST CONCRETE WHEEL STOP PER DETAIL ON SHEET 2.	18 EA
17 CONSTRUCT GATE PER ARCHITECT'S PLAN.	N/A
18 CONSTRUCT REFUSE STORAGE ENCLOSURE PER ARCHITECT'S PLAN.	N/A
19 CONSTRUCT BUILDING PER ARCHITECT'S PLAN.	N/A
20 CONSTRUCT STAIRS PER ARCHITECT'S PLAN.	N/A
21 CONSTRUCT LOADING DOCK AREA PER ARCHITECT'S PLAN.	N/A
22 CONSTRUCT WALL PER ARCHITECT'S PLAN.	N/A
23 CONSTRUCT 8' WIDE CURB OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201 & B-205A	1 EA
24 CONSTRUCT 4' WIDE CURB OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201 & B-205A	1 EA
25 CONSTRUCT 36"x36" GRATE INLET PER DETAIL ON SHEET 2.	2 EA
26 CONSTRUCT 18"x18" GRATE INLET PER DETAIL ON SHEET 2.	2 EA
27 CONSTRUCT MWS UNIT PER STORM DRAIN PLAN ON SHEET ...	N/A

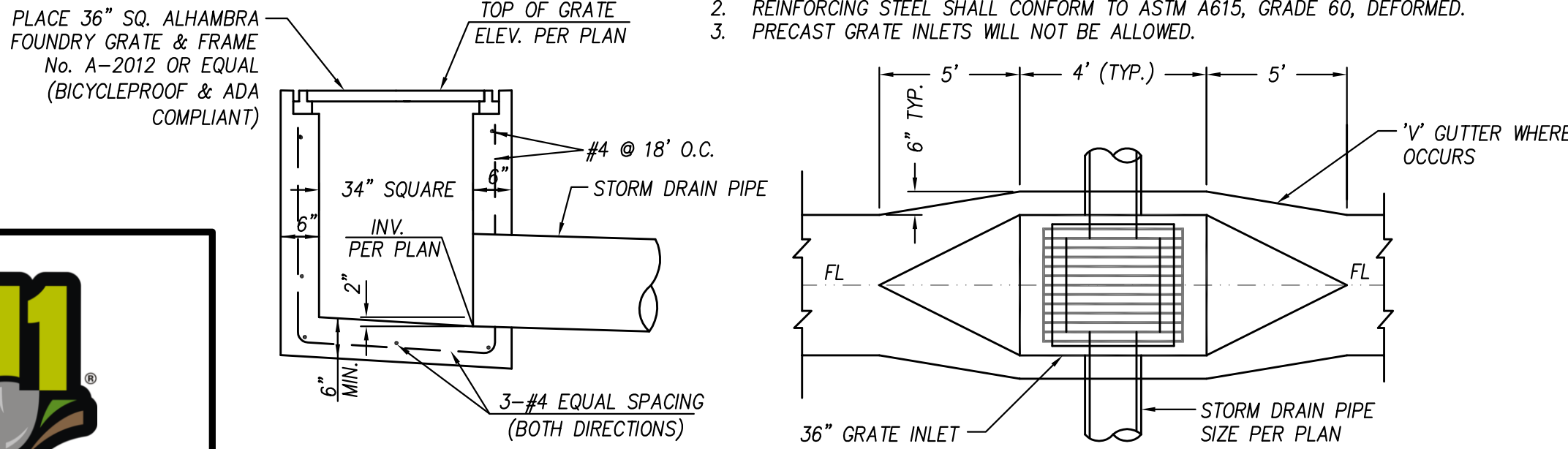
DEMOLITION NOTES	QUANTITY
1 PROTECT IN PLACE.	N/A
2 REMOVE EXISTING CURB ONLY OR CURB & GUTTER.	2,256 LF
3 REMOVE EXISTING AC PAVEMENT OVER AB.	150,318 SF
4 REMOVE EXISTING P.C.C. SIDEWALK.	4,665 SF
5 REMOVE EXISTING TREES AND LANDSCAPING.	1 LS
6 REMOVE EXISTING OVERHANG AND COLUMNS PER ARCHITECT'S PLAN.	N/A
7 REMOVE EXISTING V-GUTTER.	598 LF
8 REMOVE EXISTING SIGN	5 EA
9 REMOVE EXISTING ADA RAMP.	2 EA
10 ADJUST TO GRADE.	N/A
11 GRIND AND OVERLAY PER GRADING PLAN.	18,162 SF
12 REMOVE DOUBLE CURB CONCRETE CHANNEL.	54 LF
13 REMOVE EXISTING SEWER MANHOLE PER SHEET 7	N/A



811  
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NOTES:

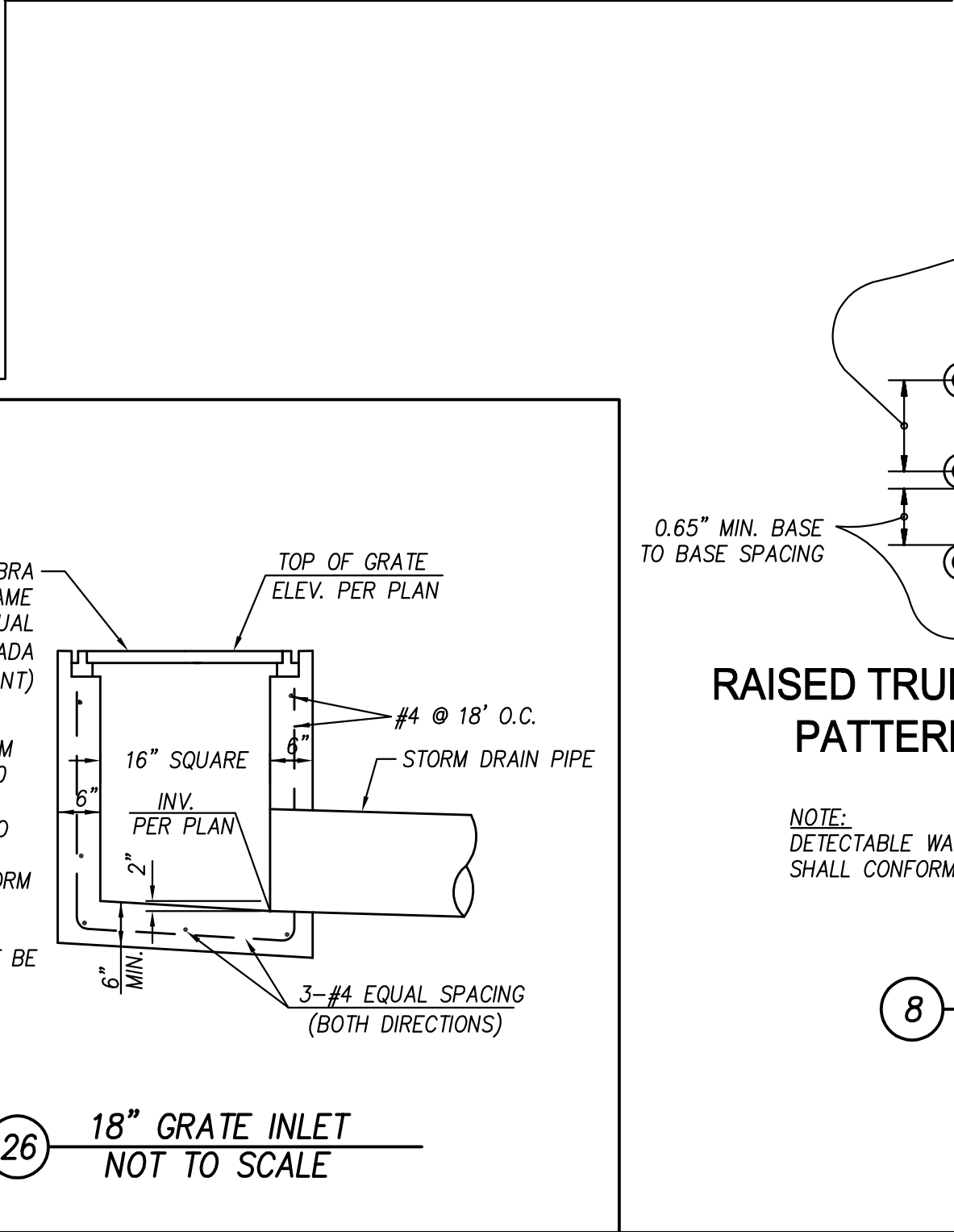
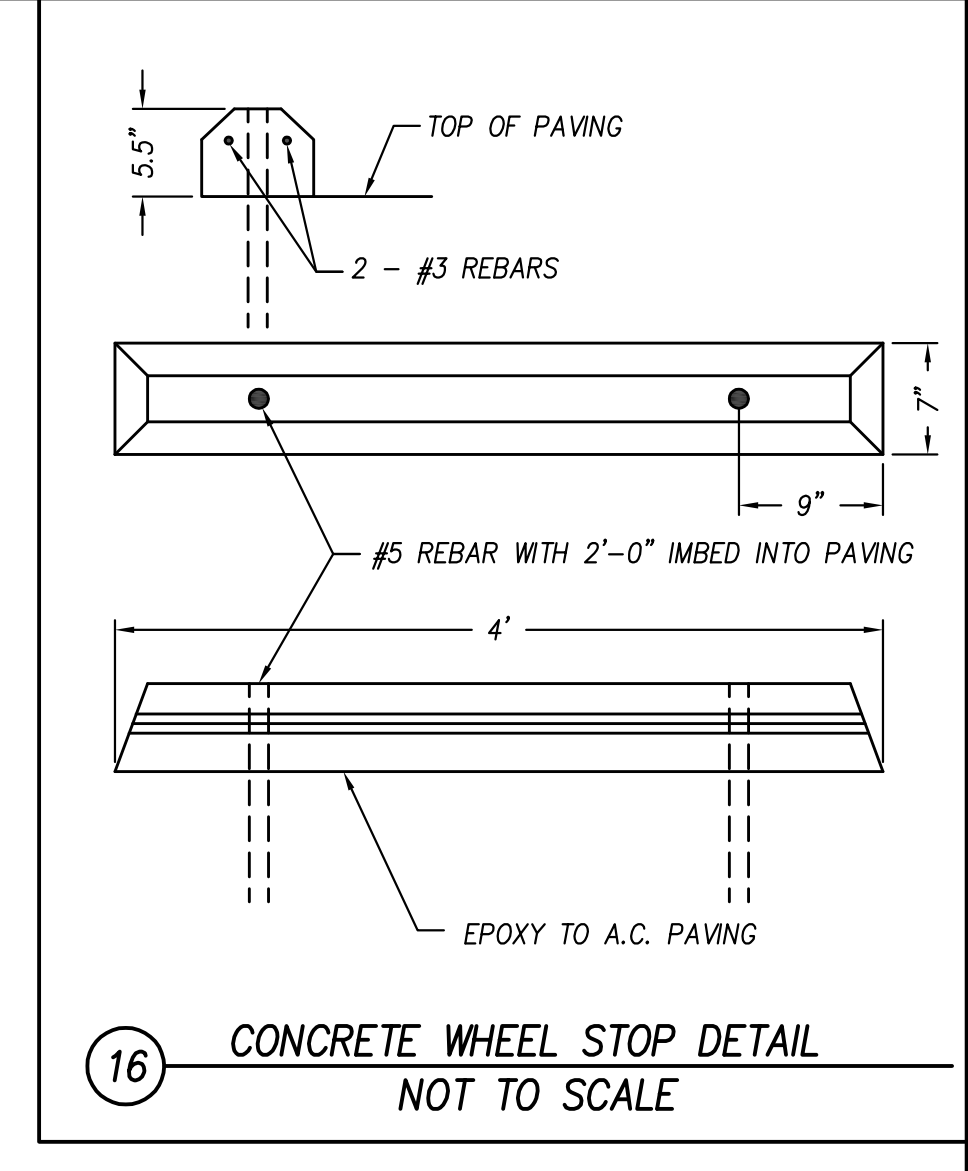
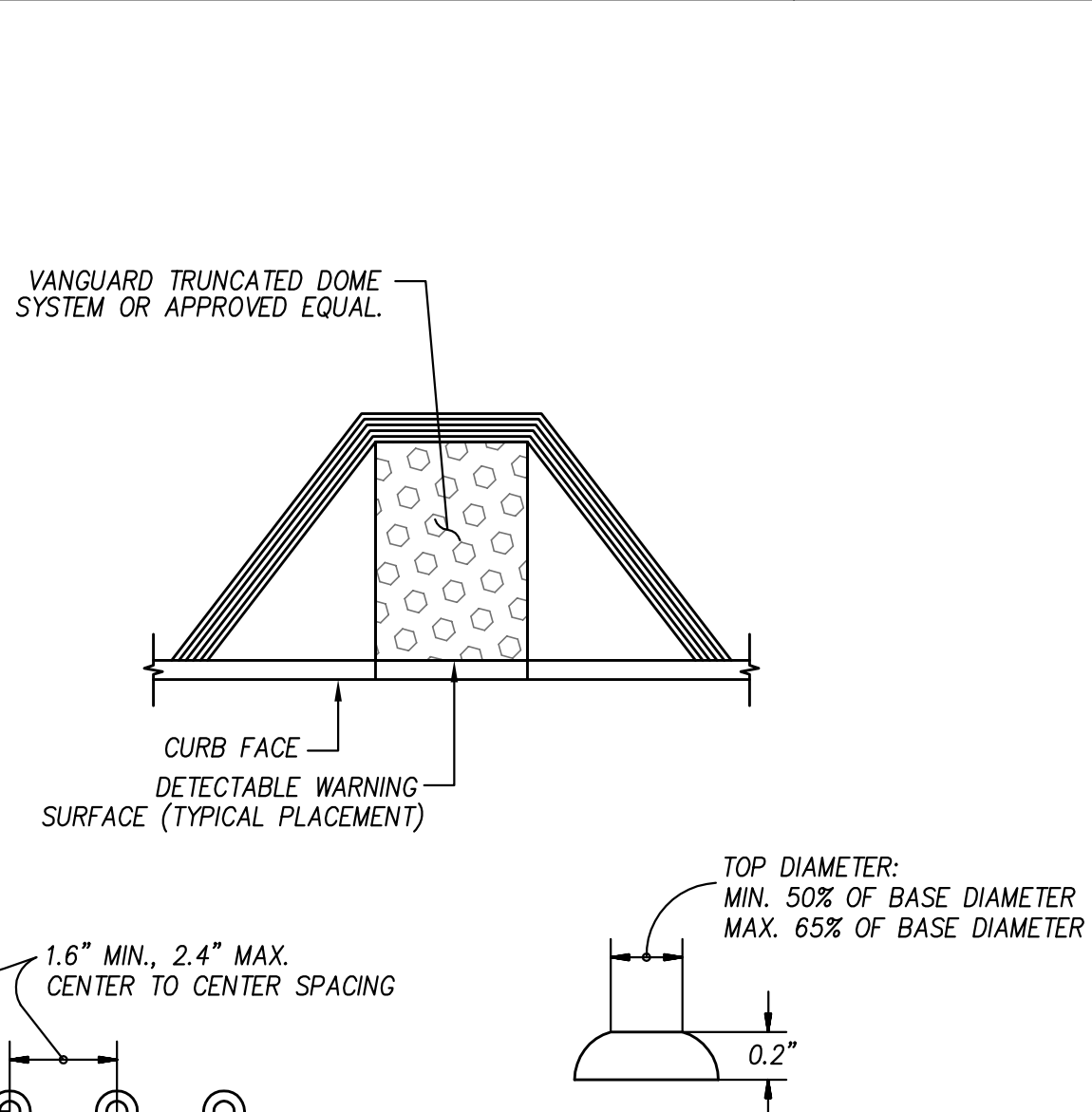
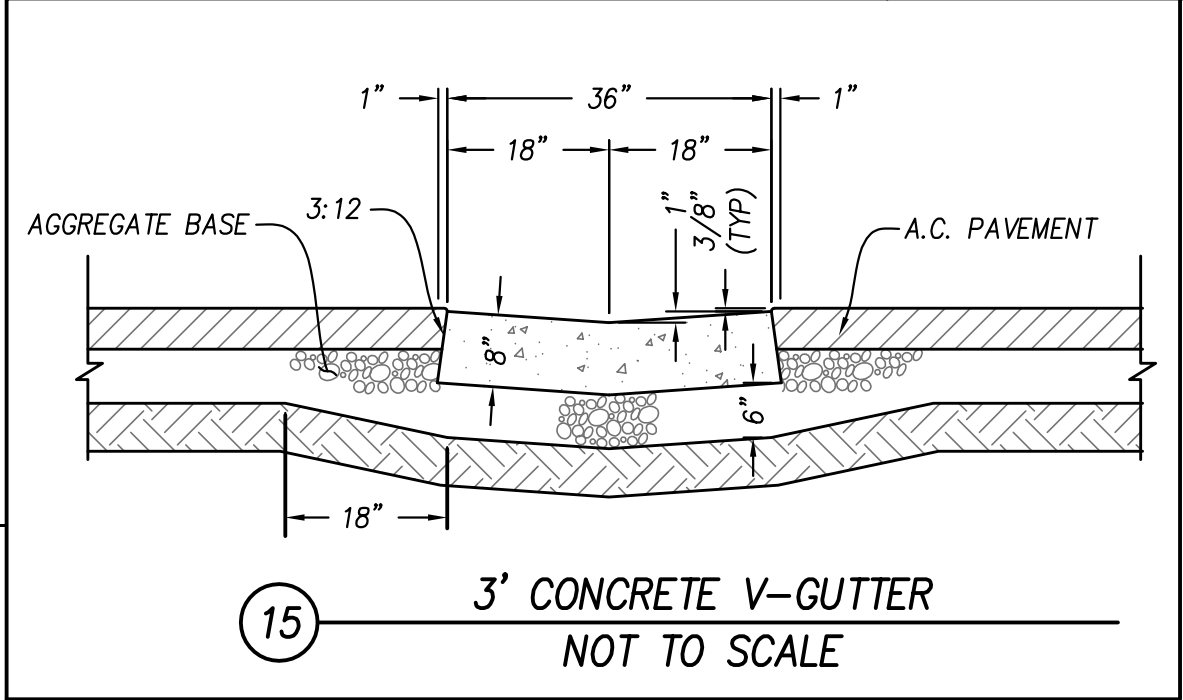
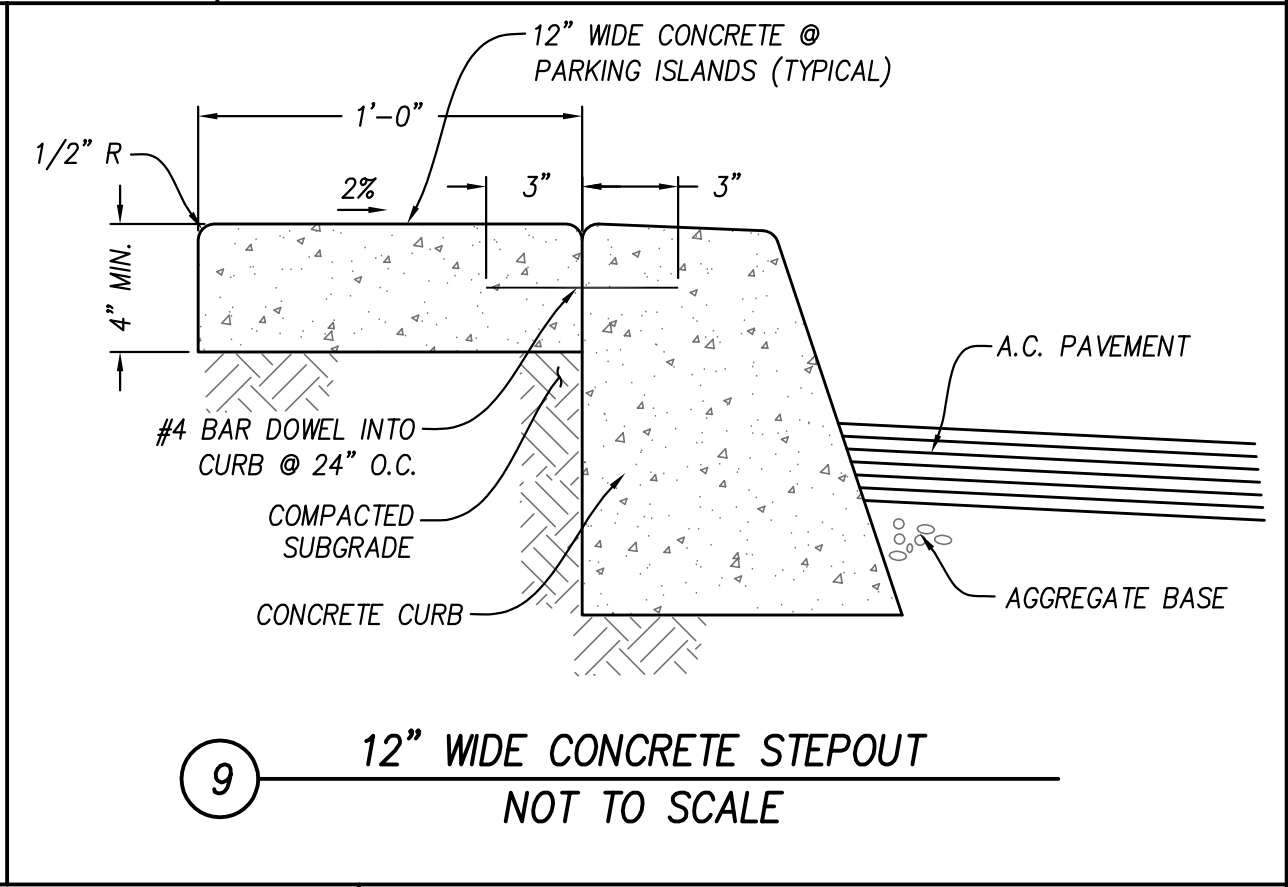
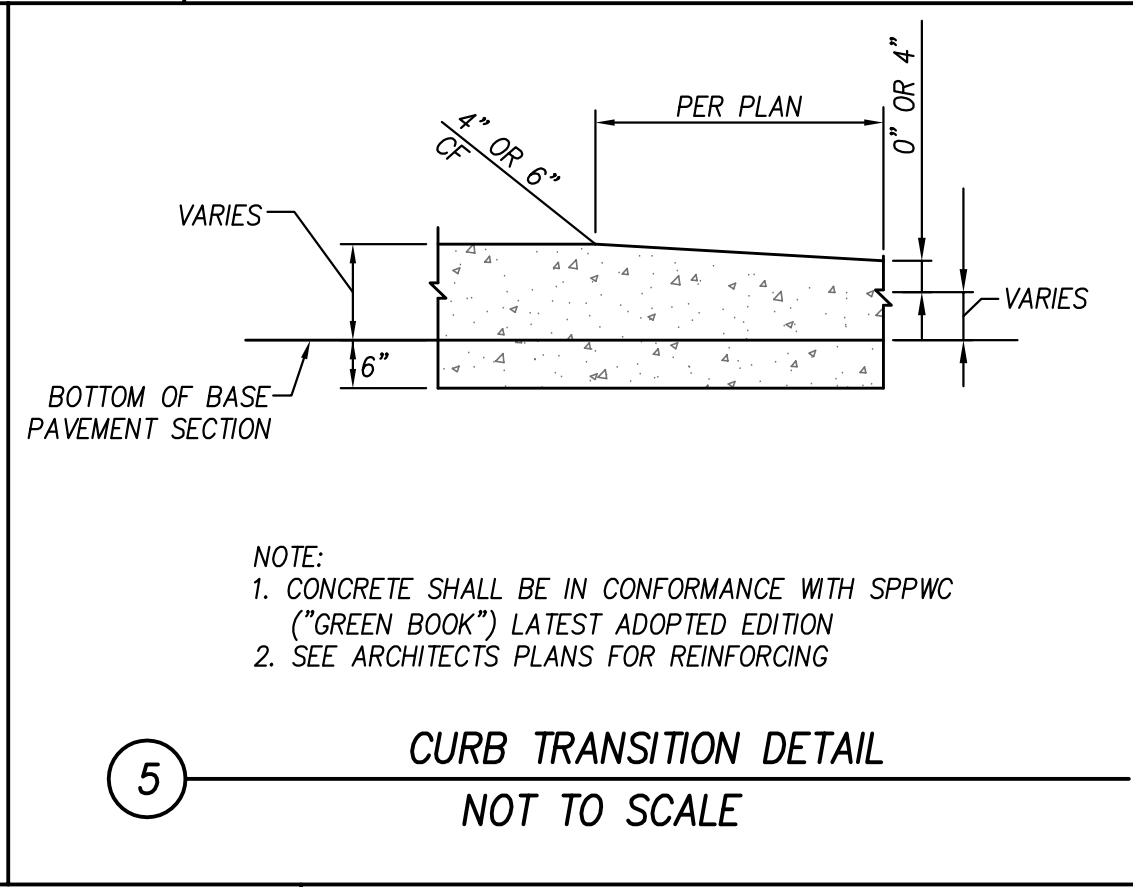
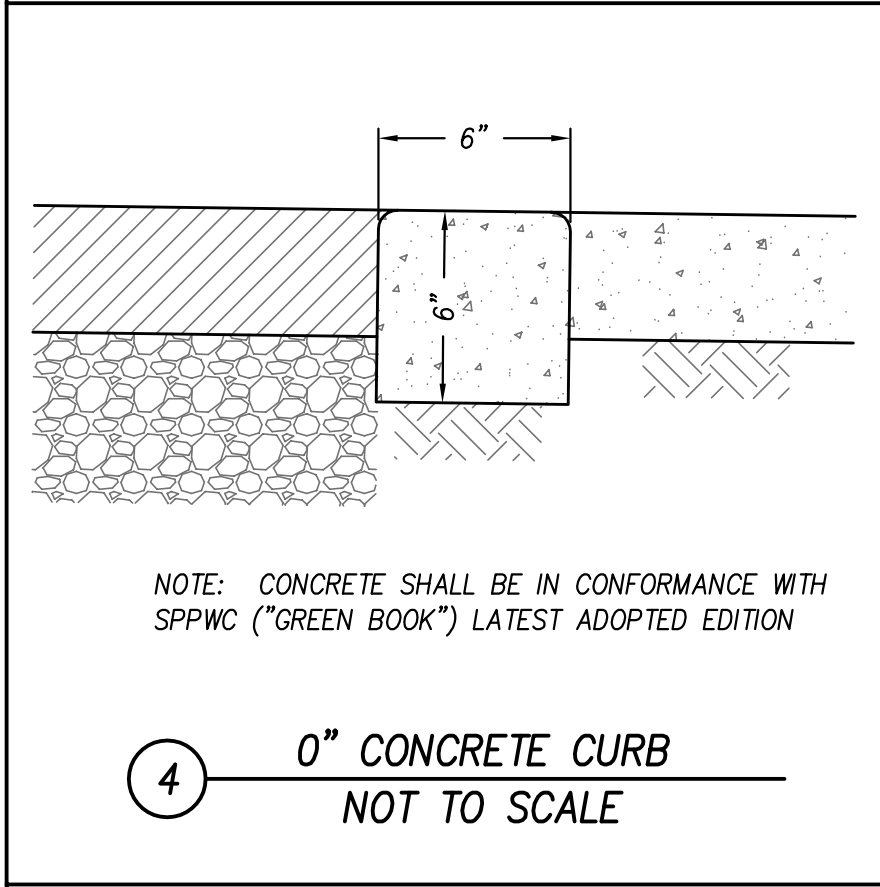
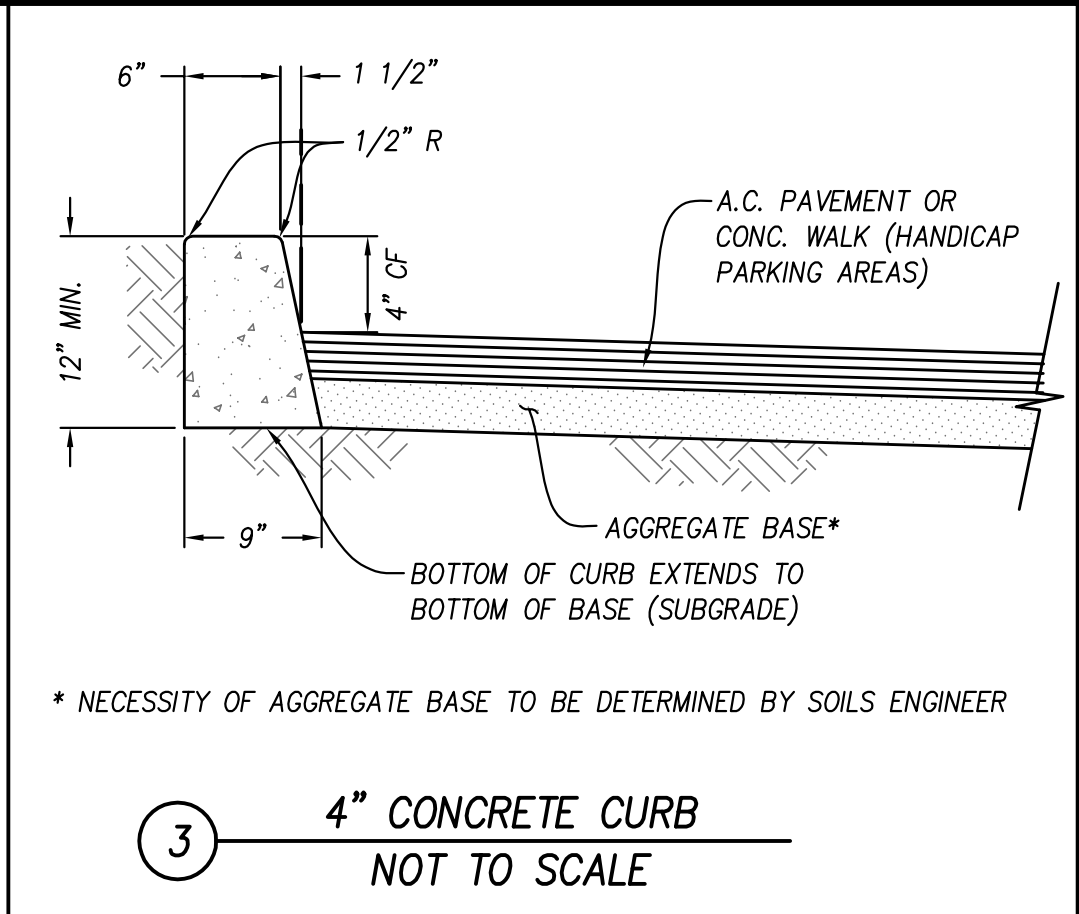
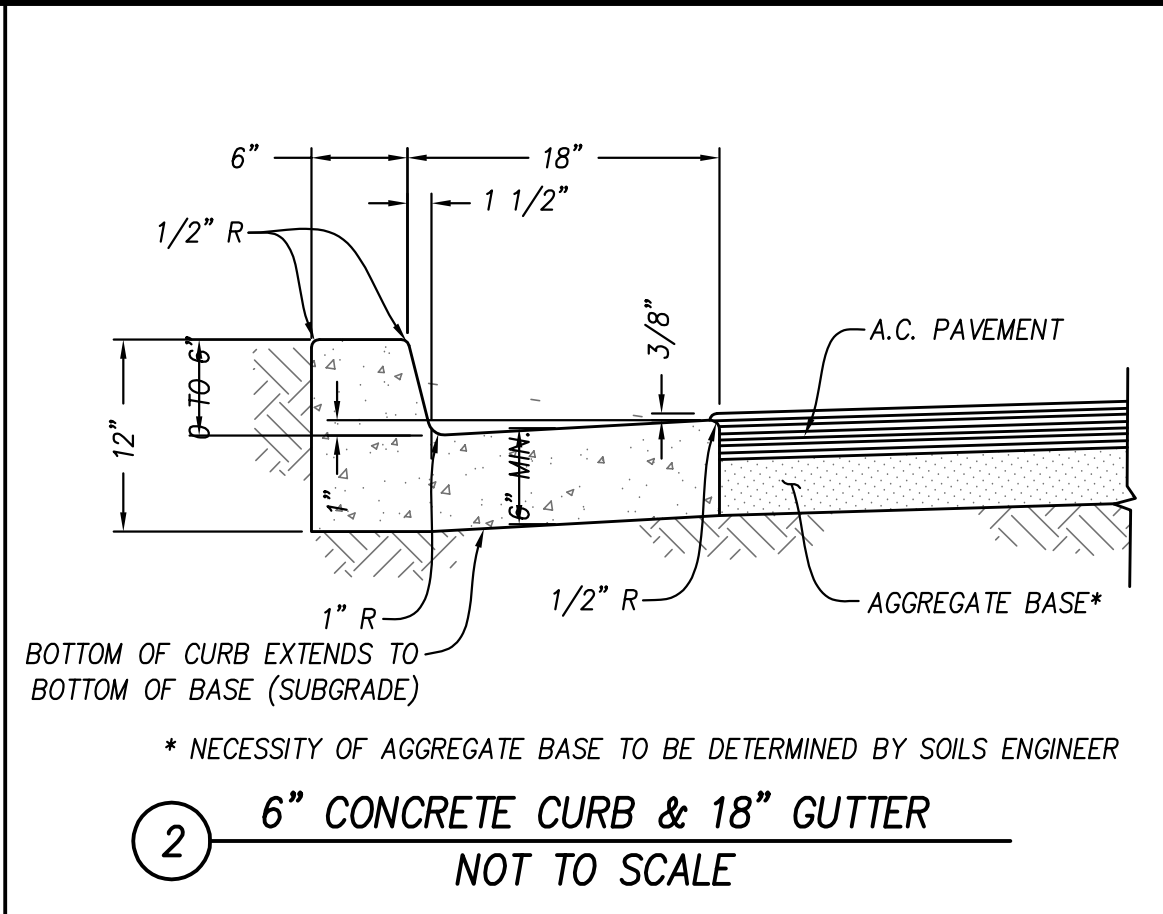
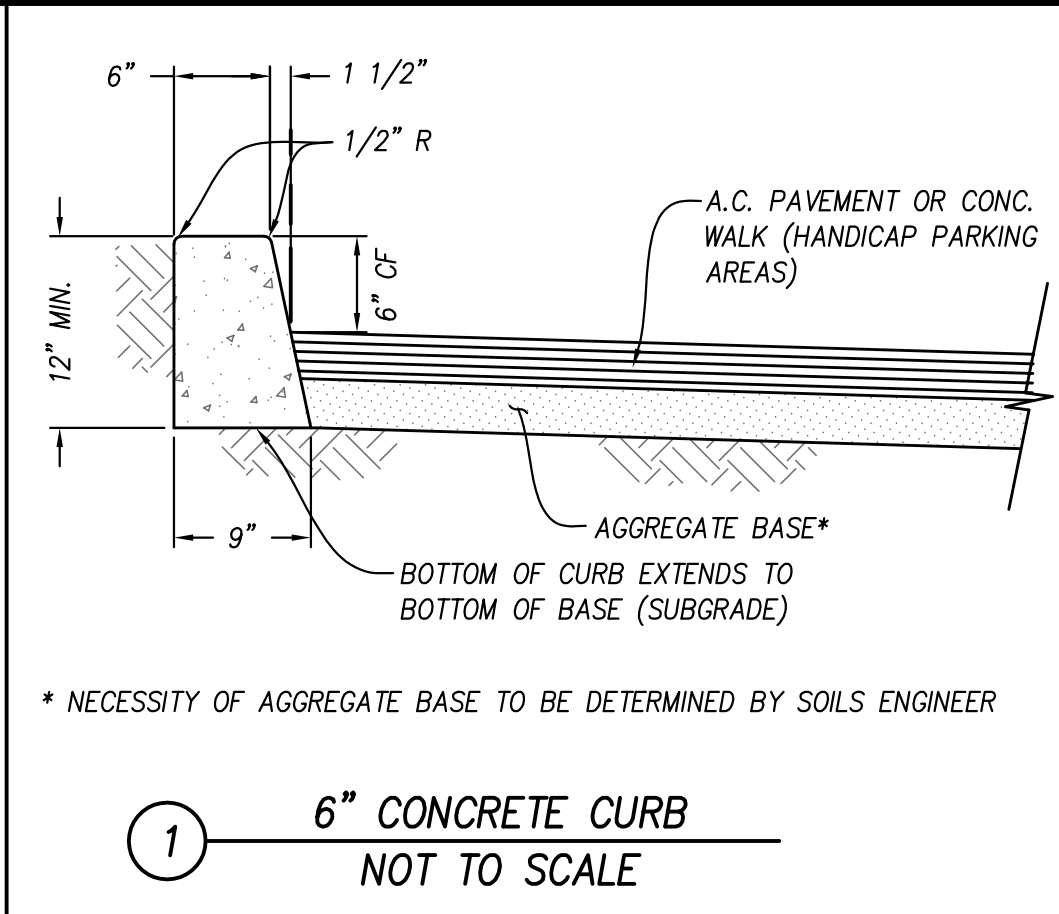
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS WITH TYPE V CEMENT AND MAXIMUM W/C RATIO OF 0.45.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED.
- PRECAST GRATE INLETS WILL NOT BE ALLOWED.



25 36" GRATE INLET  
NOT TO SCALE

STORM DRAIN CONSTRUCTION NOTES	QUANTITY
51 REMOVE EXISTING GRATE INLET OR CATCH BASIN	2 EA
52 CONNECT TO EXISTING STORM DRAIN	2 EA
53 CONSTRUCT 8" DUCTILE IRON PIPE (DIP), CLASS 52	585 LF
54 CONSTRUCT 8" PVC STORM DRAIN PIPE	35 LF
55 CONSTRUCT 12" PVC STORM DRAIN PIPE	650 LF
56 CONSTRUCT 18" HDPE STORM DRAIN PIPE	85 LF
57 CONSTRUCT 18" RCP STORM DRAIN PIPE	25 LF
58 CONSTRUCT 18" PRECAST CONCRETE ELLIPTICAL PIPE BY SCURLOCK INDUSTRIES OR APPROVED EQUAL	940 LF
59 EXISTING 8" STORM DRAIN LATERAL TO BE REMOVED AND CAPPED AT MAIN	90 LF
60 INSTALL DIP TO PVC COUPLING, ROMAC MODEL 501 OR APPROVED EQUAL	2 EA
61 INSTALL PVC FITTING, SIZE PER PLAN	10 EA
62 INSTALL DIP FITTING, SIZE PER PLAN	16 EA
63 INSTALL HDPE FITTING, SIZE PER PLAN	2 EA
64 INSTALL BROOKS 36"x36" CATCH BASIN BOX, MODEL 3636CB WITH STEEL COVER, AND 12" FLAP GATE, DRAINAGE SOLUTIONS SKU VB-FLOODVALVE12 OR APPROVED EQUAL, ON THE UPSTREAM END	2 EA
65 CONSTRUCT CONCRETE COLLAR PER SPPWC STD. PLAN NO. 380-4	3 EA
66 INSTALL 18"x18" GRATE INLET PER PRECISE GRADING PLAN AND DETAIL ON SHEET 2	3 EA
67 INSTALL 36"x36" GRATE INLET PER PRECISE GRADING PLAN AND DETAIL ON SHEET 2	2 EA
68 CONSTRUCT 4-FT WIDE CURB-OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201, B-205A, AND PRECISE GRADING PLAN	1 EA
69 CONSTRUCT 8-FT WIDE CURB-OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201, B-205A, AND PRECISE GRADING PLAN	1 EA
70 CONSTRUCT STORM DRAIN MANHOLE PER CITY OF GARDEN GROVE STD. PLAN NO. B-207	3 EA
71 CONSTRUCT JUNCTION STRUCTURE PER SPPWC STD. PLAN NO. 333-2, DIMENSIONS PER TABLE ON SHEET 7	5 EA
72 CONSTRUCT TRANSITION STRUCTURE PER SPPWC STD. PLAN NO. 340-2, DIMENSIONS PER TABLE ON SHEET 7	2 EA
73 INSTALL MODULAR WETLAND SYSTEM (MWS) PER DETAILS ON SHEETS 8-9, MODEL PER PLAN	6 EA
74 CONSTRUCT MODIFIED STORM DRAIN MANHOLE WITH 18" FLAP GATE, WATERMAN INDUSTRIES MODEL F-10 OR APPROVED EQUAL	2 EA
75 INSTALL DVERT MODULAR TROUGH DIVERSION SYSTEM MODEL DVT-10-8 PER DETAIL ON SHEET 9	2 EA
76 INSTALL DVERT MODULAR TROUGH DIVERSION SYSTEM GRATE TYPE PER DETAIL ON SHEET 9	5 EA

SEWER CONSTRUCTION NOTES	QUANTITY
91 REMOVE EXISTING SEWER	185 LF
92 REMOVE EXISTING SEWER MANHOLE	1 EA
93 EXISTING SEWER TO BE PROTECTED IN PLACE	N/A
94 CONSTRUCT SEWER MANHOLE PER GARDEN GROVE SANITARY DISTRICT STD. PLAN NO. S-100	1 EA
95 CONSTRUCT SEWER LATERAL CLEANOUT PER GARDEN GROVE SANITARY DISTRICT STD. PLAN NO. S-105. SEE SEPARATE PLUMBING PLAN FOR CONTINUATION.	1 EA
96 CONSTRUCT 4" PVC SEWER LATERAL PER GARDEN GROVE SANITARY DISTRICT STD. PLAN NO. S-111, BEDDING PER GARDEN GROVE SANITARY DISTRICT STD. PLAN NO. S-106	6 LF

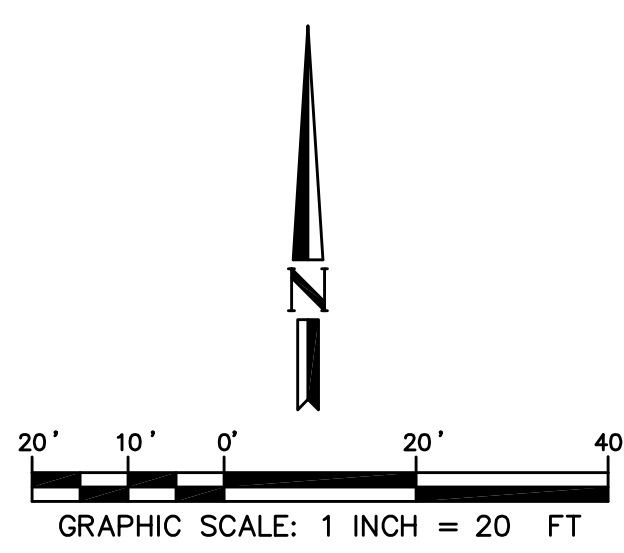
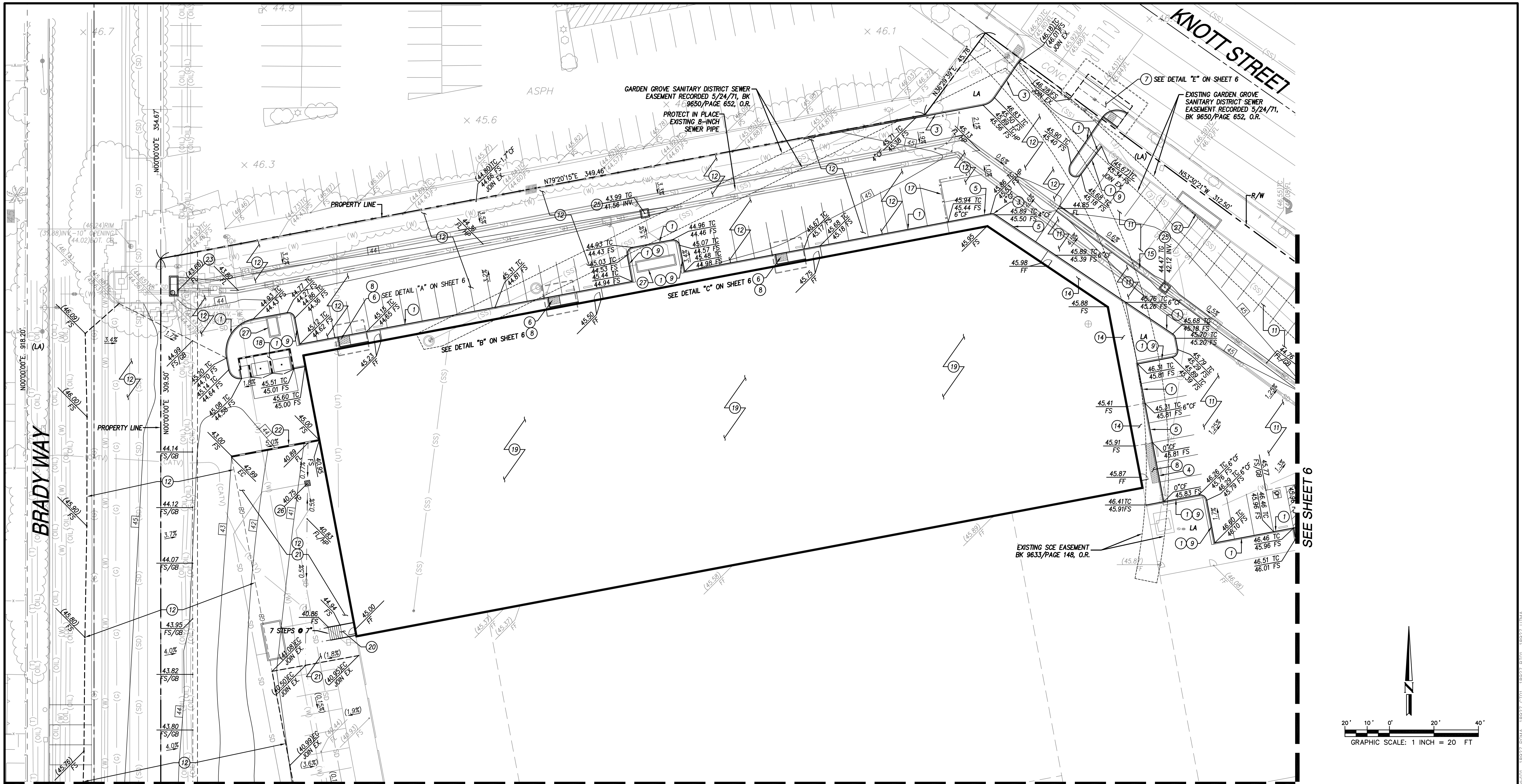


DESIGNED BY: GRC	DRAWN BY: MS	CHECKED BY: GRC	STREET AND STORM DRAIN CONSTRUCTION SHEET DRAWING NUMBER A-1120.3, SHEET 3 OF 6; STREET IMPROVEMENTS FOR BRADY WAY DRAWING NUMBER 1281, SHEET 1 OF 1; GARDEN GROVE DEPARTMENT OF PUBLIC WORKS SANITARY DISTRICT MAP; SEWER ATLAS STREET-DRAWING JNW 81;	DATE	BY	DESCRIPTION	REVISIONS	APPROVED BY: GREGORY R. COOKE	160 S. Old Springs Road Suite 210 Anaheim Hills, CA 92808 714-685-6880	OWNER: REXFORD INDUSTRIAL REALTY, INC. 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92868 (714) 602-1743	ARCHITECT: JOHN G. CATALDO & ASSOCIATES 835 MISSION STREET SOUTH PASADENA, CA 91030 (626) 799-4400	PLANS PREPARED FOR: REXFORD INDUSTRIAL REALTY, INC. 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92868 (714) 602-1743	CITY OF GARDEN GROVE PRECISE GRADING PLAN DETAILS 12821 KNOTT STREET GARDEN GROVE, CA 92841	APN: 215-014-01	DRAWING NUMBER SHEET 2 OF 10
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SEE SHEET 5

SEE SHEET 6

CONSTRUCTION NOTES

- 1 CONSTRUCT 6" CONCRETE CURB ONLY TYPE A-6 PER CITY OF GARDEN GROVE STD. B-112.

2 CONSTRUCT 6" CONCRETE CURB AND 18" GUTTER PER CITY OF GARDEN GROVE STD. B-113.

3 CONSTRUCT 4" CURB ONLY PER DETAIL ON SHEET 2.

4 CONSTRUCT 0" CURB ONLY PER DETAIL ON SHEET 2.

5 CONSTRUCT CURB TRANSITION PER DETAIL ON SHEET 2. CURB HEIGHT PER PLAN.

6 CONSTRUCT ADA RAMP PER DETAILS ON SHEET 6.

7 CONSTRUCT ADA RAMP AND PORTION OF ALLEY APRON PER CITY OF GARDEN GROVE STD. B-118.
- 8 INSTALL DETECTABLE WALKING SURFACE TRUNCATED DOMES PER DETAIL ON SHEET 2.

9 CONSTRUCT 12" WIDE CONCRETE STEPOUT PER DETAIL ON SHEET 2.

10 INSTALL FULL DEPTH AC TO MATCH EXISTING CONDITION.

11 INSTALL 3" AC OVER 4" AB PER SOILS REPORT.

12 INSTALL 5" P.C.C. OVER 7" AB PER SOILS REPORT.

13 GRIND 0.2" AND OVERLAY 0.2" MINIMUM.

14 CONSTRUCT 4" THICK P.C.C. SIDEWALK PER ARCHITECT'S PLANS.

15 CONSTRUCT 3' WIDE V-GUTTER PER DETAIL ON SHEET 2.
- 16 CONSTRUCT PRECAST CONCRETE WHEEL STOP PER DETAIL ON SHEET 2.

17 CONSTRUCT GATE PER ARCHITECT'S PLAN.

18 CONSTRUCT REFUSE STORAGE ENCLOSURE PER ARCHITECT'S PLAN.

19 CONSTRUCT BUILDING PER ARCHITECT'S PLAN.

20 CONSTRUCT STAIRS PER ARCHITECT'S PLAN.

21 CONSTRUCT LOADING DOCK AREA PER ARCHITECT'S PLAN.

22 CONSTRUCT WALL PER ARCHITECT'S PLAN.
- 23 CONSTRUCT 8" WIDE CURB OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201 & B-205A

24 CONSTRUCT 4' WIDE CURB OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201 & B-205A

25 CONSTRUCT 36"x36" GRATE INLET PER DETAIL ON SHEET 2.

26 CONSTRUCT 18"x18" GRATE INLET PER DETAIL ON SHEET 2.

27 CONSTRUCT MWS UNIT PER STORM DRAIN PLAN ON SHEET 2.



DESIGNED BY: GRC	DRAWN BY: MS	CHECKED BY: GRC	APPROVED BY:	PREPARED BY: GREGORY R. COOKE	OWNER: REXFORD INDUSTRIAL REALTY, INC. 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92868 (714) 602-1743	ARCHITECT: JOHN G. CATALDO & ASSOCIATES 835 MISSION STREET SOUTH PASADENA, CA 91030 (626) 799-4400	PLANS PREPARED FOR: REXFORD INDUSTRIAL REALTY, INC. 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92868 (714) 602-1743	CITY OF GARDEN GROVE PRECISE GRADING PLAN 12821 KNOTT STREET GARDEN GROVE, CA 92841	DATE: 09/27/2019	DRAWING NUMBER
EXP. DATE: 6/30/2020	RCE # 77291	REFERENCE PLAN	DATE BY DESCRIPTION REVISIONS APP'D	160 S. Old Springs Road Suite 210 Anaheim Hills, CA 92808 714-585-6880						SHEET 4 OF 10



**BRADY WAY**

**CA-22 ON-RAMP**

**EXISTING INFRASTRUCTURE:**

- STANDARD OIL COMPANY EASEMENT PER DOCUMENT RECORDED 3/24/21, BK 386/PAGE 326, DEEDS
- EXISTING 8" CHEVRON OIL
- EXISTING 2-8" CRIMSON OIL
- EXISTING 3-8" CHEVRON OIL
- STANDARD OIL COMPANY & NO-BUILD EASEMENT PER DOCUMENT RECORDED 2/16/71, BK 9545/PAGE 381, O.R.
- EXISTING 2" PLASTIC GAS

**PROPOSED DEVELOPMENT:**

- Proposed building footprint (18)
- Parking area (LA)
- Landscaping (W)
- Utility lines (SD, SW, W, FS, TC, FC, R/W)
- Easements (E)

**UTILITY LINES AND EASEMENTS:**

- 12" SD
- 12" SW
- 12" W
- 12" FS
- 12" TC
- 12" FC
- 12" R/W
- 12" E

**PROPERTY LINE**

**SEE SHEET 4**

**SEE DETAIL "D" ON SHEET 6**



ATE: 09/27/2019

SHEET 5 OF 10

SHEET 5 OF 10

**APN: 215-014-01**

CITY OF GARDEN GROVE  
PRECISE GRADING PLAN  
PRECISE GRADING PLAN  
12821 KNOTT STREET  
GARDEN GROVE, CA 92641

**PLANS PREPARED FOR:**  
REXFORD INDUSTRIAL REALTY, INC.  
333 CITY BOULEVARD WEST, SUITE 7  
ORANGE, CA 92868  
(714) 602-1743

**ARCHITECT:**  
JOHN G. CATALDO & ASSOCIATES  
835 MISSION STREET  
SOUTH PASADENA, CA 91030  
(626) 799-4400

**OWNER:**  
REXFORD INDUSTRIAL REALTY, INC.  
333 CITY BOULEVARD WEST, SUITE 70  
ORANGE, CA 92868  
(714) 602-1743

PREPARED BY:

 <b>DRC Engineering, Inc.</b> Civil Engineering/Land Surveying/Land Planning	160 S. Old Springs Road Suite 210 Anaheim Hills, CA 92808 714-685-6860

DATE	BY	DESCRIPTION	APPROVAL

Y:	STREET AND STORM DRAIN CONSTRUCTION SHEET DRAWING NUMBER A-1120.3, SHEET 3 OF 6;
	STREET IMPROVEMENTS FOR BRADY WAY DRAWING NUMBER 1291, SHEET 1 OF 1; GARDEN GROVE DEPARTMENT OF
	PUBLIC WORKS SANITARY DISTRICT MAP; SEWER ATLAS STREET-DRAWING #NW 81;
	WATER SERVICES DIVISION-WATER ATLAS SHEET - GRID/DRAWING NUMBER G-11, G-12, H-12

DESIGNED BY: GRC	DRAWN BY: MS	CHECKED BY: GRC
APPROVED BY:		
EXP. DATE: 6/30/2020		PCF # 772

- ① CONSTRUCT 6" CONCRETE CURB ONLY TYPE A-6 PER CITY OF GARDEN GROVE STD. B-112
- ② CONSTRUCT 6" CONCRETE CURB AND 18" GUTTER PER CITY OF GARDEN GROVE STD. B-112
- ③ CONSTRUCT 4" CURB ONLY PER DETAIL ON SHEET 2.
- ④ CONSTRUCT 0" CURB ONLY PER DETAIL ON SHEET 2.
- ⑤ CONSTRUCT CURB TRANSITION PER DETAIL ON SHEET 2.. CURB HEIGHT PER PLAN.
- ⑥ CONSTRUCT ADA RAMP PER DETAILS ON SHEET 6.
- ⑦ CONSTRUCT ADA RAMP AND PORTION OF ALLEY ABBON PER CITY OF GARDEN GROVE STD.

- (8) INSTALL DETECTABLE WALKING SURFACE TRUNCATED DOMES PER DETAIL ON SHEET 2.
- (9) CONSTRUCT 12" WIDE CONCRETE STEP/OUT PER DETAIL ON SHEET 2.
- (10) INSTALL FULL DEPTH AC TO MATCH EXISTING CONDITION.
- (11) INSTALL 3" AC OVER 4" AB PER SOILS REPORT.
- (12) INSTALL 5" P.C.C. OVER 7" AB PER SOILS REPORT.
- (13) GRIND 0.2" AND OVERLAY 0.2" MINIMUM.
- (14) CONSTRUCT 4" THICK P.C.C. SIDEWALK PER ARCHITECT'S PLANS.
- (15) CONSTRUCT 3" WIDE V. CUTTER PER DETAIL ON SHEET 2.

- (16) CONSTRUCT PRECAST CONCRETE WHEEL STOP PER DETAIL ON SHEET
- (17) CONSTRUCT GATE PER ARCHITECT'S PLAN.
- (18) CONSTRUCT REFUSE STORAGE ENCLOSURE PER ARCHITECT'S PLAN.
- (19) CONSTRUCT BUILDING PER ARCHITECT'S PLAN.
- (20) CONSTRUCT STAIRS PER ARCHITECT'S PLAN.
- (21) CONSTRUCT LOADING DOCK AREA PER ARCHITECT'S PLAN.
- (22) CONSTRUCT WALL PER ARCHITECT'S PLAN.

(23) CONSTRUCT 8' WIDE CURB OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201 & B-205A

(24) CONSTRUCT 4' WIDE CURB OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201 & B-205A

(25) CONSTRUCT 36"x36" GRATE INLET PER DETAIL ON SHEET 2.

(26) CONSTRUCT 18"x18" GRATE INLET PER DETAIL ON SHEET 2.

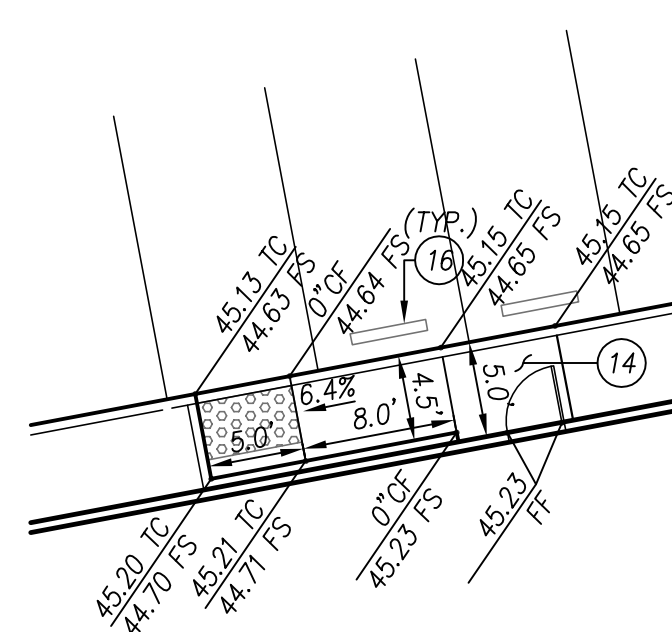
(27) CONSTRUCT MWS UNIT PER STORM DRAIN PLAN ON SHEET \_\_\_\_.



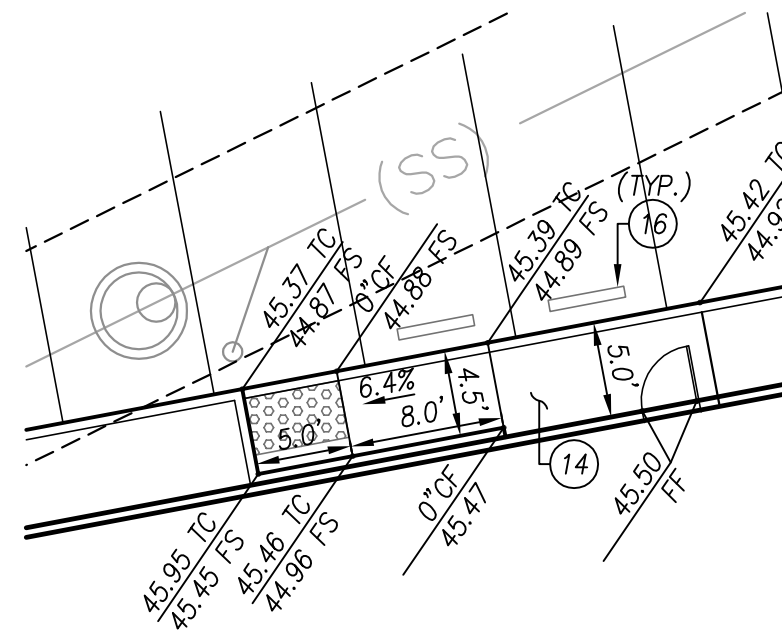
**Know what's below.**  
**Call before you dig.**



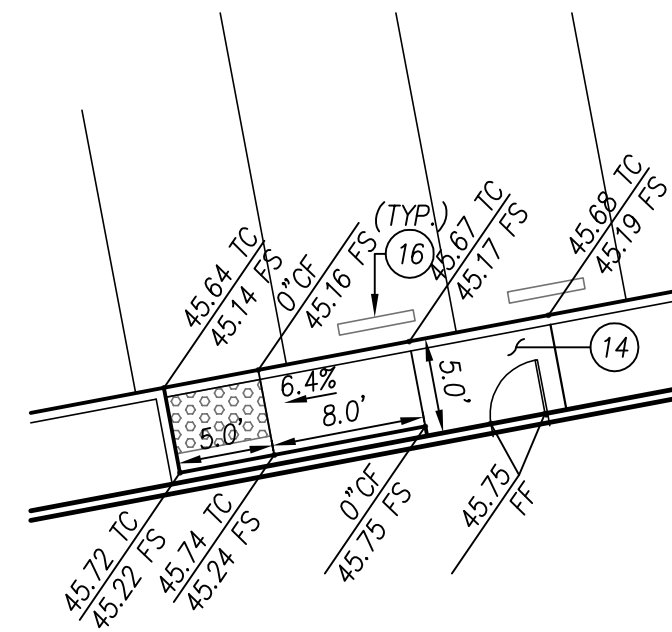
- (1) CONSTRUCT 6" CONCRETE CURB ONLY TYPE A-6 PER CITY OF GARDEN GROVE STD. B-112.
- (2) CONSTRUCT 6" CONCRETE CURB AND 18" GUTTER PER CITY OF GARDEN GROVE STD. B-113.
- (3) CONSTRUCT 4" CURB ONLY PER DETAIL ON SHEET 2.
- (4) CONSTRUCT 0" CURB ONLY PER DETAIL ON SHEET 2.
- (5) CONSTRUCT CURB TRANSITION PER DETAIL ON SHEET 2.. CURB HEIGHT PER PLAN.
- (6) CONSTRUCT ADA RAMP PER DETAILS ON SHEET 6.
- (7) CONSTRUCT ADA RAMP AND PORTION OF ALLEY APRON PER CITY OF GARDEN GROVE STD. B-118.
- (8) INSTALL DETECTABLE WALKING SURFACE TRUNCATED DOMES PER DETAIL ON SHEET 2.
- (9) CONSTRUCT 12" WIDE CONCRETE STEPOUT PER DETAIL ON SHEET 2.
- (10) INSTALL FULL DEPTH AC TO MATCH EXISTING CONDITION.
- (11) INSTALL 3" AC OVER 4" AB PER SOILS REPORT.
- (12) INSTALL 5" P.C.C. OVER 7" AB PER SOILS REPORT.
- (13) GRIND 0.2' AND OVERLAY 0.2' MINIMUM.
- (14) CONSTRUCT 4" THICK P.C.C. SIDEWALK PER ARCHITECT'S PLANS.
- (15) CONSTRUCT 3' WIDE V-GUTTER PER DETAIL ON SHEET 2.
- (16) CONSTRUCT PRECAST CONCRETE WHEEL STOP PER DETAIL ON SHEET 2.
- (17) CONSTRUCT GATE PER ARCHITECT'S PLAN.
- (18) CONSTRUCT REFUSE STORAGE ENCLOSURE PER ARCHITECT'S PLAN.
- (19) CONSTRUCT BUILDING PER ARCHITECT'S PLAN.
- (20) CONSTRUCT STAIRS PER ARCHITECT'S PLAN.
- (21) CONSTRUCT LOADING DOCK AREA PER ARCHITECT'S PLAN.
- (22) CONSTRUCT WALL PER ARCHITECT'S PLAN.
- (23) CONSTRUCT 8' WIDE CURB OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201 & B-205A
- (24) CONSTRUCT 4' WIDE CURB OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201 & B-205A
- (25) CONSTRUCT 36"x36" GRATE INLET PER DETAIL ON SHEET 2.
- (26) CONSTRUCT 18"x18" GRATE INLET PER DETAIL ON SHEET 2.
- (27) CONSTRUCT MWS UNIT PER STORM DRAIN PLAN ON SHEET \_.



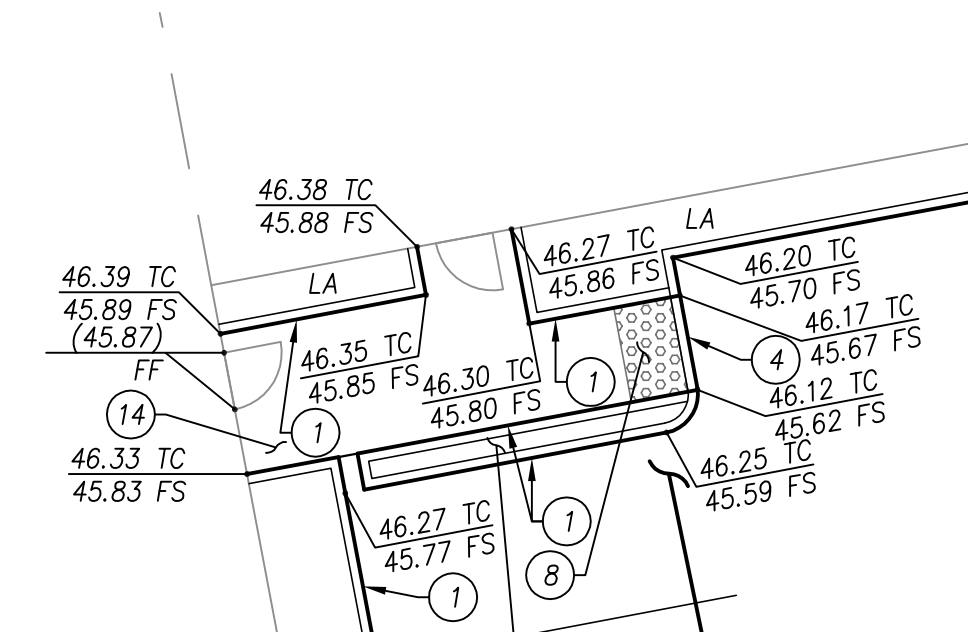
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SCALE 1" = 10'



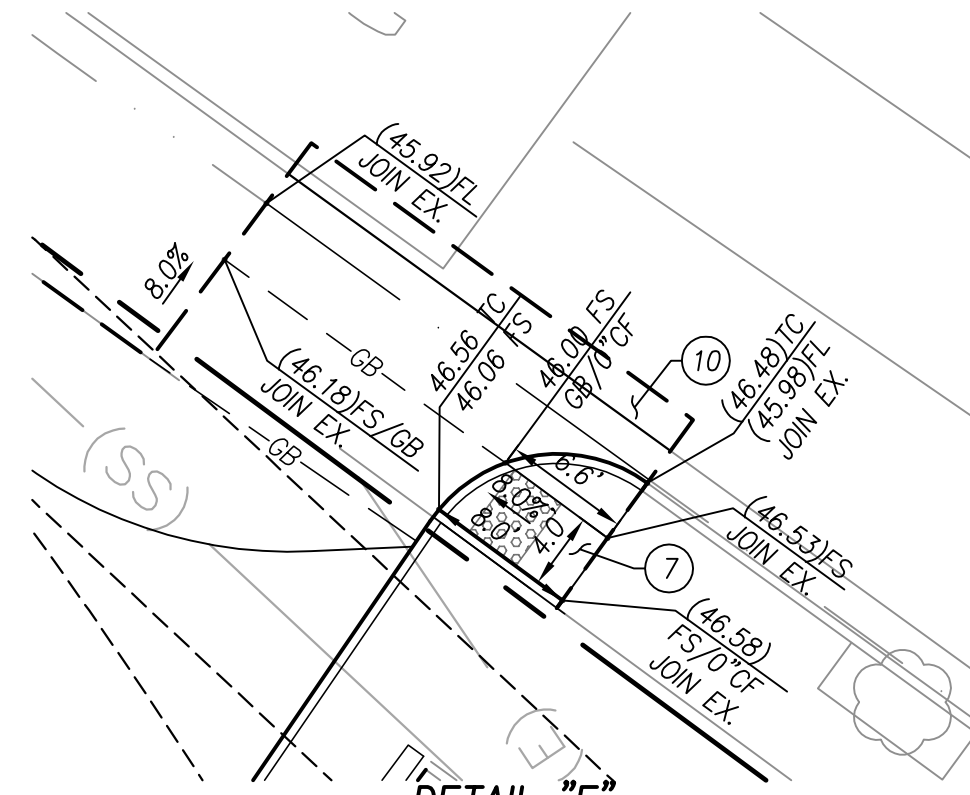
DETAIL "B"  
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SCALE 1" = 10'



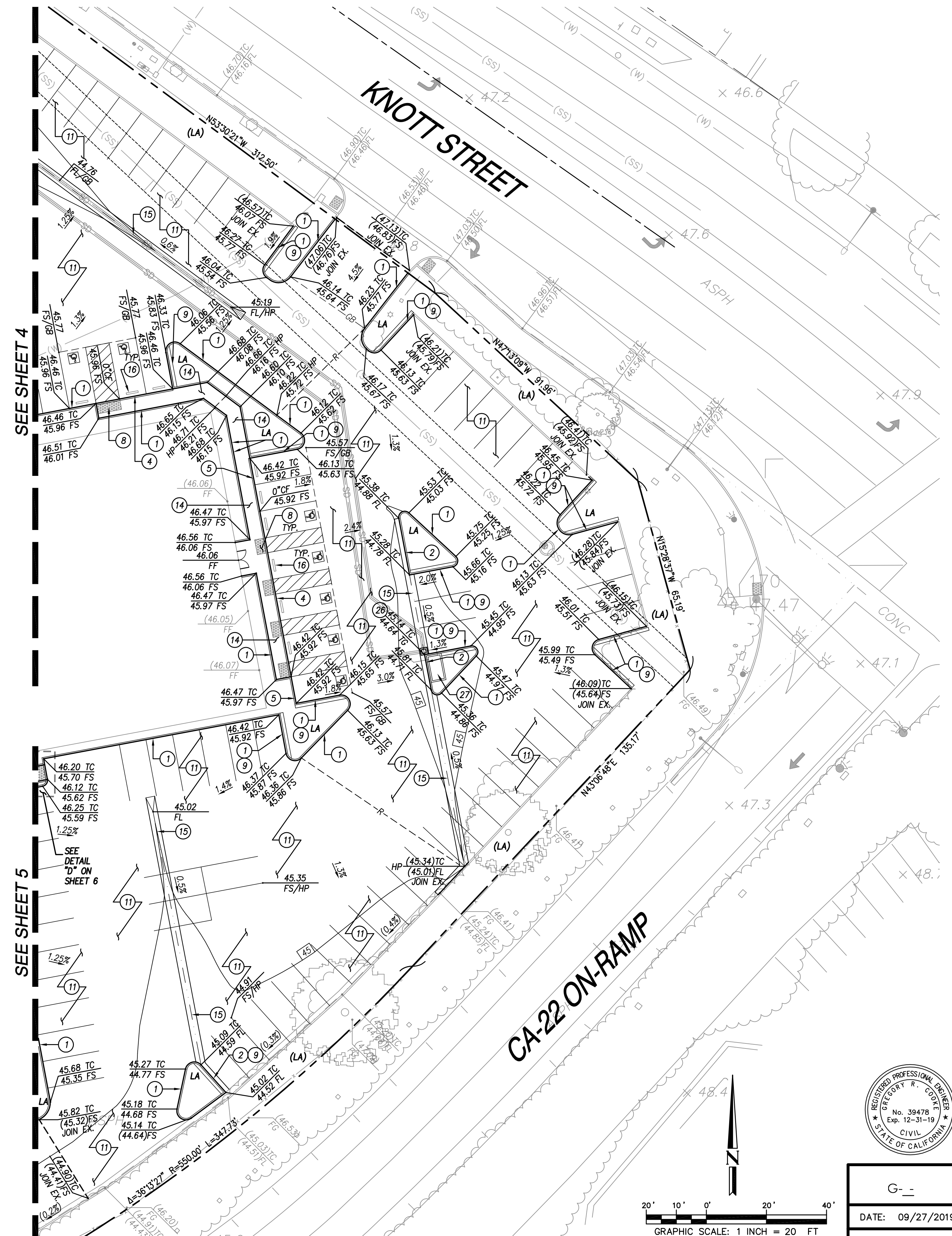
DETAIL "C"  
SEE SHEET 4  
SCALE 1" = 10'



DETAIL "D"  
SEE SHEET 5  
SCALE 1" = 10'



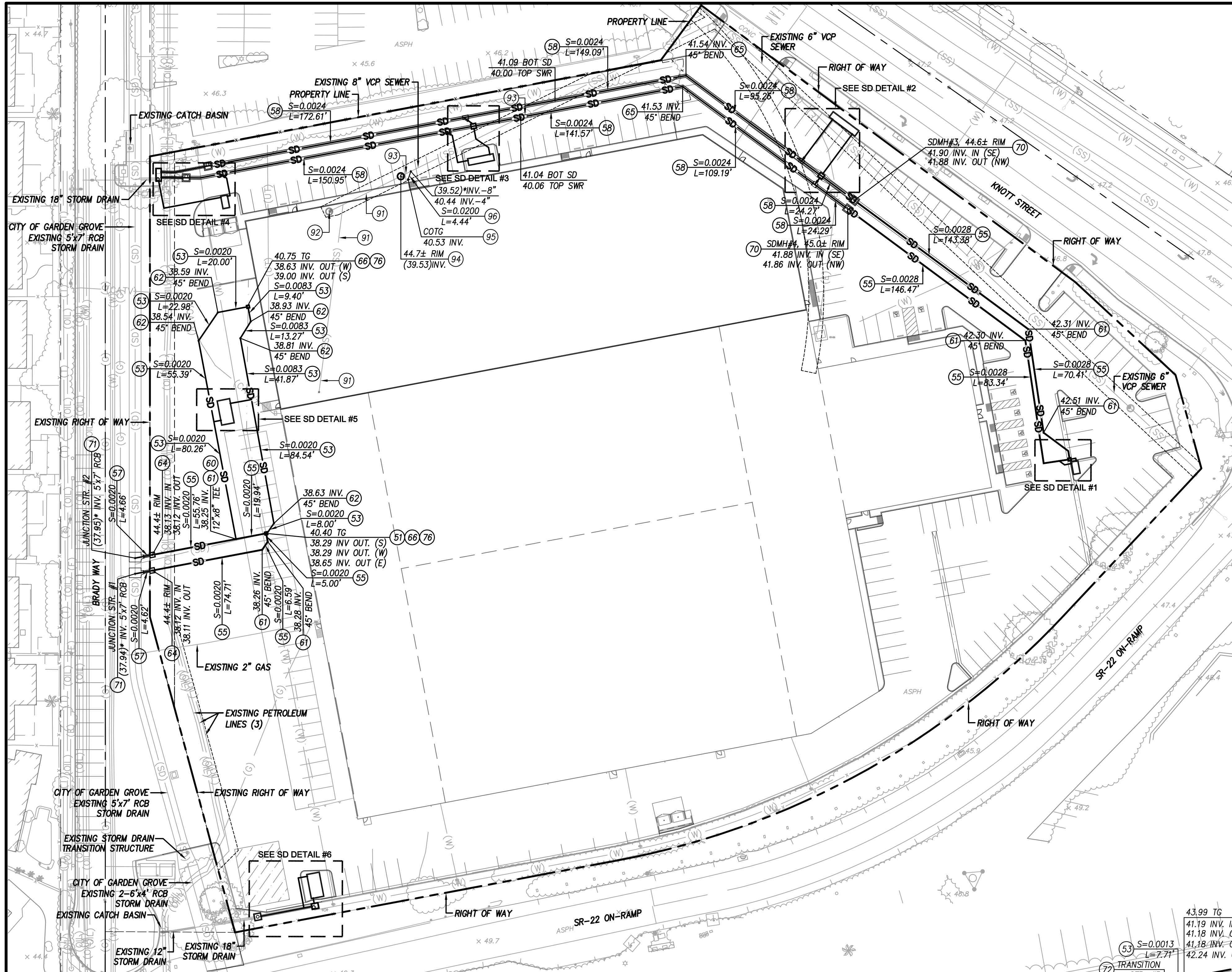
DETAIL "E"  
SEE SHEET 4  
SCALE 1" = 10'



**Know what's below.  
Call before you dig.**

DESIGNED BY: GRC	DRAWN BY: MS	CHECKED BY: GRC	STREET AND STORM DRAIN CONSTRUCTION SHEET DRAWING NUMBER A-1120.3, SHEET 3 OF 6;							PREPARED BY:	160 S. Old Springs Road Suite 210 Anaheim Hills, CA 92808 714-685-6860	OWNER:	JOHN G. CATALDO & ASSOCIATES 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92668 (714) 602-1743	ARCHITECT:	REXFORD INDUSTRIAL REALTY, INC. 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92668 (714) 602-1743	PLANS PREPARED FOR:	CITY OF GARDEN GROVE PRECISE GRADING PLAN PRECISE GRADING PLAN 12821 KNOTT STREET GARDEN GROVE, CA 92841	DRAWING NUMBER	6 OF 10
APPROVED BY:			STREET IMPROVEMENTS FOR BRADY WAY DRAWING NUMBER 1291, SHEET 1 OF 1; GARDEN GROVE DEPARTMENT OF PUBLIC WORKS SANITARY DISTRICT MAP; SEWER ATLAS STREET-DRAINING #IN 81;							 BRC Engineering, Inc. Civil Engineering/Land Surveying/Land Planning GREGORY R. COOKE									
EXP. DATE: 6/30/2020 RCE # 77291			WATER SERVICES DIVISION-WATER ATLAS SHEET - GRID/DRAWING NUMBER G-11, G-12, H-12				DATE	BY	DESCRIPTION		APP'D								
			REFERENCE PLAN				REVISIONS												





### STORM DRAIN CONSTRUCTION NOTES

- (51) REMOVE EXISTING GRATE INLET OR CATCH BASIN
- (52) CONNECT TO EXISTING STORM DRAIN
- (53) CONSTRUCT 8" DUCTILE IRON PIPE (DIP), CLASS 52
- (54) CONSTRUCT 8" PVC STORM DRAIN PIPE
- (55) CONSTRUCT 12" PVC STORM DRAIN PIPE
- (56) CONSTRUCT 18" HDPE STORM DRAIN PIPE
- (57) CONSTRUCT 18" RCP STORM DRAIN PIPE
- (58) CONSTRUCT 18" PRECAST CONCRETE ELLIPTICAL PIPE BY SCURLOCK INDUSTRIES OR APPROVED EQUAL
- (59) EXISTING 8" STORM DRAIN LATERAL TO BE REMOVED AND CAPPED AT MAIN
- (60) INSTALL DIP TO PVC COUPLING, ROMAC MODEL 501 OR APPROVED EQUAL
- (61) INSTALL PVC FITTING, SIZE PER PLAN
- (62) INSTALL DIP FITTING, SIZE PER PLAN
- (63) INSTALL HDPE FITTING, SIZE PER PLAN
- (64) INSTALL BROOKS 36"x36" CATCH BASIN BOX, MODEL 3636CB WITH STEEL COVER, AND 12" FLAP GATE, DRAINAGE SOLUTIONS SKU VB-FLOODVALVE12 OR APPROVED EQUAL, ON THE UPSTREAM END
- (65) CONSTRUCT CONCRETE COLLAR PER SPPWC STD. PLAN NO. 380-4
- (66) INSTALL 18"x18" GRATE INLET PER PRECISE GRADING PLAN AND DETAIL ON SHEET 2
- (67) INSTALL 36"x36" GRATE INLET PER PRECISE GRADING PLAN AND DETAIL ON SHEET 2
- (68) CONSTRUCT 4-FT WIDE CURB-OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201, B-205A, AND PRECISE GRADING PLAN
- (69) CONSTRUCT 8-FT WIDE CURB-OPENING CATCH BASIN WITH LOCAL DEPRESSION PER CITY OF GARDEN GROVE STD. PLAN NO. B-201, B-205A, AND PRECISE GRADING PLAN
- (70) CONSTRUCT STORM DRAIN MANHOLE PER CITY OF GARDEN GROVE STD. PLAN NO. B-207
- (71) CONSTRUCT JUNCTION STRUCTURE PER SPPWC STD. PLAN NO. 333-2, DIMENSIONS PER TABLE ON SHEET 7
- (72) CONSTRUCT TRANSITION STRUCTURE PER SPPWC STD. PLAN NO. 340-2, DIMENSIONS PER TABLE ON SHEET 7
- (73) INSTALL MODULAR WETLAND SYSTEM (MWS) PER DETAILS ON SHEETS 8-9, MODEL PER PLAN
- (74) CONSTRUCT MODIFIED STORM DRAIN MANHOLE WITH 18" FLAP GATE, WATERMAN INDUSTRIES MODEL F-10 OR APPROVED EQUAL
- (75) INSTALL DVERT MODULAR TROUGH DIVERSION SYSTEM MODEL DVT-10-8 PER DETAIL ON SHEET 9
- (76) INSTALL DVERT MODULAR TROUGH DIVERSION SYSTEM GRATE TYPE PER DETAIL ON SHEET 9

### SEWER CONSTRUCTION NOTES

- (91) REMOVE EXISTING SEWER
- (92) REMOVE EXISTING SEWER MANHOLE
- (93) EXISTING SEWER TO BE PROTECTED IN PLACE
- (94) CONSTRUCT SEWER MANHOLE PER GARDEN GROVE SANITARY DISTRICT STD. PLAN NO. S-100
- (95) CONSTRUCT SEWER LATERAL CLEANOUT PER GARDEN GROVE SANITARY DISTRICT STD. PLAN NO. S-105. SEE SEPARATE PLUMBING PLAN FOR CONTINUATION.
- (96) CONSTRUCT 4" PVC SEWER LATERAL PER GARDEN GROVE SANITARY DISTRICT STD. PLAN NO. S-111, BEDDING PER GARDEN GROVE SANITARY DISTRICT STD. PLAN NO. S-106

#### NOTE:

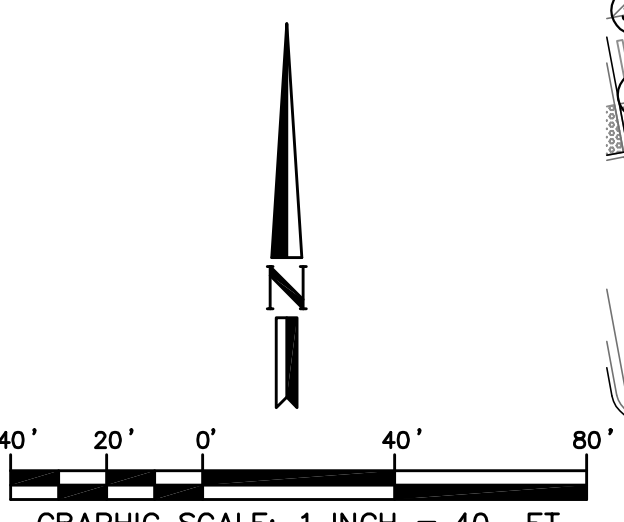
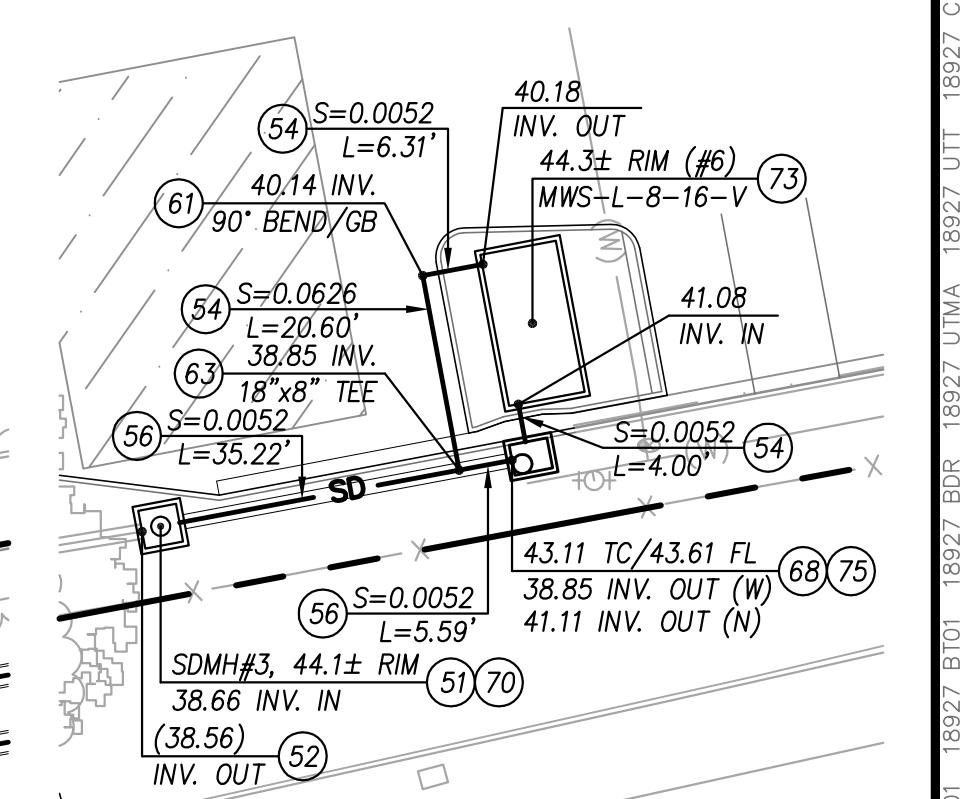
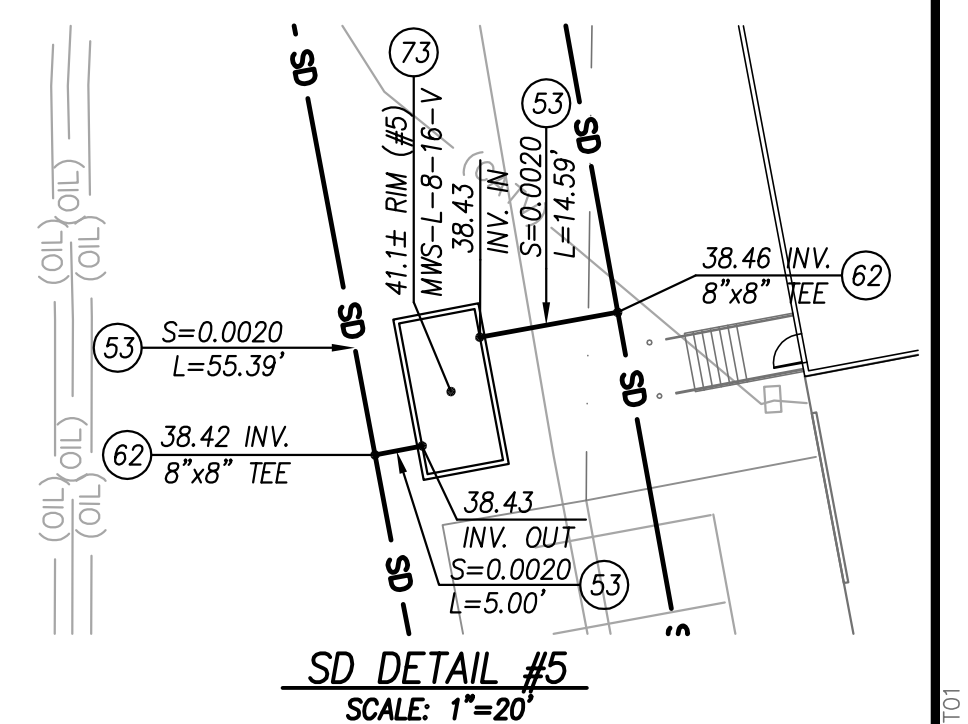
1. CONTRACTOR TO POTHOLE ALL STORM DRAIN AND SEWER CROSSING WITH EXISTING UTILITIES AND NOTIFY THE ENGINEER ON RECORD OF ANY POTENTIAL CONFLICT PRIOR TO CONSTRUCTION.
2. ( ) \* DENOTES EXISTING ELEVATION TO BE VERIFIED ON FIELD

JUNCTION STRUCTURE DIMENSIONS: (SPPWC STD. PLAN NO. 333-2)

JUNCTION STRUCTURE #	ANGLE A	B	C	EL. S	EL. R
1	78.75°	18"	24"	38.09	38.10
2	78.75°	18"	24"	38.10	38.11

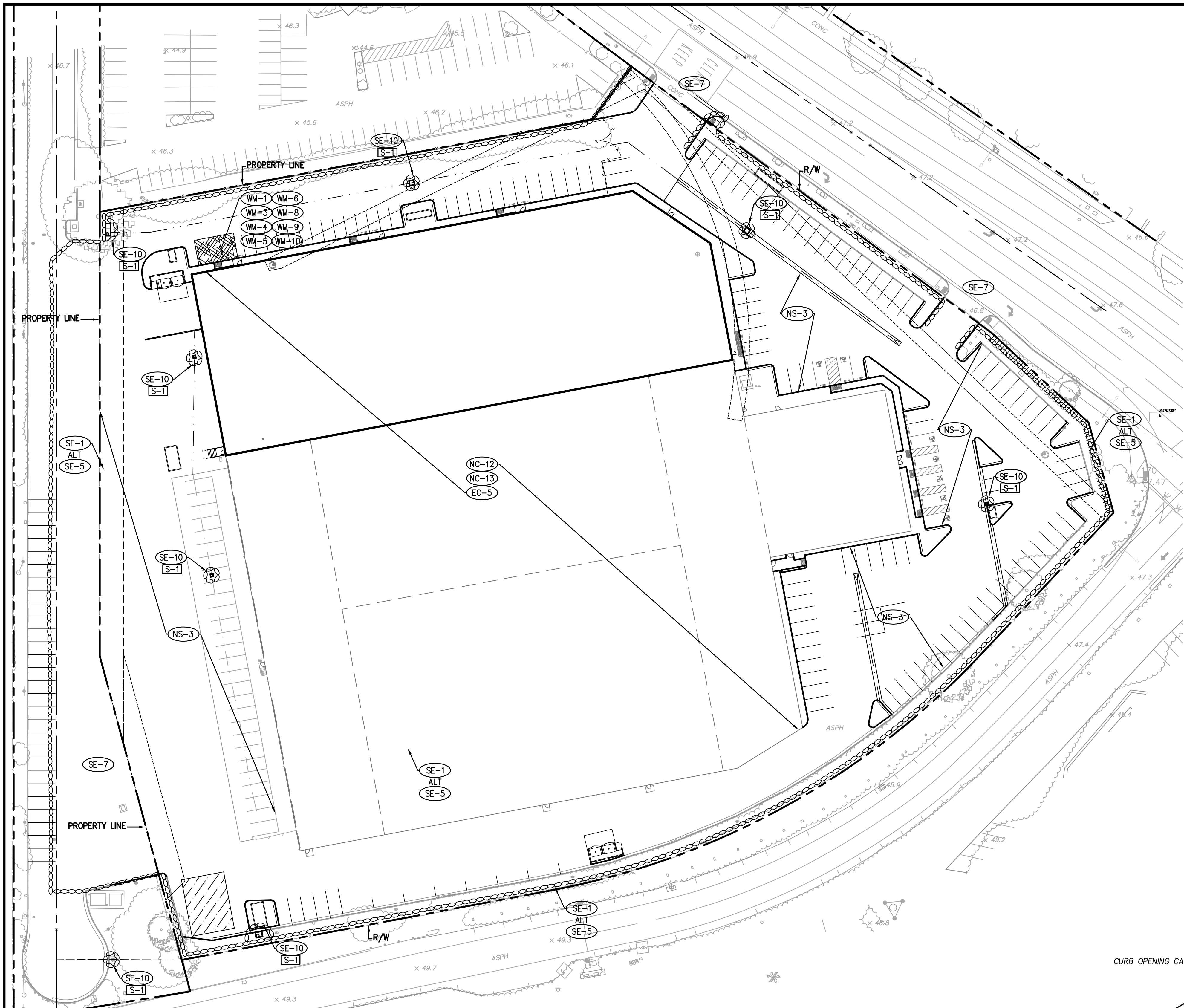
TRANSITION STRUCTURE DIMENSIONS: (SPPWC STD. PLAN NO. 340-2)

TRANSITION STRUCTURE #	ANGLE A	B	C	D <sub>1</sub>	D <sub>2</sub>	EL. S	EL. R
1	45°	8"	24"	14"	14"	40.77	40.78
2	45°	8"	24"	14"	14"	41.13	41.14
3	45°	8"	24"	14"	14"	41.16	41.17
4	90°	8"	24"	14"	14"	41.77	41.78
5	90°	8"	24"	14"	14"	41.80	41.81



DESIGNED BY: GRC	DRAWN BY: MS	CHECKED BY: GRC	APPROVED BY:	EXP. DATE: 6/30/2020	RCE # 77291
STREET AND STORM DRAIN CONSTRUCTION SHEET DRAWING NUMBER A-1120.3, SHEET 3 OF 6; STREET IMPROVEMENTS FOR BRADY WAY DRAWING NUMBER 1281, SHEET 1 OF 1; GARDEN GROVE DEPARTMENT OF PUBLIC WORKS SANITARY DISTRICT MAP; SEWER ATLAS STREET-DRAWING JNW 81; WATER SERVICES DIVISION-WATER ATLAS SHEET - GRID/DRAWING NUMBER G-11, G-12, H-12					
DATE	BY	DESCRIPTION	REVISIONS	APP'D	PREPARED BY: GREGORY R. COOKE
OWNER: REXFORD INDUSTRIAL REALTY, INC. 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92668 (714) 602-1743					
ARCHITECT: JOHN G. CATALDO & ASSOCIATES 835 MISSION STREET SOUTH PASADENA, CA 91030 (626) 799-4400					
PLANS PREPARED FOR: REXFORD INDUSTRIAL REALTY, INC. 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92668 (714) 602-1743					
CITY OF GARDEN GROVE PRECISE GRADING PLAN UTILITY AND STORM DRAIN PLAN 12821 KNOTT STREET GARDEN GROVE, CA 92841					
DRAWING NUMBER: SHEET 7 OF 10					





**NPDES NOTES:**

1. IN THE CASE OF EMERGENCY, CALL \_\_\_\_\_  
AT WORK PHONE # \_\_\_\_\_  
OR HOME PHONE # \_\_\_\_\_
2. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
3. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.
4. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
5. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
6. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
7. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
9. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
10. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
13. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
18. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF. A

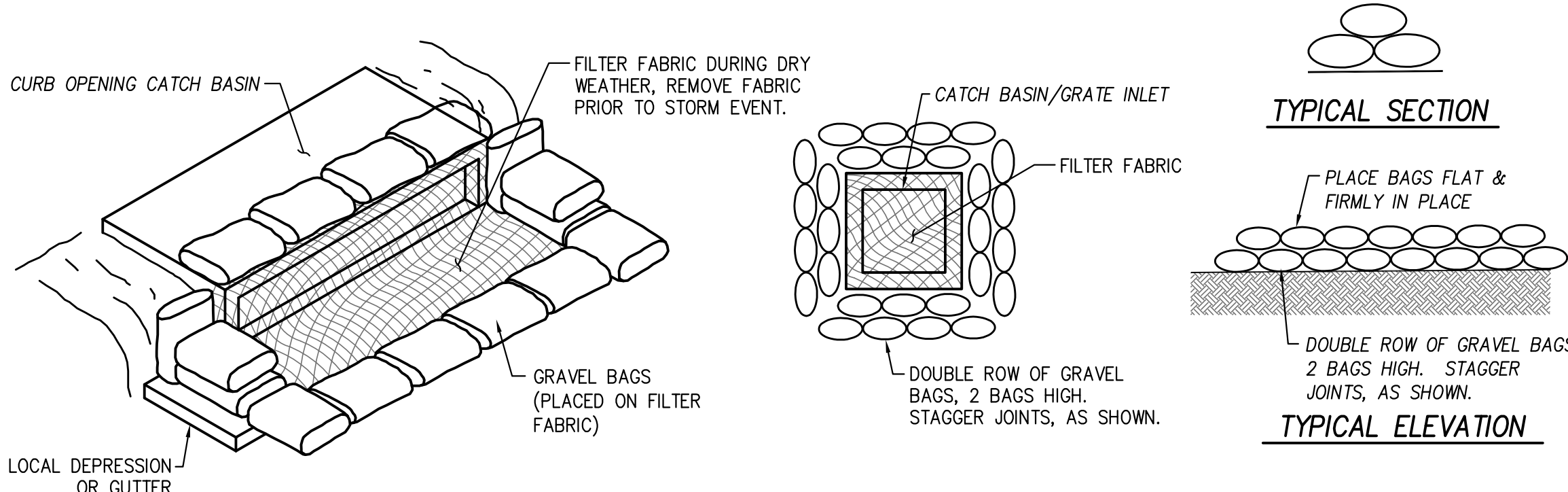
**BMP NOTES**

- (NS-3) PAVING OPERATIONS PER BMP NS-3
- (SE-5) INSTALL FIBER ROLLS PER BMP SE-5
- (SE-7) STREET SWEEPING AND VACUUMING PER BMP SE-7
- (SE-10) CONSTRUCT STORM DRAIN INLET PROTECTION PER BMP SE-10 PER DETAIL ON SHEET 4
- (WM-1) CONSTRUCT MATERIAL AND DELIVERY STORAGE PER BMP WM-1
- (WM-3) STOCKPILE MANAGEMENT PER BMP WM-3
- (WM-4) SPILL PREVENTION AND CONTROL PER BMP WM-4
- (WM-5) SOLID WASTE MANAGEMENT PER BMP WM-5
- (WM-6) HAZARDOUS WASTE MANAGEMENT PER BMP WM-6
- (WM-8) CONCRETE WASTE MANAGEMENT PER BMP WM-8
- (WM-9) SANITARY/SEPTIC WASTE MANAGEMENT PER BMP WM-9
- (WM-10) LIQUID WASTE MANAGEMENT PER BMP WM-10

- HOURS AND DAYS OF CONSTRUCTION AND GRADING SHALL BE AS FOLLOWS AS SET FORTH IN THE CITY OF GARDEN GROVE'S MUNICIPAL CODE SECTION 8.47.010 REFERRED TO AS THE COUNTY NOISE ORDINANCE AS ADOPTED:  
A. MONDAY THROUGH SATURDAY – NO BEFORE 7 AM AND NOT AFTER 8 PM (OF THE SAME DAY).  
B. SUNDAY AND FEDERAL HOLIDAYS MAY WORK THE SAME HOURS BUT SUBJECT TO NOISE RESTRICTIONS AS STIPULATED IN SECTION 8.47.010 OF THE MUNICIPAL CODE.
- CONSTRUCTION ACTIVITIES SHALL ADHERE TO SCAQMD RULE 403 (FUGITIVE DUST), WHICH INCLUDES DUST MINIMIZATION MEASURES, USING ELECTRICITY FROM POWER POLES RATHER THAN DIESEL OR GASOLINE POWERED GENERATORS, AND USING METHANOL, NATURAL GAS, PROPANE OR BUTANE VEHICLES INSTEAD OF GASOLINE OR DIESEL POWERED EQUIPMENT, WHERE FEASIBLE, USING SOLAR OR LOW-EMISSION WATER HEATERS, AND USING LOW-SODIUM PARKING LOT LIGHTS, TO ENSURE COMPLIANCE WITH TITLE 24.
- THE PROPERTY OWNER SHALL COMPLY WITH THE ADOPTED CITY NOISE ORDINANCE. DURING PERMITTED HOURS OPERATION, NOISE GENERATED BY THE OPERATION SHALL NOT EXCEED 55 dBA AS MEASURED AT THE BOUNDARIES OF THE PROPERTY LINES.

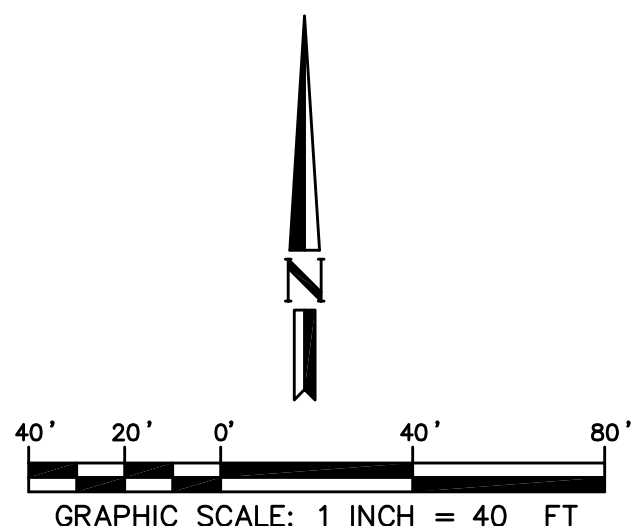
**POST-CONSTRUCTION STRUCTURAL BMP:**

- (S1) PROVIDE STORM DRAIN SYSTEM STENCILING AND SIGNAGE
- (S4) USE EFFICIENT IRRIGATION SYSTEMS AND LANDSCAPE DESIGN



(SE-10) INLET PROTECTION DETAIL  
NOT TO SCALE

**811**  
Know what's below.  
Call before you dig.



**NO DUMPING  
THIS DRAINS TO OCEAN**

(S1) "NO DUMPING – DRAINS TO OCEAN" SYMBOL  
NOT TO SCALE

DESIGNED BY: GRC	DRAWN BY: MS	CHECKED BY: GRC	STREET AND STORM DRAIN CONSTRUCTION SHEET DRAWING NUMBER A-1120.3, SHEET 3 OF 6; STREET IMPROVEMENTS FOR BRADY WAY DRAWING NUMBER 1281, SHEET 1 OF 1; GARDEN GROVE DEPARTMENT OF PUBLIC WORKS SANITARY DISTRICT MAP; SEWER ATLAS STREET-DRAWING #NW 81; WATER SERVICES DIVISION-WATER ATLAS SHEET – GRID/DRAWING NUMBER G-11, G-12, H-12	DATE	BY	DESCRIPTION REVISIONS	APP'D	PREPARED BY: GREGORY R. COOKE Civil Engineering/Land Surveying/Land Planning 160 S. Old Springs Road Suite 210 Anaheim Hills, CA 92808 714-685-6880	OWNER: REXFORD INDUSTRIAL REALTY, INC. 835 MISSION STREET ORANGE, CA 92668 (714) 602-1743	ARCHITECT: JOHN G. CATALDO & ASSOCIATES 333 CITY BOULEVARD WEST, SUITE 705 SOUTH PASADENA, CA 91030 (626) 799-4400	PLANS PREPARED FOR: REXFORD INDUSTRIAL REALTY, INC. 333 CITY BOULEVARD WEST, SUITE 705 ORANGE, CA 92668 (714) 602-1743	CITY OF GARDEN GROVE PRECISE GRADING PLAN EROSION CONTROL PLAN 12821 KNOTT STREET GARDEN GROVE, CA 92841	APN: 215-014-01	DATE: 09/27/2019	DRAWING NUMBER SHEET 10 OF 10
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## Knott Warehouse

Garden Grove, CA

ISSUE	DATE
1	---
2	---
3	---
4	---
5	---



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Approved	pjr	Reviewed	pjr
Drawn	ds		
Project No.	---		
Scale	1"=30'	Issue Date	05.06.19

Landscape  
Planting Plan

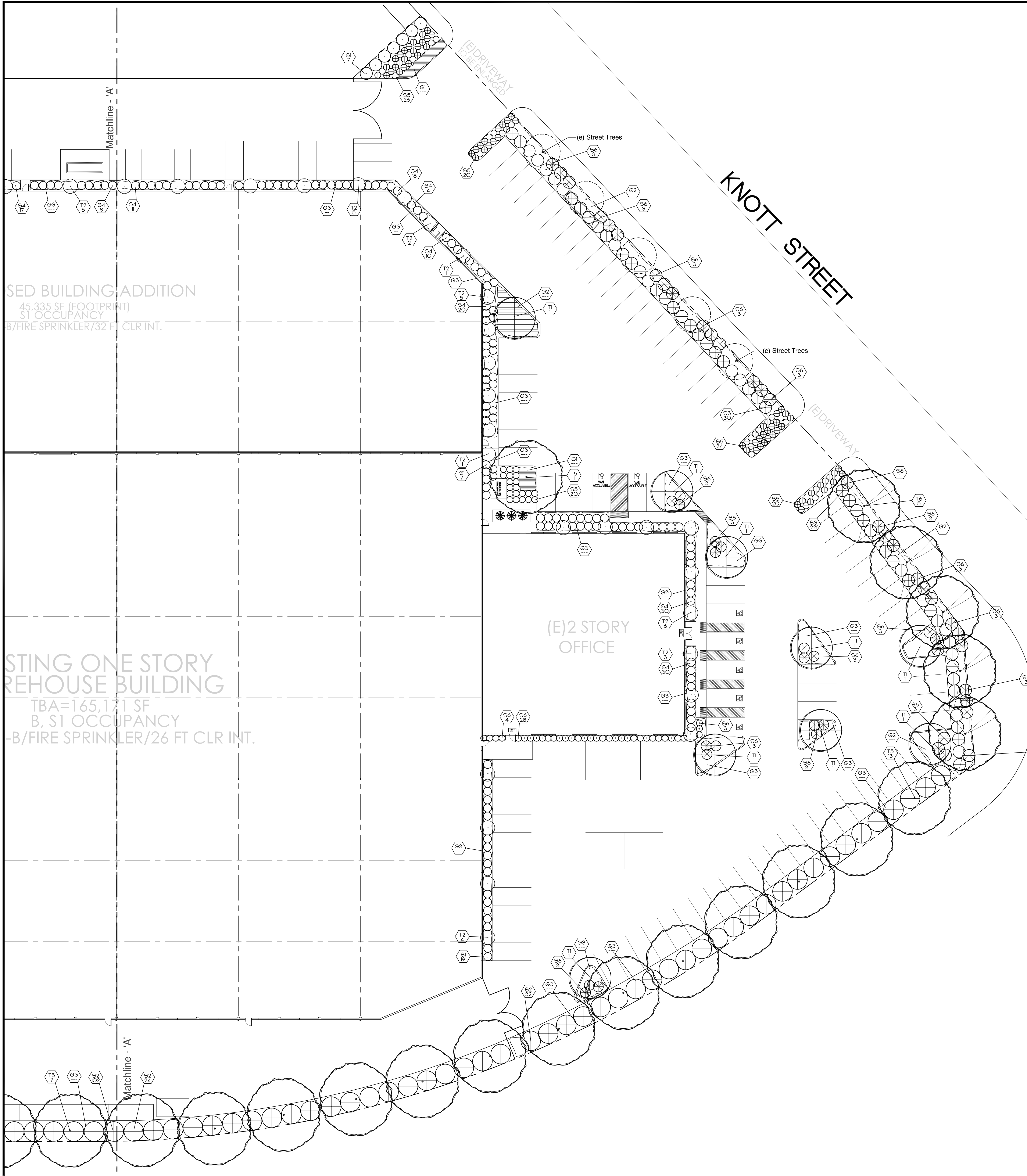
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Sheet of

PLANT LIST:							
	KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES							
	T1	LAGERSTROEMIA 'VARAPAHU'	GRAPE HYDRILE	---	24" BOX	STANDARD	LOW
	T2	JUNIPERUS S. 'SKYROCKET'	SKYROCKET JUNIPER	---	5 GAL	COLUMNAR	LOW
	T3	CELIS OCCIDENTALIS	COMMON HACKBERRY	---	24" BOX	STANDARD	LOW
	T4	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	---	FLD GRN	T BROWN TRUNK	LOW
	T5	ARELUTUS MARINA'	MARINA STRAUBERRY TREE	---	24" BOX	STANDARD	LOW
	T6	STREET TREE	CHOSEN BY CITY	---	24" BOX	STANDARD	---
	T7	LOPHOSTEMON CONFERTUS	BRISBANE BOX	---	24" BOX	STANDARD	LOW
SHRUBS							
	S1	CALLISTEMON V. 'LITTLE JOHN'	DWARF BOTTLEBRUSH	---	5 GAL		LOW
	S2	DODONAEA V. 'PURPUREA'	PURPLE LEAVED HOP BUSH	---	5 GAL		LOW
	S3	PITTOSPORUM T. 'VARIEGATA'	VARIEGATED MOCK ORANGE	---	5 GAL		LOW
	S4	RHAPHIOLEPIS U. 'MINOR'	DWARF YEDDO HAWTHORN	---	5 GAL		LOW
	S5	TULBAGHIA V. 'TRICOLOR'	SOCIETY GARLIC	---	5 GAL		LOW
	S6	PHORITUM T. 'TRACORI CHEIF'	NEW ZEALAND FLAX	---	5 GAL		LOW
	S7	JUNCUS PATENS	CALIFORNIA GRAY RUSH	---	5 GAL		LOW
	S8	ARCTOSTAPHYLOS D. 'HOWARD MCMINN'	MANZANITA	---	5 GAL		LOW
VINES							
	V1	FICUS REPENS	CREEPING FIG	---	15 GAL	TRAIN ON WALL	MEDIUM
GROUND COVERS							
	G1	BULBINE FRUTESCENS	STALKED BULBINE	---	1 GAL	24" O.C.	LOW
	G2	ROSEMARINUS O. 'HUNTINGTON CARPET'	CARPET ROSEMARY	---	1 GAL	36" O.C.	LOW
	G3	OSTEOSPERMUM F. 'WHITE'	FREEWAY DAISY	---	1 GAL	24" O.C.	LOW

- PLANT NOTES:**
- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
  - NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
  - PLANT GROUNDCOVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
  - SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
  - THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
  - ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (3:1 MIN).
  - IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
  - ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 1/8" FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
  - ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
  - THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
  - PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT 1-800-227-2600
  - ALL NON-TURF PLANTING AREAS TO RECEIVE 3 INCH LAYER OF BARK MULCH AS SPECIFIED IN THE LANDSCAPE SPECIFICATION NOTES/SHEET.

- PLANT SYMBOLS**
- 5x4x4 INDICATES PLANT KEY
  - INDICATES PLANT QUANTITY
  - EXISTING TREE TO REMAIN



# Knott Warehouse

Garden Grove, CA

ISSUE	DATE
Δ ---	---, ---, ---



PLANT LIST:						
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
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T2	JUNIPERUS S. 'SKYROCKET'	SKYROCKET JUNIPER	---	15 GAL	COLUMNAR	LOW
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T7	LOROPSTEMON CONFERTUS	BRISBANE BOX	---	24"BOX	STANDARD	LOW
SHRUBS						
S1	CALLISTEMON V. 'LITTLE JOHN'	DIWARF BOTTLEBRUSH	---	5 GAL		LOW
S2	DODONAEA V. 'PURPUREA'	PURPLE LEAFED HOP BUSH	---	5 GAL		LOW
S3	PRITTYORHIZU T. 'VAREGATA'	VAREGATED HOOK ORANGE	---	5 GAL		LOW
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S5	TULBAGHIA V. 'TRICOLOR'	SOCIETY GARLIC	---	5 GAL		LOW
S6	NANDINA D. 'CONFECTA'	COMPACT HEAVENLY BAMBOO	---	5 GAL		LOW
S7	JUNCUS PATENS	CALIFORNIA GRAY RUSH	---	5 GAL		LOW
S8	ARCTOSTAPHYLOS D. 'HOWARD MCINN'	MANZANITA	---	5 GAL		LOW
VINES						
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  - PLANT GROUNDCOVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
  - SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
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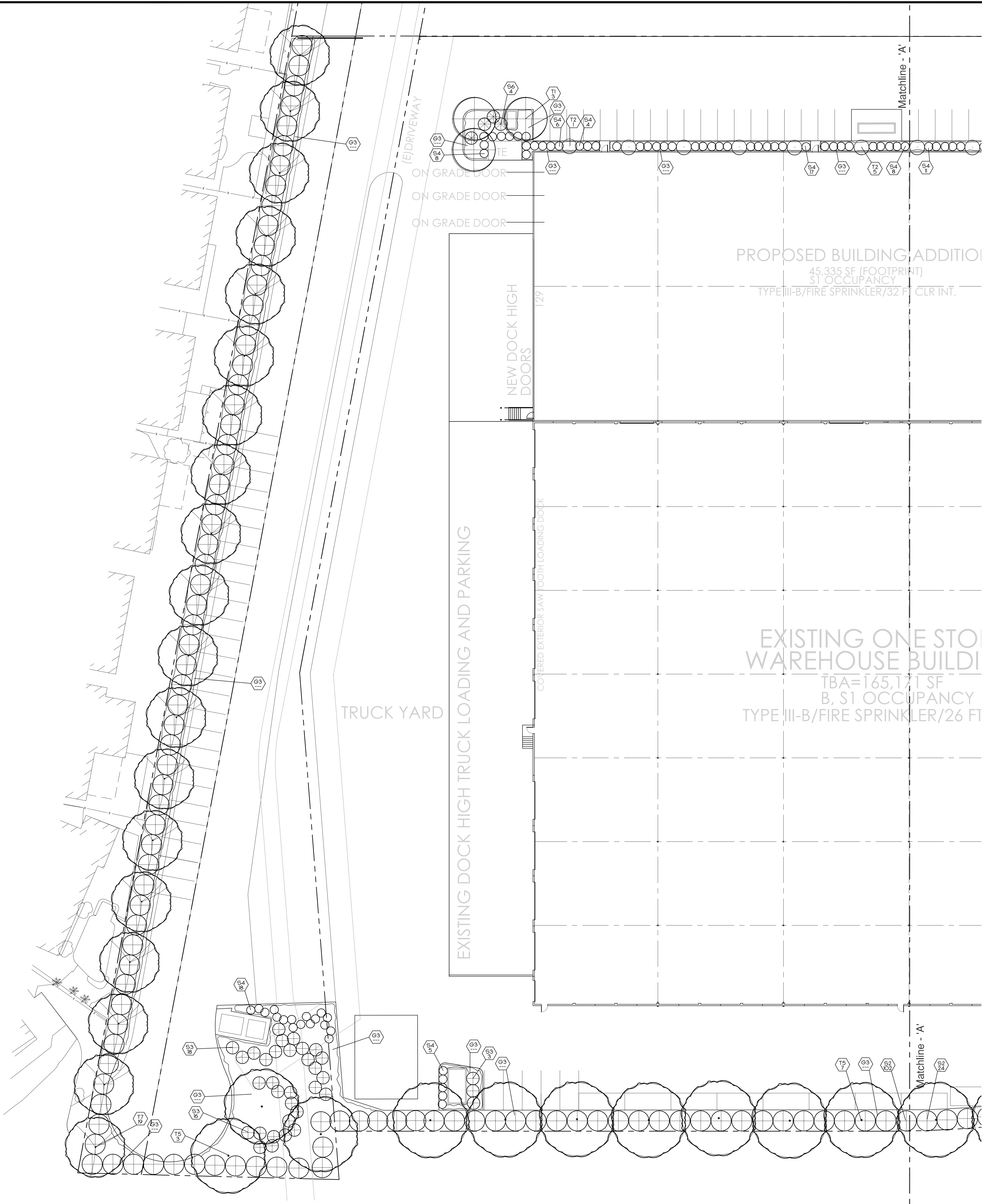
- PLANT SYMBOLS
- INDICATES PLANT KEY
  - INDICATES PLANT QUANTITY
  - EXISTING TREE TO REMAIN

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Approved	pjr	Reviewed	pjr
Drawn	ds		
Project No.	---		
Scale	1"=30'	Issue Date	05.06.19

Landscape  
Planting Plan

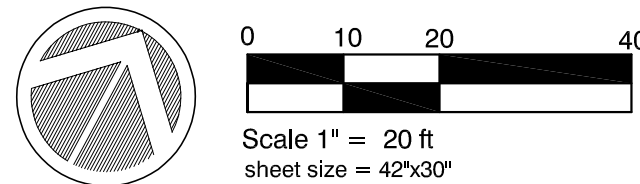
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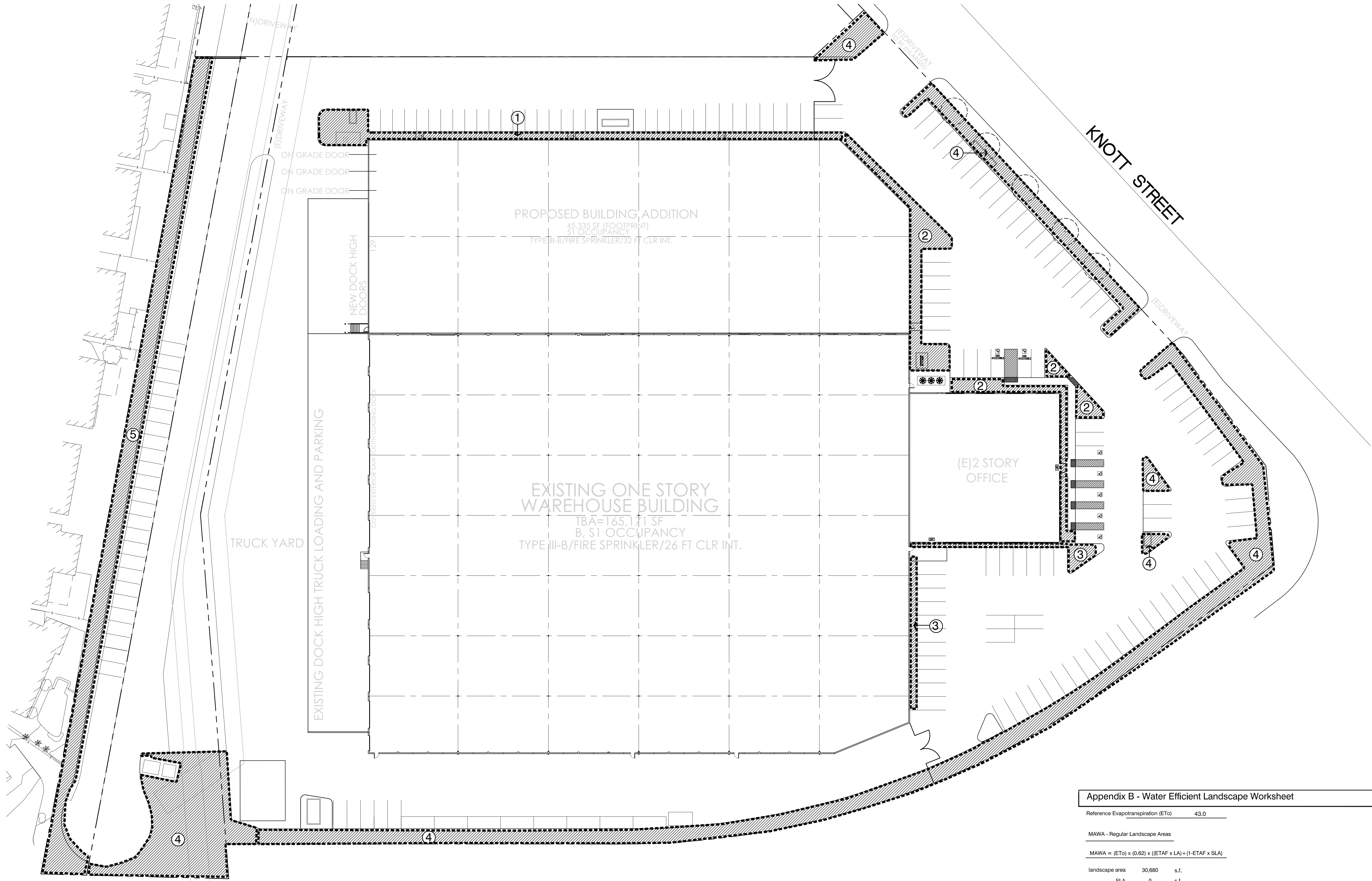
BEFORE EXCAVATING CALL: 811  
48-HOURS BEFORE ALL  
PLANNED WORK OPERATIONS



Know what's below.  
Call before you dig.







IRRIGATION HYDRO-ZONE LEGEND

PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS.

- HIGH WATER REQUIREMENT
- MEDIUM WATER REQUIREMENT
- LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)

Appendix B - Water Efficient Landscape Worksheet

Reference Evapotranspiration (ETo) 43.0

MAWA - Regular Landscape Areas

$MAWA = (ETo) \times (0.62) \times ((ETAF \times LA) + (1-ETAF \times SLA))$

landscape area	30,680	s.f.
SLA	0	s.f.
ETAF	0.45	average ETAF for regular landscape areas must be 0.55 residential areas, and 0.45 for non-residential areas.
total area with SLA	30,680	
maawa total	368,068	gallons per year

ETWU - Regular Landscape Areas

$ETWU = (ETo) \times (0.62) \times ((ETAF \times LA) + SLA)$

hydro-zone number	plant water use	plant factor (PF)	irrigation method	irrigation efficiency	ETAF (PF/IE)	hydro-zone area	ETAF x Area	ETWU
1	low	0.2	drip	0.81	0.247	2,032	501.7	13,376
2	low	0.2	drip	0.81	0.247	3,206	791.6	21,104
3	low	0.2	drip	0.81	0.247	1,069	264	7,037
4	low	0.2	drip	0.81	0.247	16,191	4,492	119,746
5	low	0.2	drip	0.81	0.247	6,182	1,526	40,694
SLA	---	1.0	---	1.00	1,000	0	0	0

ETWU total (with SLA) 30,680 7575.31 201,958

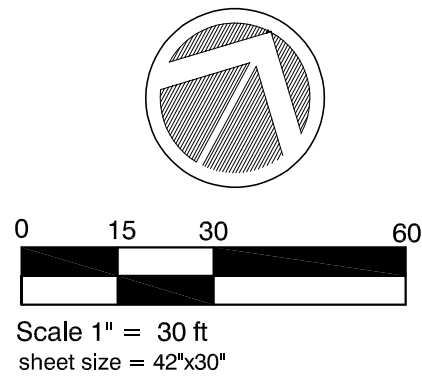
ETAF calculations

total ETAF x area	7575.31
total area	30,680 s.f.
average ETAF	0.247

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

TOTALS

MAWA total	368,068	gallons per year
ETWU total	201,958	gallons per year
45.1	Percentage reduction of Potable Irrigation Water	



BEFORE EXCAVATING CALL 811  
48-HOURS BEFORE ALL  
PLANNED WORK OPERATIONS



Knott  
Warehouse

Garden Grove, CA

ISSUE	DATE
1	05.06.19



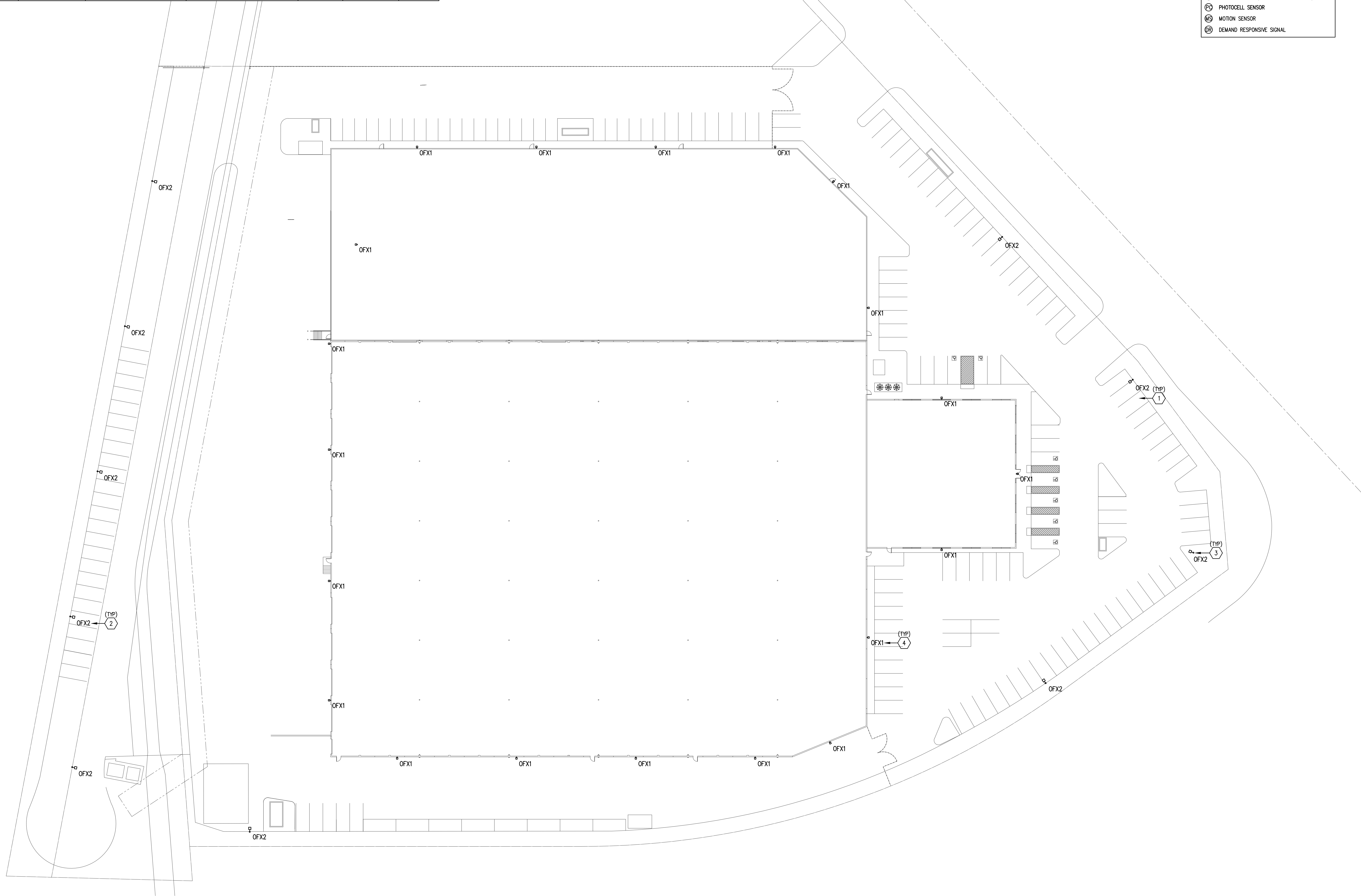
OWNERSHIP AND USE OF DOCUMENTS  
All Drawings, Specifications and copies thereof furnished by Reed Associates Landscape Architecture, are and shall remain its property. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for purposes in connection with the Project is not to be construed as publication in derogation of Reed Associates Landscape Architecture, common law copyright or other reserved rights.

Approved	pjr	Reviewed	pjr
Drawn	ds		
Project No.	---	Issue Date	05.06.19

Landscape  
Hydrozone Plan

L2.0

EXTERIOR LUMINAIRE SCHEDULE							
CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	INPUT WATTS	VOLTS	QUANTITY
OFX1	•	(1) 69W LED	EXTERIOR WALL PACK	LITHONIA CSKW LED 30C 700 50K T3M MVOLT   OR APPROVED EQUAL INSTALLED AT 20' - 0" A.F.F	69	120V 1P 2W	20
OFX2	•	(1) 209W LED	EXTERIOR POLE MOUNT	LITHONIA CSX1 LED 60C 1000 50K T3M MVOLT HS   OR APPROVED EQUAL POLE MOUNTED AT 20' - 0" A.F.F.	209	120V 1P 2W	10

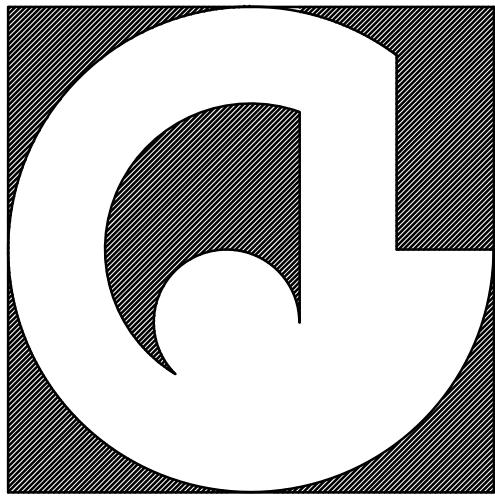


CALL-OUT NOTES

- ALL OUTDOOR LIGHTING TO BE CONNECTED VIA AUTOMATIC TIME SWITCH IN CONJUNCTION WITH PHOTOCELL. ALL OUTDOOR LIGHTING TO ALSO BE CONNECTED VIA DIMMABLE CONTROLLER IN CONJUNCTION WITH MOTION SENSOR THAT HAS AUTO-ON FUNCTIONALITY THAT AUTOMATICALLY REDUCES LIGHTING POWER BETWEEN 40-80 PERCENT PER T-24 REQUIREMENTS (TYP). (TS)(PD)(MS)
- CONTRACTOR TO VERIFY THAT PROPER SHIELDING AND CUT-OFF IS IN PLACE TO PREVENT LIGHT SPILL ONTO NEIGHBORING PROPERTY AS WELL AS LIGHT GLARE (TYP).
- POLE BASE DETAIL TO BE PROVIDED BY OTHERS TO STRUCTURALLY MEET WIND AND SOIL CONDITIONS. (TYP)
- CONTRACTOR TO INSTALL WALL MOUNT LIGHT FIXTURES AT 20' A.F.F.

LIGHTING CONTROL LEGEND

- (TS) AUTOMATIC TIME SWITCH
- (PD) DIMMER SWITCH (LOW OR LINE VOLTAGE)
- (PC) PHOTOCELL SENSOR
- (MS) MOTION SENSOR
- (DRS) DEMAND RESPONSIVE SIGNAL



ARCHITECTURE . ENGINEERING

855 MISSION STREET, SOUTH PASADENA, CA 91080  
OFFICE : 626-799-4400 FAX : 626-799-7010

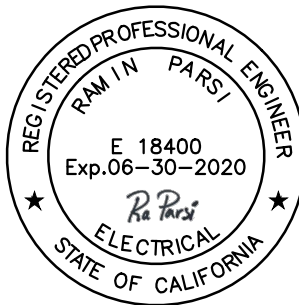
PROJECT NAME & SITE ADDRESS:

NEW BUILDING  
12821 KNOTT ST.  
GARDEN GROVE, CA 92841

DEVELOPER :

JOHN G. CATALDO

Drawing Content :  
SITE PLAN, LIGHTING



Revisions :

PLAN CHECK ~ 05/08/19  
REVISIONS ~ 10/18/19

Designer : M.J.  
Manager : M.J.  
Date : 10/18/2019  
Job No : 2018-202  
Scale : 1/32"=1'-0"  
Drawing No :

SITE PLAN, LIGHTING

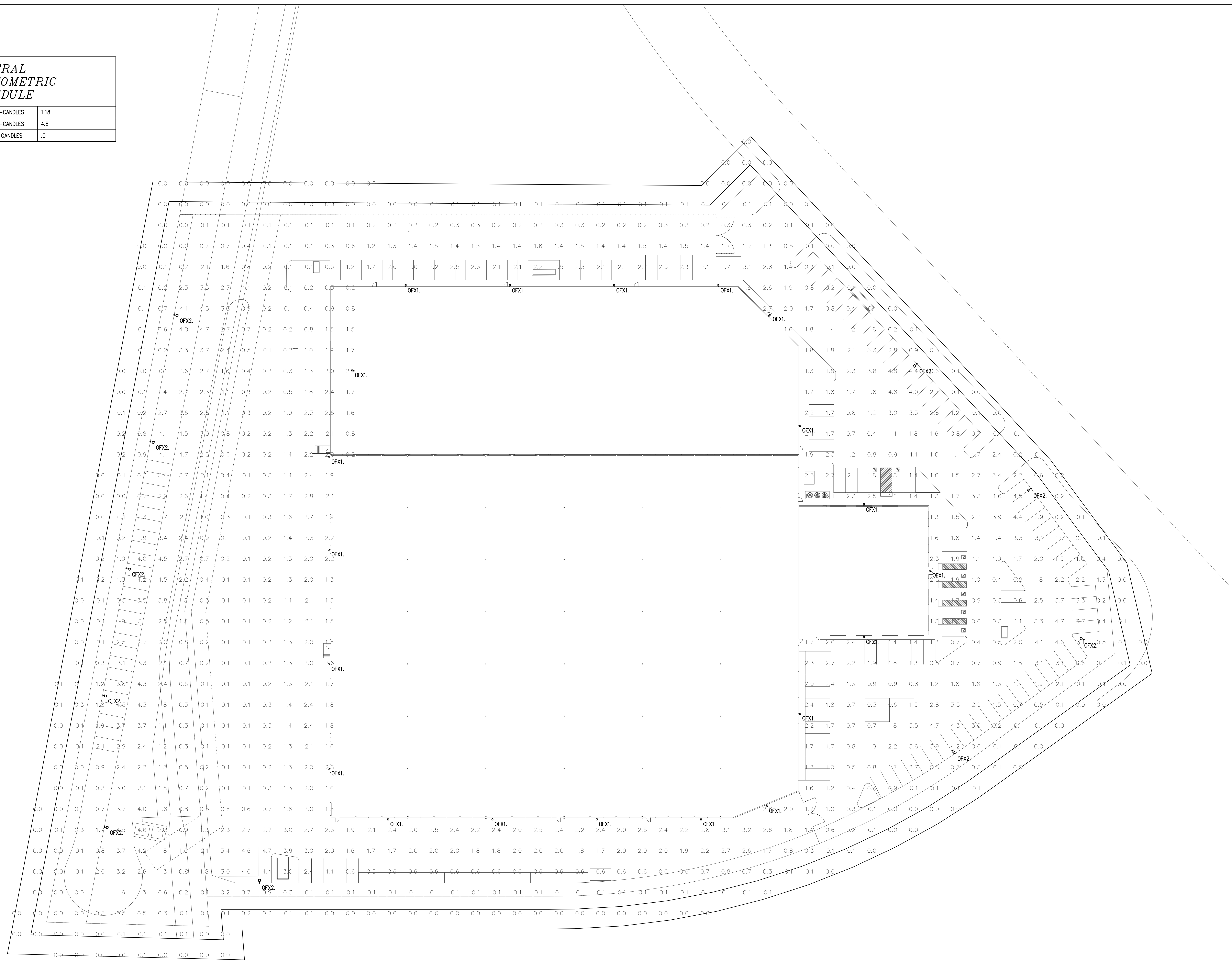
SCALE: 1/32"=1'-0"

E1.0

SHEET : OF : PR-1



GENERAL PHOTOMETRIC SCHEDULE	
AVERAGE FOOT-CANDLES	1.18
MAXIMUM FOOT-CANDLES	4.8
MINIMUM FOOT-CANDLES	.0



SITE PLAN, PHOTOMETRICS  
SCALE: 1/30"=1'-0"

ARCHITECTURE . ENGINEERING

855 MISSION STREET, SOUTH PASADENA, CA 91080  
OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

NEW BUILDING

12821 KNOTT ST.  
GARDEN GROVE, CA 92841

DEVELOPER :

Drawing Content :  
SITE PLAN, PHOTOMETRICS

Revisions :

PLAN CHECK	~ 05/08/19
REVISIONS	~ 10/18/19

Designer : M.J.  
Manager : M.J.  
Date : 10/18/2019  
Job No : 2018-202  
Scale : 1/30"=1'-0"  
Drawing No :

E2.0

SHEET : OF : PR-1

**City of Garden Grove**

**INTER-DEPARTMENT MEMORANDUM**

To:	Scott C. Stiles	From:	John Montanez
Dept.:	City Manager	Dept.:	Community Services
Subject:	Award a contract to California Landscape & Design, Inc. for Project No. S-1262 - perimeter fence replacement at the Atlantis Play Center. (Cost: \$349,320) ( <i>Action Item</i> )		
		Date:	1/28/2020

---

**OBJECTIVE**

The purpose of this memo is to request that the City Council award a contract to California Landscape & Design, Inc. for Project No. S-1262 - perimeter fence replacement at the Atlantis Play Center at 13630 Atlantis Way, Garden Grove.

**BACKGROUND**

The existing perimeter chain link fence at the Atlantis Play Center has been in place for decades and is in need of replacement to improve security and safety for park patrons and City staff.

The proposed improvement to replace the fence includes removal and disposal of the existing 6 foot tall chain link fence. The contractor will install a new fence using the ClearVu product fence material, and repair any turf and hardscape damaged during the project.

**DISCUSSION**

The new fence will be eight feet tall with an additional one foot section on the top angled outward at 40 degrees. This will make the fence nearly nine feet tall overall. Additionally, on the north side of the park (closest to the 22 Freeway), the fence will go 18 inches below ground to prevent anyone or any animals from digging under the fence and gaining access to the park.

The ClearVu fence product is designed to allow for maximum visibility, which will also increase security as it will help prevent people from hiding in or behind the park.

Staff solicited bids for replacement of the Atlantis Play Center perimeter fence pursuant to Municipal Code Section 2.50.100.

Three (3) qualified bids were received and opened in the City Clerk's Office at 10:00 a.m. on Monday, December 23, 2019. The lowest qualified bidder was California Landscape & Design, Inc., with a total bid amount of \$349,320. This bid is within the current project budget. The licenses and references of the contractor have been reviewed and verified by staff, and all other documentation is in order. Contractors and bid amounts are as follows:

California Landscape & Design, Inc	\$349,320
Quality Fence Co. Inc.	\$379,721
State Link Construction	\$650,000

#### FINANCIAL IMPACT

There is no financial impact to the City's General Fund. This improvement is budgeted in the Capital Improvement Projects and funded by Park Fee funds.

#### RECOMMENDATION

It is recommended that the City Council:

- Award a contract to California Landscape & Design, Inc., in the amount of \$349,320, for Project No. S-1262 - perimeter fence replacement at the Atlantis Play Center; and
- Authorize the City Manager to execute the contract and make minor modifications as appropriate thereto, on behalf of the City.

#### ATTACHMENTS:

<b>Description</b>	<b>Upload Date</b>	<b>Type</b>	<b>File Name</b>
Agreement	1/21/2020	Agreement	1-28-20_California_Landscape___Design___Inc..pdf

## **SECTION 4 - AGREEMENT**

### **PROJECT AGREEMENT**

**THIS AGREEMENT** is made this \_\_\_\_ day of \_\_\_\_\_, 2020, by the CITY OF GARDEN GROVE, a municipal corporation, ("CITY"), and **California Landscape & Design, Inc.**, hereinafter referred to as ("CONTRACTOR").

#### **RECITALS:**

The following recitals are a substantive part of this Agreement:

This Agreement is entered into pursuant to Garden Grove COUNCIL AUTHORIZATION, DATED \_\_\_\_\_.

CITY desires to utilize the services of Provide all Materials, Labor, and Equipment for the Installation of Fencing at Atlantis Play Center, per the Bid Specifications.

CONTRACTOR is qualified by virtue of experience, training, education, and expertise to accomplish services.

#### **AGREEMENT**

THE PARTIES MUTUALLY AGREE AS FOLLOWS:

- 4.0 **Compensation.** CONTRACTOR shall be compensated as follows: Compensation under this agreement shall be a Not to exceed (NTE) amount of Three Hundred Forty Nine Thousand Three Hundred Twenty Dollars Only (\$349,320.00), payable in arrears and in accordance with Bid Pricing Sheet (Attachment "B"), which is attached and is hereby incorporated by reference. Payment for work under this Agreement shall be made per invoice or request for work completed subject to Section 4.11 hereof. Within 45 day of delivery of goods or completion of performance of services, CONTRACTOR must promptly render an invoice to CITY or payment may be significantly delayed. For extra work not a part of this Agreement, a written authorization by CITY will be required, and payment shall be based on pricing included in Bid Pricing (Attachment "B"). All work shall be in accordance with Bid No. S-1262 and Bid Specifications/Drawings (Attachment "A") which are attached and are hereby incorporated by reference.
- 4.1 **General Conditions.** CONTRACTOR certifies and agrees that all the terms, conditions and obligations of the Contract Documents as hereinafter defined, the location of the job site, and the conditions under which the work is to be performed have been thoroughly reviewed, and enters into this Contract based upon CONTRACTOR'S investigation of all such matters and is in no way relying upon any opinions or representations of CITY. It is agreed that this Contract represents the entire agreement. It is further agreed that the Contract Documents including the Notice Inviting Bids, Special Instructions to Bidders, if any, Plans and Specifications, and Contractor's Proposal, are incorporated in this

Contract by reference, with the same force and effect as if the same were set forth at length herein, and that CONTRACTOR and its subcontractors, if any, will be and are bound by any and all of said Contract Documents insofar as they relate in any part or in any way, directly or indirectly, to the work covered by this Contract.

**"Project"** as used herein defines the entire scope of the work covered by all the Contract Documents. Anything mentioned in the Specifications and not indicated in the Plans, or indicated in the Plans and not mentioned in the Specifications, shall be of like effect as if indicated and mentioned in both. In case of discrepancy in the Plans or Specifications, the matter shall be immediately submitted to City's Engineer, without whose decision CONTRACTOR shall not adjust said discrepancy save only at CONTRACTOR'S own risk and expense. The decision of the Engineer shall be final.

**4.2 Materials and Labor.** CONTRACTOR shall furnish, under the conditions expressed in the Plans and Specifications, at CONTRACTOR'S own expense, all labor and materials necessary, except such as are mentioned in the Specifications to be furnished by the CITY, to complete the project, in good workmanlike and substantial order. If CONTRACTOR fails to pay for labor or materials when due, CITY may settle such claims by making demand upon the surety to this Agreement. In the event of the failure or refusal of the surety to satisfy said claims, CITY may settle them directly and deduct the amount of payments from the Contract price and any amounts due to CONTRACTOR. In the event CITY receives a stop notice from any laborer or material supplier alleging non-payment by CONTRACTOR, CITY shall be entitled to deduct all of its costs and expenses incurred relating thereto, including but not limited to administrative and legal fees.

**4.3 Project.** The PROJECT is described as Provide all Materials, Labor, and Equipment for the Installation of Fencing at Atlantis Play Center, located at 13630 Atlantis Way, Garden Grove, CA 92844, per the Bid Specifications.

**4.4 Plans and Specifications.** The work to be done is described in a set of detailed Plans and Specifications for: Provide all Materials, Labor, and Equipment for the Installation of Fencing at Atlantis Play Center, located at 13630 Atlantis Way, Garden Grove, CA 92844, per the Bid Specifications.

Said Plans and Specifications and any revisions, amendments or addenda thereto are attached hereto and incorporated herein as part of this Contract and referred to by reference. The work to be done must also be in accordance with the General Provisions, Standard Specifications and Standard Plans of City which are also incorporated herein and referred to by reference.

**4.5 Time of Commencement and Completion.** CONTRACTOR agrees to commence the Project with TEN (10) calendar days from the date set forth in the "Notice to Proceed" sent by City and shall diligently prosecute the work according to the Bid Specifications, Section 3.10, CONSTRUCTION SCHEDULE, excluding delays caused or authorized by the CITY as set forth in Sections 4.7, 4.8 and 4.9 hereof.

**4.6 Time is of the Essence.** Time is of the essence of this Contract. As required by the Contract Documents, CONTRACTOR shall prepare and obtain approval of all shop drawings, details and samples, and do all other things necessary and incidental to the prosecution of CONTRACTOR'S work in conformance with an approved construction progress schedule. CONTRACTOR shall coordinate the work covered by this Contract with that of all other contractors, subcontractors and of the CITY, in a manner that will facilitate the efficient completion of the entire work in accordance with Section 4.5 herein. CITY shall have complete control of the premises on which the work is to be performed and shall have the right to decide the time or order in which the various portions of the work shall be installed or the priority of the work of other subcontractors, and, in general, all matters representing the timely and orderly conduct of the work of CONTRACTOR on the premises.

**4.7 Excusable Delays.** CONTRACTOR shall be excused for any delay in the prosecution or completion of the Project caused by acts of God; inclement weather; damages caused by fire or other casualty for which CONTRACTOR is not responsible; and act, neglect or default of CITY; failure of CITY to make timely payments to CONTRACTOR; late delivery of materials required by this CONTRACT to be furnished by CITY; combined action of the workers in no way caused by or resulting from default or collusion on the part of CONTRACTOR; a lockout by CITY; or any other delays unforeseen by CONTRACTOR and beyond CONTRACTOR'S reasonable control.

City shall extend the time fixed in Section 4.5 herein for completion of the Project by the number of days CONTRACTOR has thus been delayed, provided that CONTRACTOR presents a written request to CITY for such time extension within fifteen (15) days of the commencement of such delay and CITY finds that the delay is justified. CITY'S decision will be conclusive on the parties to this Contract. Failure to file such request within the time allowed shall be deemed a waiver of the claim by CONTRACTOR.

No claims by CONTRACTOR for additional compensation or damages for delays will be allowed unless CONTRACTOR satisfies CITY that such delays were unavoidable and not the result of any action or inaction of CONTRACTOR and that CONTRACTOR took all available measures to mitigate such damages. Extensions of time and extra compensation as a result of incurring undisclosed utilities will be determined in accordance with Section 9-103A of the State of California Department of Transportation Standard Specifications. The CITY'S decision will be conclusive on all parties to this Contract.

**4.8 Extra Work.** The Contract price includes compensation for all work performed by CONTRACTOR, unless CONTRACTOR obtains a written change order signed by a designated representative of CITY specifying the exact nature of the extra work and the amount of extra compensation to be paid all as more particularly set forth in Section 4.9 hereof. CITY shall extend the time fixed in Section 4.5 for completion of the Project by the number of days reasonably required for CONTRACTOR to perform the extra work, as determined by CITY'S Engineer. The decision of the Engineer shall be final.

#### **4.9 Changes in Project.**

**4.9.1** CITY may at any time, without notice to any surety, by written order designated or indicated to be a change order, make any change in the work within the general scope of the Contract, including but not limited to changes:

- a. in the Specifications (including drawings and designs);
- b. in the time, method or manner of performance of the work;
- c. in the City-furnished facilities, equipment, materials, services or site; or
- d. directing acceleration in the performance of the work.

**4.9.2** A change order shall also be any other written order (including direction, instruction, interpretation or determination) from the CITY which causes any change, provided CONTRACTOR gives the CITY written notice stating the date, circumstances and source of the order and that CONTRACTOR regards the order as a change order.

**4.9.3** Except as provided in this Section 4.9, no order, statement or conduct of the CITY or its representatives shall be treated as a change under this Section 9 or entitle CONTRACTOR to an equitable adjustment.

**4.9.4** If any change under this Section 4.9 causes an increase or decrease in CONTRACTOR'S actual, direct cost or the time required to perform any part of the work under this Contract, whether or not changed by any order, the CITY shall make an equitable adjustment and modify the Contract in writing. Except for claims based on defective specifications, no claim for any change under paragraph (4.9.2) above shall be allowed for any costs incurred more than 20 days before the CONTRACTOR gives written notice as required in paragraph (4.9.2). In the case of defective specifications for which the CITY is responsible, the equitable adjustment shall include any increased direct cost CONTRACTOR reasonably incurred in attempting to comply with those defective specifications.

**4.9.5** If CONTRACTOR intends to assert a claim for an equitable adjustment under this Section 4.9, it must, within thirty (30) days after receipt of a written change order under paragraph (4.9.1) or the furnishing of a written notice under paragraph (4.9.2), submit a written statement to the CITY setting forth the general nature and monetary extent of such claim. The CITY may extend the 30-day period. CONTRACTOR may include the statement of claim in the notice under paragraph (4.9.2) of this Section 4.9.

**4.9.6** No claim by CONTRACTOR for an equitable adjustment shall be allowed if made after final payment under this Agreement.



**4.9.7** CONTRACTOR hereby agrees to make any and all changes, furnish the materials and perform the work that CITY may require without nullifying this Contract. CONTRACTOR shall adhere strictly to the Plans and Specifications unless a change therefrom is authorized in writing by the CITY. Under no condition shall CONTRACTOR make any changes to the Project, either in additions or deduction, without the written order of the CITY and the CITY shall not pay for any extra charges made by CONTRACTOR that have not been agreed upon in advance in writing by the CITY. CONTRACTOR shall submit immediately to the CITY written copies of its firm's cost or credit proposal for change in the work. Disputed work shall be performed as ordered in writing by the CITY and the proper cost or credit breakdowns therefor shall be submitted without delay by CONTRACTOR to CITY.

**4.10 Liquidated Damages for Delay.** The parties agree that if the total work called for under this Contract, in all parts and requirements, is not completed within the time specified in Section 4.5 herein, plus the allowance made for delays or extensions authorized under Section 4.7, 4.8 and 4.9 herein, the CITY will sustain damage which would be extremely difficult and impractical to ascertain. The parties therefore agree that CONTRACTOR will pay to CITY the sum of two hundred and fifty dollars (\$250.00) per day for each and every calendar day during which completion of the Project is so delayed. CONTRACTOR agrees to pay such liquidated damages and further agrees that CITY may offset the amount of liquidated damages from any moneys due or that may become due CONTRACTOR under the Contract.

**4.11 Contract Price and Method of Payment.** CITY agrees to pay and the CONTRACTOR agrees to accept as full consideration for the faithful performance of this Contract, subject to any subsequent additions or deductions as provided in approved change orders, the sum as itemized in the bid proposal. Progress payments shall be made to the CONTRACTOR per month for each successive month as the work progresses. The CONTRACTOR shall be paid such sum as will bring the total payments received since the commencement of the work up to ninety five percent (95%) of the value of the work completed, less all previous payments, provided that the CONTRACTOR submits the request for payment prior to the end of the day required to meet the payment schedule. The CITY will retain five percent (5%) of the amount of each such progress estimate and material cost until 30 days after the recordation of the Notice of Completion.

Payments shall be made on demands drawn in the manner required by law, accompanied by a certificate signed by the CITY'S Engineer, stating that the work for which payment is demanded has been performed in accordance with the terms of the Contract. Partial payments of the Contract price shall not be considered as an acceptance of any part of the work.

**4.12 Substitution of Securities in Lieu of Retention of Funds.** Pursuant to California Public Contract Code Section 22300, the CONTRACTOR will be entitled to post approved securities with the CITY or an approved financial institution in order to have the CITY release funds retained by the CITY to ensure performance of the Contract. CONTRACTOR shall be required to execute an



addendum to this Contract together with escrow instructions and any other documents in order to effect this substitution.

**4.13 Completion.** CITY may require affidavits or certificates of payment and/or releases from any subcontractor, laborer or material supplier in connection with Stop Notices, which have been filed under the provisions of the statutes of the State of California.

**4.14 Contractor's Employee Compensation.**

**4.14.1 General Prevailing Rate.** CITY has ascertained CONTRACTOR shall comply with all applicable requirements of Division 2, Part 7, Chapter 1 of the California Labor Code and all applicable federal requirements respecting the payment of prevailing wages. If there is a difference between the minimum wage rates predetermined by the Secretary of Labor and the prevailing wage rates determined by the Director of the Department of Industrial Relations (DIR) for similar classifications of labor, the CONTRACTOR and its Subcontractors shall pay not less than the higher wage rate. The DIR will not accept lower State wage rates not specifically included in the Federal minimum wage determinations. This includes "helper" (or other classifications based on hours of experience) or any other classification not appearing in the Federal Wage determinations. Where Federal wage determinations do not contain the State wage rate determination otherwise available for use by the CONTRACTOR and Subcontractors, the CONTRACTOR and its Subcontractors shall pay not less than the Federal Minimum wage rate which most closely approximates the duties of the employees in question.

**4.14.2 Forfeiture for Violation.** CONTRACTOR shall, as a penalty to the CITY, forfeit one hundred dollars (\$100.00) for each calendar day or portion thereof for each worker paid (either by the CONTRACTOR or any subcontractor under it) less than the prevailing rate of per diem wages as set by the Director of Industrial Relations, in accordance with Sections 1770-1780 of the California Labor Code for the work provided for in this Contract, all in accordance with Section 1775 of the Labor Code of the State of California.

**4.14.3 Apprentices.** Section 1777.5, 1777.6 and 1777.7 of the Labor Code of the State of California, regarding the employment of apprentices is applicable to this Contract and the CONTRACTOR shall comply therewith; provided, however, that this requirement shall not apply if and/or to the extent that the Contract of the general CONTRACTOR, or the contracts of specialty contractors not bidding for work through a general or prime contractor involves less than thirty thousand dollars (\$30,000.00).

**4.14.4 Workday.** In the performance of this Contract, not more than eight (8) hours shall constitute a day's work, and CONTRACTOR shall not require more than eight (8) hours of labor in a day from any person employed by him thereunder except as provided in paragraph (4.14.1) above. CONTRACTOR shall conform to Article 3, Chapter 1, Part 7 (Sections 1810 et seq.) of the Labor Code of the State of California and shall forfeit to

the CITY as a penalty, the sum of twenty-five dollars (\$25.00) for each worker employed in the execution of this Contract by CONTRACTOR or any subcontractor for each calendar day during which any worker is required or permitted to labor more than eight (8) hours in any one calendar day and forty (40) hours in any one week in violation of said Article. CONTRACTOR shall keep an accurate record showing the name and actual hours worked each calendar day and each calendar week by each worker employed by CONTRACTOR in connection with the Project.

**4.14.5 Record of Wages: Inspection.** CONTRACTOR agrees to maintain accurate payroll records showing the name, address, social security number, work classification, straight time and overtime hours worked each day and week, and the actual per diem wages paid to each journeyman, apprentice, worker or other employee employed by it in connection with the Project and agrees to require that each of its subcontractors does the same. The applicable CONTRACTOR or subcontractor or its agent having authority over such matters shall certify all payroll records as accurate. CONTRACTOR further agrees that its payroll records and those of its subcontractors shall be available to the employee or employee's representative, the Division of Labor Standards Enforcement, and the Division of Apprenticeship Standards and shall comply with all of the provisions of Labor Code Section 1776, in general. CONTRACTOR shall comply with all of the provisions of Labor Code Section 1776, and shall submit payroll records to the Labor Commissioner pursuant to Labor Code section 1771.4(a)(3).

**4.14.6 CONTRACTOR REGISTRATION; MAINTENANCE OF PAYROLL RECORDS; JOB SITE POSTING**

**4.14.6.1 Contractor Registration.** CONTRACTOR and its subcontractors must be registered with the California Department of Industrial Relations pursuant to Labor Code Section 1725.5. This Agreement shall not be effective until CONTRACTOR provides proof of registration to the CITY.

**4.14.6.2 Payroll Records.** CONTRACTOR shall maintain accurate payroll records and shall comply with all of the provisions of Labor Code Section 1776, and shall submit payroll records to the Labor Commissioner pursuant to Labor Code section 1771.4(a)(3).

**4.14.6.3 Posting of Job Site Notices.** CONTRACTOR shall comply with the job site notices posting requirements established by the Labor Commissioner pursuant to Title 8, California Code of Regulations Section 16461(e) or other regulation promulgated pursuant to Labor Code Section 1771.4(a)(2).

**4.14.6.4 Notice of DIR Compliance Monitoring and Enforcement.** Pursuant to Labor Code Section 1771.4, this Project is subject to compliance monitoring and enforcement by the California Department of Industrial Relations.

**4.15 Surety Bonds.** CONTRACTOR shall, upon entering into performance of this Agreement, furnish bonds in the amount of one hundred percent (100%) of the Contract price bid, to guarantee the faithful performance of the work, and the other in the amount of one hundred percent (100%) of the Contract price bid to guarantee payment of all claims for labor and materials furnished. This Contract shall not become effective until such bonds are supplied to and approved by the CITY. The Surety Company must have an AM Best rating of A- VII or better.

**4.16 Insurance.**

**4.16.1** CONTRACTOR is also aware of the provisions of Section 3700 of the Labor Code which requires every employer to be insured against liability for Workers' Compensation or undertake self-insurance with provisions of that Code and will comply with such provisions before commencing the performance of the work of this Contract.

**4.16.2** CONTRACTOR and all subcontractors will carry and provide Workers' Compensation insurance for the protection of its employees during the progress of the work and *provide Employers Liability in an amount not less than \$1,000,000*. The insurer shall waive its rights of subrogation against the CITY, its officers, agents and employees and shall issue a certificate to the policy evidencing same.

**4.16.3** For any claims related to this Agreement, CONTRACTOR'S insurance coverage shall be primary insurance as respects CITY, its officers, officials, employees, agents, and volunteers. Any insurance or self-insurance maintained by the CITY, its officers, officials, employees, agents, or volunteers shall by excess of the CONTRACTOR'S insurance and shall not contribute with it.

**4.16.4** Before CONTRACTOR performs any work at, or prepares or delivers materials to, the site of construction, CONTRACTOR shall furnish certificates of insurance and endorsements evidencing the foregoing insurance coverage and such certificates of insurance and endorsements shall provide the name and policy number of each carrier and that the insurance is in force and will not be cancelled without 30 days written notice to the CITY. CONTRACTOR shall maintain all of the foregoing insurance in force until the work under this contract is satisfactorily and fully completed to the satisfaction of the CITY. The requirement for carrying the foregoing insurance shall not derogate from the provisions for indemnification of CITY by Contractor under Section 4.17 of this Contract. Notwithstanding nor diminishing the obligations of CONTRACTOR with respect to the foregoing, CONTRACTOR shall subscribe for and maintain in full force and effect during the life of this Contract, the following

insurance in amounts not less than the amounts specified and issued by a company having a Best's Guide Rate of A-, Class VII or better (claims made and modified occurrence policies are not acceptable).

**4.16.5 COMMENCEMENT OF WORK.** CONTRACTOR shall not commence work under this Agreement until all certificates and endorsements have been received and approved by the CITY. All insurance required by this Agreement shall contain a Statement of Obligation on the part of the carrier to notify the CITY of any material change, cancellation, or termination at least thirty (30) days in advance. Contractor shall also provide a waiver of subrogation for each policy.

**4.16.6 INSURANCE AMOUNTS.** CONTRACTOR and all subcontractors shall maintain the following insurance in the amount and type for the duration of this Agreement:

- (a) Commercial general liability in an amount not less than \$1,000,000 per occurrence, and not excluding XCU; **(claims made and modified occurrence policies are not acceptable)**; Insurance companies must be acceptable to CITY and have an AM Best's Guide Rating of A-, Class VII or better, as approved by the CITY.
- (b) Automobile liability in an amount not less than \$1,000,000 combined single limit; **(claims made and modified occurrence policies are not acceptable)**; Insurance companies must be acceptable to CITY and have an AM Best's Guide Rating of A-, Class VII or better, as approved by the CITY.

An Additional Insured Endorsement, **ongoing and products-completed operations**, for the policy under section 4.16.6 (a) shall designate CITY, its officers, officials, employees, agents, and volunteers for this contract and all public agencies from whom permits will be obtained and their directors, officers, agents, and employees, as determined by the CITY, as additional insureds for liability arising out of work or operations performed by or on behalf of the CONTRACTOR. CONTRACTOR shall provide to CITY proof of insurance and endorsement forms that conform to city's requirements, as approved by the CITY.

An Additional Insured Endorsement for the policy under section 4.16.6 (b) shall designate CITY, its officers, officials, employees, agents, and volunteers for this contract and all public agencies from whom permits will be obtained and their directors, officers, agents, and employees, as determined by the CITY, as additional insureds for automobiles owned, leased, hired, or borrowed by the CONTRACTOR. CONTRACTOR shall provide to CITY proof of insurance and endorsement forms that conform to CITY's requirements, as approved by the CITY.

For any claims related to this Agreement, CONTRACTOR's insurance coverage shall be primary insurance as respects CITY, its officers, officials, employees, agents, and volunteers for this contract and all public

agencies from whom permits will be obtained and their directors, officers, agents, and employees. Any insurance or self-insurance maintained by the CITY, its officers, officials, employees, agents, or volunteers, for this contract and all public agencies from whom permits will be obtained and their directors, officers, agents, and employees, as determined by the CITY shall be excess of the CONTRACTOR's insurance and shall not contribute with it.

If CONTRACTOR maintains higher insurance limits than the minimums shown above, CONTRACTOR shall provide coverage for the higher insurance limits otherwise maintained by the CONTRACTOR.

**4.17 Risk and Indemnification.** All work covered by this Contract done at the site of the Project or in preparing or delivering materials to the site shall be at the risk of CONTRACTOR alone. CONTRACTOR agrees to save, indemnify and keep CITY, its Officers, Agents, Employees, Engineers, and Consultants for this Contract, and all public agencies from whom permits will be obtained and their directors, Officers, Agents and Employees harmless against any and all liability, claims, judgments, costs and demands, including demands arising from injuries or death of persons (CONTRACTOR'S employees included) and damage to property, arising directly or indirectly out of the obligations herein undertaken or out of the operations conducted by CONTRACTOR, save and except claims or litigation arising through the *active negligence* or sole willful misconduct of CITY and will make good to reimburse CITY for any expenditures, including reasonable attorneys' fees CITY may incur by reason of such matters, and if requested by CITY, will defend any such suits at the sole cost and expense of CONTRACTOR.

**4.18 Termination.**

**4.18.1** This Contract may be terminated in whole or in part in writing by the CITY for its convenience, provided that the CONTRACTOR is given (1) not less than ten (10) calendar days written notice (delivered by certified mail, return receipt requested) of intent to terminate, and (2) an opportunity for consultation with the terminating party prior to termination. Termination of contract shall conform to Section 8-1.11 of the State of California, Department of Transportation Standard Specifications.

**4.18.2** If termination for default or convenience is effected by the CITY, an equitable adjustment in the price provided for in this Contract shall be made, but (1) no amount shall be allowed for anticipated profit on unperformed services or other work, and (2) any payment due to the CONTRACTOR at the time of termination may be adjusted to cover any additional costs to the CITY because of the CONTRACTOR'S default. The equitable adjustment for any termination shall provide for payment to the CONTRACTOR for services rendered and expenses incurred in accordance with section 8-1.11 of the State of California, Department of Transportation Standard Specifications.

**4.18.3** Upon receipt of a termination action under paragraph (4.18.1) or (4.18.2) above, the CONTRACTOR shall (1) promptly discontinue all affected work (unless the notice directs otherwise), and (2) deliver or otherwise make available to the CITY all data, drawings, specifications, reports, estimates, summaries and such other information and materials as may have been accumulated by the CONTRACTOR in performing this Contract whether completed or in process.

**4.18.4** Upon termination under paragraphs (4.18.1) and (4.18.2) above, the CITY may take over the work and may award another party an agreement to complete the work under this Contract.

**4.19 Warranty.** The CONTRACTOR agrees to perform all work under this Contract in accordance with the CITY'S designs, drawings and specifications.

The CONTRACTOR guarantees for a period of one (1) year from the date of the notice of completion of the work that the completed work is free from all defects due to faulty materials, equipment or workmanship and that he shall promptly make whatever adjustments or corrections which may be necessary to cure any defects, including repairs or any damage to other parts of the system resulting from such defects. The CITY shall promptly give notice to the CONTRACTOR of observed defects. In the event that the CONTRACTOR fails to make adjustments, repairs, corrections or other work made necessary by such defects, the CITY may do so and charge the CONTRACTOR the cost incurred. The performance bond shall remain in full force and effect through the guarantee period.

The CONTRACTOR'S obligations under this clause are in addition to the CONTRACTOR'S other express or implied assurances provided under this Contract and in no way diminish any other rights that the CITY may have against the CONTRACTOR for faulty materials, equipment or work.

**4.20 Attorneys' Fees.** If any action at law or in equity is necessary to enforce or interpret the terms of this Contract, *each party shall be responsible for their own attorneys' fees, costs and necessary expenses.* If any action is brought against the CONTRACTOR or any subcontractor to enforce a Stop Notice or Notice to Withhold, which named the CITY as a party to said action, the CITY shall be entitled to all attorneys' fees, costs and necessary disbursements arising out of the defense or such action by the CITY. The CITY shall be entitled to deduct its costs for any Stop Notice filed, whether court action is involved or not.

**4.21 Appropriations.** This Agreement is subject to and contingent upon funds being appropriated therefor by the Garden Grove City Council for each fiscal year covered by the term of this Agreement. If such appropriations are not made, this Agreement shall automatically terminate without penalty to the CITY.

**4.22 Notices.** Any notice required or permitted under this Contract may be given by ordinary mail at the address set forth below. Any party whose address changes shall notify the other party in writing.

To CITY:                   City of Garden Grove  
                                City Attorney  
                                11222 Acacia Parkway  
                                Garden Grove, California 92840

To CONTRACTOR: California Landscape & Design, Inc.,  
                                Attention: Joseph M. Ciaglia, Jr., President  
                                273 N. Benson Avenue  
                                Upland, CA 91786

\\\\\\

(Agreement Signature Block on Next Page)

**IN WITNESS THEREOF**, these parties have executed this Project Agreement on the day and year shown below.

Date: \_\_\_\_\_

**"CITY"**  
**CITY OF GARDEN GROVE**

By: \_\_\_\_\_  
City Manager

**ATTEST:**

\_\_\_\_\_  
City Clerk

Date: \_\_\_\_\_

**"CONTRACTOR"**  
California Landscape & Design, Inc.

Contractor's State Lic. No. 597267

DIR Registration Number 1000002521

Expiration Date: 09/30/2021

By:  Joseph M. Ciaglia, Jr.

Title: President

Date: 01/14/2020

Tax ID No. 33-0840384

If CONTRACTOR is a corporation, a Corporate Resolution and/or Corporate Seal is required. If a partnership, Statement of Partnership must be submitted to the CITY.

**APPROVED AS TO FORM:**

  
Garden Grove City Attorney



**ATTACHMENT "A"**  
**BID SPECIFICATIONS**

**IFB S-1262**

**Provide all Materials, Labor, and Equipment for the Installation of Fencing  
at Atlantis Play Center**

**ORNAMENTAL STEEL FENCES AND GATES**

**PART 1 GENERAL**

**1.01 WORK INCLUDED**

- A. Conceptual plan, materials, testing, installation, adjustments, repair, and cleaning of Clearvu manufacturer decorative fences and gates or equal. Protection of installed product and adjacent materials

**1.02 RELATED WORK**

- A. Master Format Section 03 30 00: Cast-in-Place Concrete: Concrete post footings.

**1.03 SYSTEM DESCRIPTION**

- A. Furnish, install, make adjustments, and test complete fencing system where shown, including appurtenant footings, hardware, mountings, or connections required for compliance with Manufacturer's installation requirements and compliance with applicable building codes and standards. Repair and clean if needed.

**1.04 Quality Assurance**

- A. Use adequate numbers of skilled workmen trained and experienced in necessary trades and crafts and completely familiar with specified requirements and methods for proper performance of Work of this section.
- B. Qualifications:
  - 1. Manufacturer:
    - (a) 5 years' experience manufacturing components similar to or exceeding requirements of project.
    - (b) Having sufficient capacity to produce and deliver required materials without causing delay in work.
    - (c) Capable of providing field service representation during construction.
  - 2. Licensed Professional: A Professional Structural Engineer, experienced in security fencing design, and licensed in the State in which the Project is located.

3. Installer: Acceptable to the manufacturer, experienced in performing work of this section and has specialized in installation of work similar to that required for this project.

#### 1.05 ADMINISTRATIVE REQUIREMENTS

- A. Coordinate with work of other trades for proper time and sequence to avoid construction delays. Comply with Section [01 31 00 – Project Management and Coordination].
- B. Conduct preinstallation meeting prior to commencing work of this Section and on-site installations to verify project requirements, substrate conditions and coordination with other building subtrades, and to review manufacturer's installation instructions and manufacturer's warranty requirements. Comply with Section [01 31 19 - Project Meetings].

#### 1.06 REQUIRED LICENSES

- A. Class A General Contractors License

#### 1.07 REFERENCES

- A. ASTM International (ASTM):
  1. ASTM A36 Standard Specification for Carbon Structural Steel.
  2. ASTM A53 Standard Specification for Pipe, Steel, Black and Hot-Dipped, Zinc-Coated Welded and Seamless.
  3. ASTM A653 Standard Specification for Steel Sheet, Zinc-Coated Galvanized or Zinc-Iron Alloy-Coated Galvannealed by the Hot-Dip Process.
  4. ASTM B117 Standard Practice for Operating Salt Spray (Fog) Apparatus.
  5. ASTM D3359 Standard Test Methods for Measuring Adhesion by Tape Test.
  6. ASTM F2453 Standard Specification for Welded Wire Mesh Fence Fabric.
  7. ASTM F626 Standard Specification for Fence Fittings.
  8. ASTM F668 Standard Specification for Polyvinyl Chloride (PVC), Polyolefin and Other Polymer-Coated Steel Chain Link Fence Fabric.
  9. ASTM G26 Practice for Operating Light Exposure Apparatus (Xenon Arc Type) With and Without Water for Exposure of Nonmetallic Materials (Withdrawn 2000).
  10. ASTM G53 Practice for Operating Light and Water Exposure Apparatus (Fluorescent UV Condensation Type) for Exposure of Nonmetallic Materials (Withdrawn 2000).

#### 1.08 SUBMITTALS

- A. Furnish the following submittals in accordance with Contract Conditions and Section [01 33 00 – Submittal Procedures]:

<b>Submittal</b>	<b>Description</b>
<b>ACTION</b>	
Product Data	<ol style="list-style-type: none"> <li>1. Manufacturer's product data.</li> <li>2. Catalog pages illustrating products to be incorporated into project.</li> <li>3. Material Safety Data Sheets (MSDS).</li> </ol>
Shop Drawings	<ol style="list-style-type: none"> <li>1. Layout of fencing, include types and locations of gates.</li> <li>2. Footing details.</li> <li>3. Fastening details, gate details, and relationships to adjacent construction.</li> </ol>
Material Samples	Required on request, full-size actual products. Samples can be returned to Contractor for incorporation in work/project.
Design Data	Submit engineering data illustrating compliance with specified design and performance criteria. Have submittal signed and sealed by the Licensed Professional.
<b>INFORMATION</b>	
Test and Evaluation Reports	Certified test reports showing compliance with specified performance characteristics and physical properties.
Manufacturer's Instructions	Submit manufacturer's storage and installation instructions and requirements.
Source Quality Control	Submit documentation verifying that components and materials specified in this Section are from single manufacturer.
Manufacturer's Field Reports	Submit manufacturer's field reports.
Qualification Letters or Certificates	Required for Manufacturer, Licensed Professionals, and Installers performing work on this project. Also submit certifications of procedure qualifications for each procedure used.
<b>CLOSEOUT</b>	
Operation and Maintenance Data	Submit operation and maintenance data for installed products in accordance with Section [01 78 23 - Operation and Maintenance Data].

Submittal	Description
	Include: Manufacturer's instructions detailing maintenance requirements. Parts catalog giving complete list of available parts. Replacement parts with cuts and identifying numbers.
Warranty	Refer to Contract Conditions and Section [01 78 36 - Warranties] for project warranty provisions. Manufacturer's Warranty: Submit, for Owner's acceptance, manufacturer's standard warranty document executed by authorized company official. Manufacturer's warranty is in addition to, and does not limit, other rights Owner may have under other Contract Documents. Warranty Term: 5 years commencing on date of completion.

#### 1.09 DELIVERY, STORAGE, AND HANDLING

##### A. Delivery and Acceptance Requirements:

1. Deliver material in accordance with Section [01 61 00 - Common Product Requirements] and in accordance with manufacturer's written instructions.
2. Deliver materials in manufacturer's original packaging with identification labels intact and in sizes to suit project.

##### B. Storage and Handling Requirements

1. Store materials protected from exposure to harmful weather conditions and at temperature conditions recommended by manufacturer.

### PART 2 PRODUCTS

#### 2.01 MANUFACTURER

- A. Single Source Responsibility: Provide components and materials specified in this section from a single manufacturer.
- B. Substitution Limitations: Substitutions: [In accordance with [Contract Conditions] [Section 01 25 00 - Substitution Procedures] [No substitutions permitted].
- C. Acceptable Manufacturer include the following or equal:
  1. Manufacturer: Cochrane USA.  
Contact: 1012 14th Street, NW, #1400, Washington, DC 20005;  
Phone: 202-434-8163, Fax: 202-639-8238; E-

## 2.02 DESCRIPTION

- A. Regulatory Requirements: In accordance with Section [01 41 00 - Regulatory Requirements].
- B. Compatibility: Ensure components and materials are compatible with specified accessories and adjacent materials.

## 2.03 MATERIALS/COMPONENTS/FINISHES

- A. Contractor is responsible for providing their own measurements of the perimeter fence line. The perimeter measurements provided in this document and on attached site plans provided by the city are approximations.
- B. Posts - Cochrane Taper Locking Post:
  - 1. Length: 10' - 10 1/8" [As indicated on the drawings].
  - 2. Post width shall be 3.5 inches (85 mm), tapering to 2 inches (45 mm) with a depth of 3.5 inches (85 mm).
  - 3. Post Locking Recess Mechanism to secure panel edge.
  - 4. Fittings: Locking Recess Mechanism, UV stabilized polymer cap.
  - 5. Post finish: Hot Dipped Galvanized then Marine Fusion Bond Coated.
- C. Panels-Cochrane ClearVu or equal:
  - 1. Panel shall be of 10 feet 10 inches width and 8 feet in height from ground level with 1 foot extended mesh at 40 degree outward angle
  - 2. Aperture Size (Centers): 3 × 1/2 inches.
  - 3. Reinforcing (Rigidity): 4 × 2 inches by 50 mm deep-V formation horizontal recessed bands.
  - 4. Side Flanges: 2 × 2 1/2 inch flanges at 70 degrees along sides of panel (internal fixtures—all fixtures shall be on the inside of fence line.
  - 5. Anti-scale locking devices: located on post panel connection.
  - 6. Top and Toe Flanges: 2 × 2 1/2 inch flanges, integrated rigid angle.
  - 7. Panel post shall have a flush panel post finish with no climbing aid and no external locking devices or components exposed to attack side of the fence line.
- D. Swinging Gates:
  - 1. Pedestrian Single Leaf Swing Gate:
    - (a) South west Gate 4 feet wide – 8 feet in height from ground level – with one foot extended mesh at a 40

degree outward angle. See "4ft pedestrian Swing Gate" drawings.

2. Double Leaf Swing Gates:

- (a) West-end Gate: 12 feet wide by 8 feet in height from ground level with 1 foot extended mesh at a 40 degree outward angle. No drawings\*
- (b) North-end Gate: 19 feet wide by 8 feet in height from ground level with 1 foot extended mesh at a 40 degree outward angle. No drawings\*
- (c) South-East-end Gate: 10 feet wide by 8 feet in height from ground level with 1 foot extended mesh at a 40 degree outward angle. See "10ft Double Leaf Swing Gate" drawings.

E. Anti-burrow

- 1. 12 inch anti burrow is to be installed on the north side of park fence system. The "North side" of park begins on north side of the "West-end 12 foot Double Leaf Swing Gate" and continues until it reaches the soccer arena. Approximately 706 feet. Refer to attached aerial map referred to in section 3.09 of park for specification.

F. Shutter Mesh

- 1. Install Shutter Mesh on fence panel at designated area to block view of splash pad pump equipment. Quantity of mesh to equal mesh that is on the perimeter of current fence (approximately 28 linear feet). See "10 foot panel with shutter mesh" drawing for more specifications.

G. Atlantis sign

- 1. Design, fabricate and install, custom steel laser cut sign to match Atlantis park logo. The city will provide logo.
- 2. City to approve design, color, dimensions and final location of sign.
- 3. Contractor to use ClearVu manufacture or equal to produce custom Atlantis sign.
- 4. Approximate location of sign is indicated on the attached map of park with a "star."

H. Materials

- 1. Steel Pipe (ASTM A53): Zinc-coated and seamless.
- 2. Steel (ASTM A36): Carbon structural steel.
- 3. Panel Fabric (ASTM F2453): Welded wire mesh.
- 4. Fittings (ASTM F626): Zinc-coated.

**I. Fabrication**

1. Panels: Fabricate panel posts with a flush panel post finish with no climbing aid.
2. Swinging Gates:
  - (a) Weld all connections and joints to form rigid frames or assembled with corner fittings.
  - (b) Fabricate hinges so that they will not twist or turn under the action of the gate, and arranged so that a closed gate cannot be lifted off the hinges to obtain entry.

**J. Finishes**

1. Galvanize: Hot-dip galvanize in accordance with ASTM A653.
2. Finish: Manufacturer's standard Marine Fusion Bond Coating.
  - (a) Performance:
    - (1) Loss of Adhesion (ASTM D3359): Zero loss.
    - (2) Corrosion: (ASTM B117): Under-film scribe tested for 1000 hours: 0-0.5 mm.
    - (3) Salt Resistance (ASTM B117): 20,000 hours with no blistering, cracking, corrosion or flaking.
    - (4) UV Performance (ASTM G26 and G53): No appreciable loss of color, gloss or mechanical properties for 2000 hours or five years in Florida at 45 degrees by the sea in the sun.
3. Color: Navy Blue, palette needs to be approved by City.

**2.04 SOURCE QUALITY CONTROL**

- A. Contractor to describe each test to be conducted that is required by fence manufacture. Include test method, sampling requirements, observation by independent authorities (if any) and reporting requirements. Describe each inspection to be conducted, including method, personnel and reporting requirements.

**PART 3 EXECUTION**

**3.01 EXAMINATION**

- A. Verification of Conditions: Verify that conditions of substrates previously installed under other sections or contracts are acceptable for product installation in accordance with manufacturer's instructions prior to security fencing and gate installation.
  1. Inform City of unacceptable conditions immediately upon discovery.
  2. Proceed with installation only after unacceptable conditions have been remedied and after receipt of written approval from City.

**3.02 PREPARATION**

- A. Surface Preparation: Prepare surface in accordance with manufacturer's written recommendations and coordinate with Section [01 71 00 - Examination and Preparation].
- B. Demolition/Removal:
  - 1. Removal of existing fence and gates material.
  - 2. Removal of plant material intertwined with existing fence. Preserve plant material that does not interfere with the removal of the existing fence. City staff will supervise and advise.
  - 3. Removal of existing trees and/or branches that may interfere with the installation of the new fence. Tree/branch removal to be approved by City staff.

### 3.03 INSTALLATION

- A. Coordinate installation of Clearvu fence and gates system in accordance with [01 73 19 - Installation].
- B. Coordinate security fencing and gate work with work of other trades for proper time and sequence to avoid construction delays.
- C. Install security fencing and gates plumb and level.
- D. Accurately fit, align, securely fasten and install free from distortion or defects.
- E. Furnish and install fencing and gate materials at locations shown on Submittals.
- F. The following installation standards shall be followed:
  - 1. Applicable OSHA and Cal OSHA regulations
  - 2. Applicable building and fire code requirements
  - 3. Manufacturer's installation and warranty requirements
- G. Refer variances between above documents and Contract Documents to City's Representative.
- H. Install fencing and gates according to Manufacturer's installation and warranty requirements.
- I. Fencing and gate materials shall be furnished and installed by Contractor at locations shown on Submittals.
- J. Install fencing and gate materials to tolerances recommended by Manufacturer. Unless otherwise shown, install fencing true, plumb, and level using precision gauges and levels.
- K. Built-up parts shall be free of warp.

### 3.04 REPAIR/RESTORATION

- A. Coordinate repair, restoration of systems components, and products in accordance with Section [01 73 13 - Application].
- B. Irrigation, turf and hardscape to be repaired and restored to original condition by Contractor.
- C. Manufacturer Services



1. Coordinate manufacturer's services with Section [01 45 00 - Quality Control]. Have manufacturer review work involved in handling, installation/application, protection and cleaning of product[s], and submit written reports in acceptable format to verify compliance of work with Contract.
2. Manufacturer's Field Services: Provide manufacturer's field services consisting of product use recommendations and periodic site visits for product installation inspection in accordance with manufacturer's instructions.
3. Schedule site visits to review work at stages listed:
  - (a) After delivery and storage of products, and when preparatory work on which work of this Section depends is complete, but before installation begins.
  - (b) Twice during progress of work at 25% and 60% complete.
  - (c) Upon completion of work, after cleaning is carried out.
  - (d) Obtain reports within three (3) days of review and submit immediately to the City.

### 3.05 ADJUSTING

- A. Adjust components and systems for correct function and operation in accordance with manufacturer's written Instructions. Coordinate with Section [01 75 00 - Starting and Adjusting].
- B. Lubricate moving parts to operate smoothly and fit accurately.

### 3.06 FIELD QUALITY CONTROL

- A. Field testing shall include the following:

Item	Test for	Test Standard (ASTM or Other Test Standard)	Frequency	First Test Paid for by	Retests Paid for by
Ornament al Steel Fences and Gates	No bends, twists or open joints  No projecting edges or corners at intersections	Visual inspection	All fence work and gates	City	Contractor
	Field Performance	Demonstrate compliance to Contract Documents and	1 test	City	Contractor

Item	Test for	Test Standard (ASTM or Other Test Standard)	Frequency	First Test Paid for by	Retests Paid for by
		Manufacturer's printed literature			
	11-month Warranty Inspection	Demonstrate compliance to Contract Documents and Manufacturer's printed literature	1 test	City	Contractor

### 3.07 CLEANING

- A. Perform cleanup in accordance with Section [01 74 00 - Cleaning and Waste Management] and Section [01 74 13 - Progress Cleaning].
- B. Upon completion, remove surplus materials, rubbish, tools and equipment in accordance with Section [01 74 23 - Final Cleaning].
- C. Waste Management:
  - 1. Coordinate recycling of waste materials with [01 74 19 - Construction Waste Management and Disposal]. Contractor to follow Best Management Practices for waste removal.
  - 2. Collect recyclable waste and dispose of or recycle field generated construction waste created during demolition, construction or final cleaning.
  - 3. Remove recycling containers and waste bins from site.

### 3.08 PROTECTION

- A. Protect installed product from damage during construction in accordance with Section [01 76 00 - Protecting Installed Construction].
- B. Repair damage to adjacent materials caused by installation of decorative metal fence and gates system

### 3.09 ATTACHMENTS

- A. See Site plan for aerial view of proposed fence line approximate measurements.

### 3.10 CONSTRUCTION SCHEDULE

- A. Project to begin no sooner than April 14, 2020
- B. Project to be completed no later than June 12, 2020.

**END OF SECTION**

**ATTACHMENT "B"**

**(BID PRICING)**

SECTION 2 - BID PRICING  
THE HONORABLE MAYOR AND CITY COUNCIL  
CITY OF GARDEN GROVE  
11222 ACACIA PARKWAY  
GARDEN GROVE, CALIFORNIA 92840

To: THE HONORABLE MAYOR AND CITY COUNCIL

The undersigned having carefully examined the Plans and Bid Specifications to Provide all Materials, Labor, and Equipment for the Installation of fencing at Atlantis Play Center, located at 13630 Atlantis Way, Garden Grove, CA 92844. HEREBY PROPOSE to furnish all labor, materials, and equipment and do all the work required to complete work in accordance with the Plans and Specifications for the sum of:

BID PROPOSAL			
Item	Address	Description	Total Cost
1.	13630 Atlantis Way, Garden Grove, CA 92844	Provide all Materials, Labor, and Equipment for the Installation of Fencing at Atlantis Play Center in Garden Grove, CA	\$ 349,320.00
<b>PARTIAL BIDS WILL NOT BE ACCEPTED!</b>			
<b>TOTAL COST of Project in Written Words</b>			
<b>Three Hundred Forty Nine Thousand Three Hundred Twenty Dollars</b>			
<b>Lump Sum (Including all applicable sales tax)</b>			
The above bid price includes all applicable taxes for the pricing proposed in this submittal. <b>Note:</b> In case of discrepancy between the words and figures, the words prevail.			

It is understood and agreed that:

- (a) No verbal agreement or conversation with any officer, agent or employee of CITY, either before or after the execution of the Agreement shall affect or modify any of the terms or obligations of this Proposal.
- (b) CITY will not be responsible for any errors or omissions on the part of the undersigned in making up his bid, nor will bidders be released on account of errors.

(c) The undersigned hereby certifies that this Proposal is genuine and is not sham or collusive, or made in the interest or in behalf of any person not herein named, and that the undersigned has not directly or indirectly induced or solicited any other bidder to put in a sham bid, or any other person, firm or corporation to refrain from bidding, and that the undersigned has not in any manner sought, by collusion, to secure for himself an advantage over any other bidder.

(d) The Bidder acknowledges receipt of amendments to the Solicitation and related documents numbered and dated:

<u>Amendment No.</u>	<u>Date</u>
<u>1</u>	<u>12/11/2019</u>
<u>2</u>	<u>12/16/2019</u>
<u>3</u>	<u>12/17/2019</u>
<u>4</u>	<u>12/19/2019</u>

(e) undersigned has not in any manner sought, by collusion, to secure for himself an advantage over any other bidder.

Check below where appropriate:

☐ Partnership: That \_\_\_\_\_ are partners, doing  
(Names of all Partners)

business under the firm name of \_\_\_\_\_ and  
that the co-partnership makes the accompanying proposal.

☒ Corporation: That Joseph M Ciaglia Jr of  
(President or Secretary)

California Landscape & Design Inc.  
(Name of Corporation) makes the accompanying proposal.

☐ Individual: That \_\_\_\_\_ is the bidder and makes the  
(Name of Individual)  
accompanying proposal.

Date: 12/23/2019

California Landscape & Design Inc.  
Company Name

273 N Benson Avenue  
Address

Upland, CA 91786

City - State - Zip

(909) 949 -1601

Telephone Number

admin@calandscape.com

Email Address

597267

CA Contractors License Number

1000002521

DIR Registration Number

Joseph M Ciaglia Jr

Bidder's Name (Please Print)

Authorized Signature

Attachment "A"

**PROJECT: ATLANTIS PLAY CENTER FENCING**  
**PROJECT OWNER: CITY OF GARDEN GROVE**

DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1 MOBILIZATION & DEMOBILIZATION	1	LS	\$51,000.00	\$51,000.00
2 CLEARING ALONG LINE OF NEW FENCING	1	LS	\$12,500.00	\$12,500.00
3 REMOVAL OF EXISTING FENCE, GATES & MOW CURBS	1	LS	\$20,500.00	\$20,500.00
4 INSTALLATION OF NEW GATES	4	EA	\$10,125.00	\$40,500.00
5 INSTALLATION OF NEW FENCE	1400	LF	\$159.00	\$222,600.00
6 CUSTOM ATLANTIS STEEL SIGN	1	EA	\$2,220.00	\$2,220.00
<b>TOTAL BID</b>	<b>1</b>	<b>EA</b>		<b>\$349,320.00</b>



## City of Garden Grove Compliance Summary Report

Vendor Number	Vendor Name	AM Best Rating	Insurance Carrier	Policy #	Eff. Date	Exp. Date	Coverage
12750-160940	CALIFORNIA LANDSCAPE & DESIGN, INC.	Compliant					
		A , XIII	California Automobile Insurance Company	BA0400000040708	4/12/2019	4/12/2020	Auto Liability
		A+r , XV	Maxum Indemnity Company	EXC602844104	3/30/2019	3/30/2020	Excess Liability
		A+r , XV	Maxum Indemnity Company	GLP601844508	3/30/2019	3/30/2020	General Liability
		A++g , XV	Travelers Property Casualty Company of America	UB1N2737701926G	2/1/2019	2/1/2020	Workers Comp

**Risk Profile :**

Standard (not professional services or construction)

**Required Additional Insured :**

City of Garden Grove, its officers, officials, agents, employees and volunteers